



SITE PLAN APPLICATION

Los Alamos County Community Development Department
1000 Central Ave, Suite 150, Los Alamos NM 87544
(505) 662-8120

Address and Use of Property to which the application applies:

Current Use: ☒ Vacant Other: _____

Zoning District: PUD Acreage: 0.513 Lot Coverage: 29%+ - Related Applications (if any): _____

APPLICANT (Unless otherwise specified, all communication regarding this application shall be to Applicant):

Name: PAUL MIFSUD Phone: 505.982.8363 Cell #: _____
Please Print

Company Name: MIFSUD ASSOCIATES ARCHITECTS, LLC

Address: 1700 A PASAD DE PERALTA Email: SFARCHITECT@COMCAST.NET
SANTA FE, NM 87501

Paul Mifsud 8-19-16
SIGNATURE DATE

PROPERTY OWNER

☐ Check here if same as above

Name: VISTA DEL ESTE PARTNERSHIP Phone: 462-0620 Cell #: _____
Please Print

Address: P.O. BOX 250, LOS ALAMOS, NM Email: ROGERW@TRKMANT.COM
Owner's Address

My signature below indicates that I authorize the Applicant to make this Amendment application on my behalf.

Paul Mifsud 8-22-16
SIGNATURE DATE

Pre-Application Meeting Date(s): _____

IDRC Date: JUNE 16, 2011
MARCH 8, 2012
SEPT. 2, 2016

THIS SECTION TO BE COMPLETED BY THE COMMUNITY DEVELOPMENT DEPARTMENT

Date of Submittal: _____

Staff Initial: _____

CDD Application Number: _____

Fees Paid: _____

SITE PLAN REVIEW CRITERIA

The Los Alamos County Code of Ordinances, Chapter 16, Development Code, Sec. 16-152A establishes the following criteria for recommendation by IDRC, or for determination by the CDD Director or P&Z, of approval, conditional approval or denial of the application. Please review each of the criteria listed and provide short comments on how your application meets the criteria in the space provided. (Attach additional sheets if needed.)

- (a) *The site plan shall substantially conform to the comprehensive plan and shall not be materially detrimental to the health, safety and general welfare of the county.*
- (b) *Ingress, egress, traffic circulation and parking on the site shall be accomplished with safety for motorists, bicyclists and pedestrians. Provisions shall be made for the safe ingress, egress and circulation of vehicles, bicyclists and pedestrians.*
- (c) *The necessary provisions shall be made for controlling stormwater drainage on-site and off-site as required by the county engineer in accordance with the county's storm drainage construction standards or such other ordinances or storm water management plans as may exist.*
- (d) *The necessary easements shall be provided for both existing and proposed utilities, on-site and off-site. No existing easement shall be terminated without provision of alternate service, and all new services shall be provided.*

- (e) *The site plan shall include a conceptual landscape plan that will enhance the site and immediate vicinity and provide adequate screening and buffering, if appropriate, between properties. The final landscape plan shall conform to the requirements set forth in sections 16-574 and 16-575.*
- (f) *Parking lots, outside storage areas, outside mechanical equipment and outdoor lighting shall be designed to serve the intended use of the development while minimizing adverse impacts on adjacent properties or public rights-of-way.*
- (g) *The capacity of those public services and facilities required to serve the proposed development (including but not limited to water, sanitary sewer, electricity, gas, storm sewer, streets, etc.) shall conform with, or if improvements are required, shall be made to conform with the requirements of the county's construction standards.*
- (h) *Structures, site grading, and all other aspects of the development shall meet all applicable design standards or guidelines, as may be adopted and made a part of this code, and shall preserve, to the extent practical, outstanding topographical features and natural amenities on the site.*

- (i) *Provisions shall be made to serve the development with tot lots and/or neighborhood parks in accordance with the adopted comprehensive plan. A fee may be paid as approved by county council to accomplish the purpose of a comprehensive plan in lieu of the development of tot lots or neighborhood parks.*

SUBMITTALS:

Provide all information necessary for a complete review of the Site Plan request. Check each of the boxes to indicate which information you have provided. Provide two hard copies of all plans and also provide one complete copy of all materials on disk:

- ☒ Agent Authorization, if applicable.
- ☒ Proof of property ownership (Warranty deed, recorded Plat, etc.).
- ☐ Scaleable copies of Site Plan drawings including:
 - ☒ Footprint and square footage of all buildings and structures on the site.
 - ☒ Building/structure elevations.
 - ☒ Existing and proposed lot coverage.
 - ☒ All existing and proposed easements.
 - ☒ All existing and proposed setbacks.
 - ☒ Existing and proposed trails.
- ☒ Preliminary Landscape Plan.
- ☒ Preliminary Grading and Drainage Plan.
- ☒ Preliminary Utilities Plan.

Note: Final construction plan set will be required at Building Permit.

Additionally, per Sec. 16-571, at or before the first IDRC meeting, the County Engineer may require the following Impact Studies:

- ☐ Traffic impact analysis (TIA).
- ☐ Stormwater drainage report.
- ☐ Utility capacity analysis.
- ☐ Soils report.
- ☐ Other. Describe: _____

You are advised to meet with the County Engineer early in the planning process to determine which studies will be required.

Please provide any other information that you believe is relevant to or supports this application.



Los Alamos County Community Development Department
Planning Division
195 East Road, Suite 104
Los Alamos, NM 87544

August 19, 2016

Dear Sir or Madam,

Mifsud Associates Architects, LLC, on behalf of their clients, **Vista Del Este Partnership**, respectfully requests a Site Plan Amendment for **The Lodge at Quemazon** located in the Quemazon Subdivision at **4725 Quemazon** in Los Alamos, New Mexico. This letter is to address the County's concerns regarding Section 16-152A of the Development Code, Site Plan Review Criteria:

- A. *The Site Plan shall substantially conform to the Comprehensive Plan and shall not be materially detrimental to the health, safety and general welfare of the County.*

The project contributes greatly to the County's goal to diversify housing in the community.

"Expanding the economic diversity of the population will require redeveloped and integrated housing at a variety of price ranges so that firefighters, teachers, police, young people and elders can live comfortably in our community." We believe that this project will provide a form of rental housing that is under-represented in this area of the community.

- B. *Ingress, egress, traffic circulation and parking on the site shall be accomplished with safety for motorists, bicyclists and pedestrians. Provisions shall be made for the safe ingress, egress and circulation of vehicles, bicyclists and pedestrians.*

The design of the project separates the circulation paths of pedestrians from that of vehicles in order to facilitate safe ingress and egress for both. The dwelling units either face directly toward the street or to an accessway that leads directly to it. Quemazon and Esperanza both have pedestrian sidewalks which will tie into sidewalks for the project and lead directly to the unit entries. Vehicles follow a different path, driving in from Quemazon and out to Esperanza with garages and off-street parking located in between.

- C. *The necessary provisions shall be made for controlling storm water drainage on-site and off-site as required by the County Engineer in accordance with the County's storm drainage construction standards or such other ordinances or storm water management plans as may exist.*

The off-site drainage for the Quemazon Subdivision has been masterplanned to meet Los Alamos County drainage standards, while the approved and installed system has been designed to accept and direct the storm drainage for all of the individual lots. There is an existing drainage easement and landscape area at the north side of the property that will accept all of the storm water from the project.

- D. *The necessary easements shall be provided for both existing and proposed utilities, on-site and off-site. No existing easement shall be terminated without provision of alternate service, and all new services shall be provided.*

All necessary easements for the provision of utilities are already in place. The plans for the project will not require any existing easements to be terminated.

- E. *The Site Plan shall include a conceptual landscape plan that will enhance the site and immediate vicinity and provide adequate screening and buffering, if appropriate, between properties. The final landscape plan shall conform to the requirements set forth in sections 16-574 and 16-575.*

Please see the attached conceptual Landscape Plan for the project. Only two sides of this property adjoin other properties, as the other two sides front on existing Los Alamos County streets. The north side contains existing natural vegetative screening and a 32 foot wide easement as a buffer. The West side of the property is screened by a grade change and landscaping as is shown on the submitted Landscape Plan.

- F. *Parking lots, outside storage areas, outside mechanical equipment and outdoor lighting shall be designed to serve the intended use of the development while minimizing adverse impacts on adjacent properties or public rights-of-way.*

The parking areas are located internally and are separated from the streets by the buildings and landscaped areas. Mechanical equipment and storage areas will be located inside the dwelling unit structures. Outside lighting will be limited to small wattage fixtures located only at entry doorways and will meet Los Alamos County requirements for outside lighting.

- G. *The capacity of those public services and facilities required to serve the proposed development (including but not limited to water, sanitary sewer, electricity, gas, storm sewer, streets, etc.) shall conform with, or if improvements are required, shall be made to conform with the requirements of the County's construction standards.*

The capacity of all public services required to serve the project has already been designed, constructed, and approved as a part of the Quemazon Subdivision.

- H. *Structures, site grading, and all other aspects of the development shall meet all applicable design standards or guidelines, as may be adopted and made a part of this code, and shall preserve, to the extent practical, outstanding topographical features and natural amenities on the site.*

All new development on the site will meet all applicable codes, as well as the Los Alamos County Development Code. Most of this site was graded and used as a staging point for the construction of the subdivision itself. The drainage easement at the north end of the property contains existing trees and natural landscaping that will remain in place and be protected from damage during construction of the project. This area will remain as open space and landscaped area.

- I. *Provisions shall be made to serve the development with tot lots and/or neighborhood parks in accordance with the adopted Comprehensive Plan. A fee may be paid as approved by County Council to accomplish the purpose of a comprehensive plan in lieu of the development of tot lots or neighborhood parks.*

This criteria does not apply to this property that is a part of the Quemazon Subdivision.

Thank you for your consideration of our request and please let me know if there are additional requirements or information that is needed for this approval. Thank you again for your assistance, and if you have any questions, please feel free to contact me.

Sincerely,



Paul Mifsud
Mifsud Associates Architects, LLC



Case No. _____

OWNER'S AFFIDAVIT

(To be completed only when applicant has an agent)

STATE OF NEW MEXICO)
) ss.
COUNTY OF LOS ALAMOS)

We, R Waterman being duly sworn, depose
I R Waterman and say that (I am) (we are) the owner(s) of property located at 4725 QUEMAYON
legally described as LOT 44A QUEMAYON Phase I, for which (I am) (we are) requesting a
Site Plan (special use permit, site plan, variance, zone change, subdivision,
summary plat, temporary use permit) through the County of Los Alamos, New Mexico. Furthermore, (I) (we)
hereby appoint Paul Mifsud of Mifsud Associates as our
agent to act in our behalf on all matters pertaining to this application.

Signed: R Waterman
Address: 1350 Central Ave
Suite 104
Phone: 505 662 0620

Signed: _____
Address: _____

Phone: _____

Subscribed and sworn to before me this
3 day of August, 2016.

Donna Griego
Notary Public



My Commission Expires: 08/22/18

Exhibit A_Site Plan Application

WARRANTY DEED (JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP)

QUEMAZON, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY, FOR CONSIDERATION PAID,

GRANTS TO VISTA DEL ESTE, A NEW MEXICO GENERAL PARTNERSHIP

WHOSE ADDRESS IS PO BOX 250
LOS ALAMOS, NM 87544

AS JOINT TENANTS, THE FOLLOWING DESCRIBED REAL ESTATE IN LOS ALAMOS COUNTY, NEW MEXICO:

Ⓢ ~~LOT 44, QUEMAZON COMMUNITIES SUBDIVISION, PHASE 3, LOS ALAMOS, NEW MEXICO, AS SHOWN ON THE OFFICIAL PLAT FILED JANUARY 9, 2003, AS DOCUMENT NO. 164070 AND RECORDED IN LOS ALAMOS COUNTY INDEX BOOK 110, PAGE 266, PLAT RECORDS OF SAID COUNTY.~~

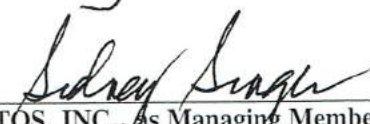
SUBJECT TO ALL RESERVATIONS, EASEMENTS AND COVENANTS OF RECORD.

ALSO SUBJECT TO 2004 TAXES AND SUBSEQUENT YEARS NOT YET DUE AND PAYABLE.

WITH WARRANTY COVENANTS.

WITNESS OUR HANDS AND SEALED THIS 16th DAY OF July, 2004.

X 
TRK MANAGMENT, INC., as Managing
Member by Roger E. Waterman, Sec./Treas.

X 
SISTOS, INC., as Managing Member by
Sidney Singer, President

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
)ss.
COUNTY OF LOS ALAMOS)

This instrument was acknowledged before me on July 20, 2004, by TRK Managment, Inc., as Managing Member, by Roger E. Waterman, Sec./Treas., and Sistos, Inc., as Managing Member by Sidney Sinder, President.



Notary Public

My Commission expires:

1-19-05

Exhibit A_Site Plan Application



LOT 44, QUEMAZON COMMUNITIES SUBDIVISION, PHASE I, LOS ALAMOS, NEW MEXICO, AS SHOWN ON THE CORRECTION PLAT FILED SEPTEMBER 15TH, 1999, AS DOCUMENT NO. 141476 AND RECORDED IN PLAT BOOK 7, AT PAGE 57 IN THE OFFICE OF THE LOS ALAMOS COUNTY CLERK.

Re-recorded to correct legal description.

STATE OF NEW MEXICO



COUNTY OF LOS ALAMOS

DOC 179441

DATE JULY 30 2004

TIME 3:13 P M.

BOOK 125 PAGE 327

COUNTY CLERK

Notary K. Taylor
DEPUTY Jamaina Lucero

LAC BOOK 125 PAGE 0327

WARRANTY DEED
(JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP)

QUEMAZON COMMUNITIES MASTER HOMEOWNERS ASSOCIATION INC., A NEW MEXICO NON
PROFIT CORPORATION, FOR CONSIDERATION PAID,

GRANTS TO **VISTA DEL ESTE PARTNERSHIP**

WHOSE ADDRESS IS P.O. BOX 250
 LOS ALAMOS, NM 87455

AS JOINT TENANTS, THE FOLLOWING DESCRIBED REAL ESTATE IN LOS ALAMOS COUNTY, NEW
MEXICO:

**TRACT I, QUEMAZON COMMUNITIES SUBDIVISION, PHASE I, A SUBDIVISION OF LOS
ALAMOS COUNTY, NEW MEXICO, AS SHOWN ON THE PLAT FILED IN BOOK 7, PAGE 57,
SECTION 8, T19N, R6E, NMPM, LOS ALAMOS COUNTY, NEW MEXICO, AND SHOWN AS
TRACTS A, G, AND I, ON THE REPLAT FILED FEBRUARY 15, 2002, AS DOCUMENT NO.
155410, AND RECORDED IN PLAT BOOK 101, AT PAGE 607, IN THE OFFICE OF THE LOS
ALAMOS COUNTY CLERK.**

SUBJECT TO ALL RESERVATIONS, EASEMENTS AND COVENANTS OF RECORD.

ALSO SUBJECT TO 2005 TAXES AND SUBSEQUENT YEARS NOT YET DUE AND PAYABLE.

WITH WARRANTY COVENANTS.

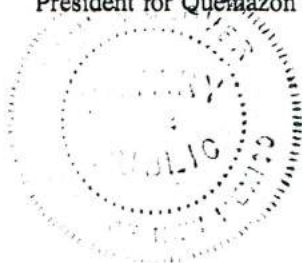
WITNESS OUR HANDS AND SEALED THIS 29th DAY OF March, 2005.

X Suzie Havemann V.P.
SUZIE HAVEMANN, VICE PRESIDENT

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
)ss.
COUNTY OF LOS ALAMOS)

This instrument was acknowledged before me on March 29, 2005, by Suzie Havemann, Vice
President for Quemazon Master Homeowners Association.



Paula Harris

Notary Public

My Commission expires: 2-04-2006

Exhibit A_Site Plan Application

VACATION OF DRAINAGE EASEMENT

NAME: Vista Del Este Partnership

PROPERTY ADDRESS: 4725 Quemazon, Los Alamos, N.M. 87544

LOT: 44A, SUBDIVISION: Quemazon Communities Phase 1


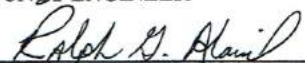

The Incorporated County of Los Alamos has determined that the County no longer requires and hereby vacates the drainage easement described as follows:

DESCRIPTION

That drainage easement lying and being within Lot 44A, Consolidation of Lot 44 and Tract I, Quemazon Communities Phase 1, Los Alamos County, New Mexico, the Plat thereof filed for record in the Office of the Clerk at Book 130, Page 556 on July 13, 2005, as shown on that Plot Plan, dated November 9, 2011 marked Exhibit "A", attached hereto and made apart hereof.

This Vacation of Drainage Easement in no way effects, reduces or diminishes any other Easement or Usage, either Drainage or Utility, held by the Incorporated County of Los Alamos except as herein specifically provided. All other Grants of Easement, whether Drainage or Utility, shall be and remain in full force and effect.

THIS VACATION OF UTILITY EASEMENT HAS BEEN REVIEWED BY ME AND IS ACCEPTABLE TO THE DEPARTMENT THAT I REPRESENT:

	12-20-11
COUNTY ENGINEER	DATE
	11-10-2011
COUNTY SURVEYOR	DATE
	1/3/12
DEPARTMENT OF PUBLIC UTILITIES	DATE

ATTEST:
Janet Foster

By: 
County Clerk



INCORPORATED COUNTY OF LOS ALAMOS

 2-22-2012
COUNCIL CHAIRMAN DATE

COUNTY OF LOS ALAMOS
STATE OF NEW MEXICO

Book 157 Page 950

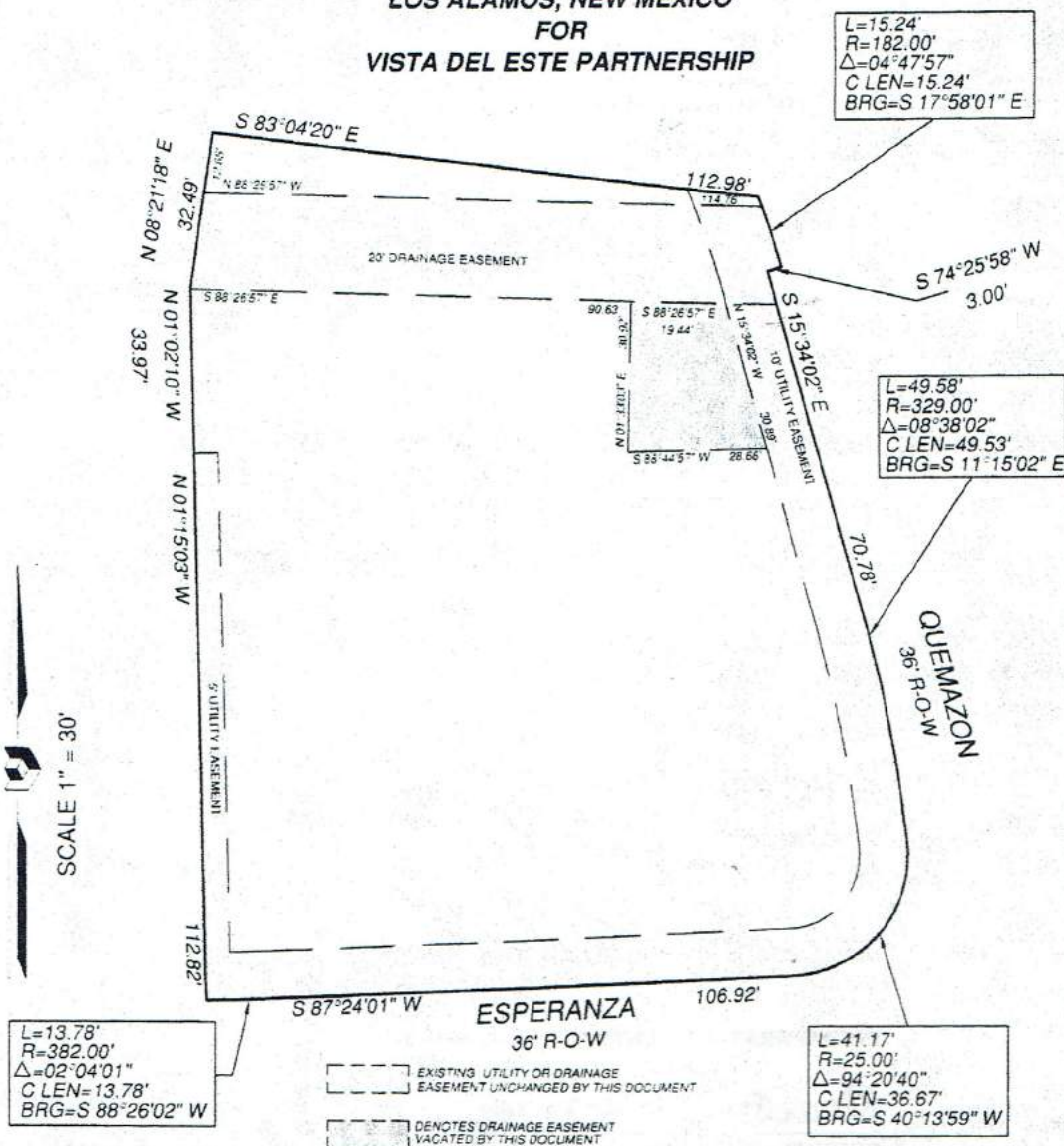
This Instrument Was Filed For Record On 03/06/2012 10:39 AM
And Was Duly Recorded as Instrument # 212065
Of The Records Of Los Alamos County

Witness My Hand And Seal Of Office
County Clerk, Los Alamos, NM
Tracey Alarid - Deputy



Exhibit A Site Plan Application

**PLOT PLAN FOR
VACATION OF DRAINAGE EASEMENT
WITHIN
LOT 44A,
CONSOLIDATION OF LOT 44 AND TRACT I
QUEMAZON COMMUNITIES PHASE 1
LOS ALAMOS, NEW MEXICO
FOR
VISTA DEL ESTE PARTNERSHIP**

**AUTHORITY:**

THIS EXHIBIT WAS PREPARED FROM INFORMATION SHOWN ON THE CONSOLIDATION PLAT OF LOT 44 AND TRACT I, QUEMAZON COMMUNITIES PHASE 1 SAID PLAT BEING FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF LOS ALAMOS COUNTY, NEW MEXICO IN BOOK 130, PAGE 556 ON THE 13TH DAY OF JULY, 2005, THE PLAT OF QUEMAZON COMMUNITIES PHASE 1 FILED IN PLAT BOOK 7, PAGE 57 ON SEPTEMBER 15, 1999 AND FROM INSTRUCTIONS PROVIDED BY THE PROPERTY OWNER.

LARRY W. MEDRANO, N.M.P.L.S. NO. 11993

1460 Trinity Drive, Suite 3
Los Alamos, NM 87544

505.661.4262 PHONE
505.661.4263 FAX

DATE 1/5/12



Exhibit A_Site Plan Application

M.B.E. 11/09/2011

EXHIBIT 5 Site Photos



1_Site from east; Fire Hydrant across Quemazon Street



2-Site from south



3-Site from Southwest



4-Fire Hydrant west of SW corner of site

SITE PHOTOS



5-Drainage easement at North property line



6-Site looking south

SITE PHOTOS



7-Site looking south, existing tree



8-Development across Esperanza to South of site

SITE PHOTOS