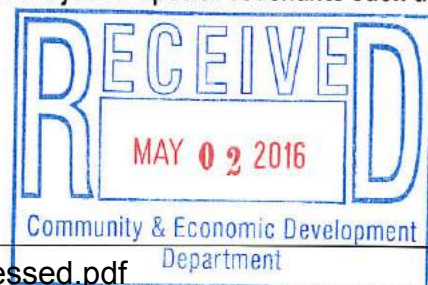


In order to process your application we'll need to know certain information about your proposed waiver. Please consult with a Planning Division staff member who will help you fill out the application form and advise you on any required attachments. We cannot accept or process incomplete applications.

1. ADDRESS List the address at which this application applies. If no address has been assigned to the location, please indicate by other means such as subdivision name and lot number. Address: <u>626 47th St.</u>	
3. TYPE OF PROPERTY Please check only one box: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Mixed Use	
4. TYPE OF APPLICANT Who is applying for this permit? <input checked="" type="checkbox"/> Property owner <input type="checkbox"/> Agent for the owner <input type="checkbox"/> Renter or lessee (If "Agent" explain relationship to Owner or Renter/lessee.)	
5. OWNERSHIP INFORMATION Name: <u>Willard Hemsing</u> Phone: <u>662 2024</u> Cell #: <u>412 2250</u> Fax: _____ Address: <u>626 47th St.</u> E-Mail: <u>hemsing@cybermesa.com</u> Please attach proof of ownership such as a deed, purchase agreement, or tax bill.	
6. AGENT/RENTER OR LESSEE OR <input type="checkbox"/> Not applicable Name: _____ Phone: _____ Cell #: _____ Fax: _____ Address: _____	
7. DESCRIPTION OF THE PERMIT REQUEST Does the request relate to an existing condition for which you seek approval, or to new work which you wish to perform? <input type="checkbox"/> Existing condition <input checked="" type="checkbox"/> Proposed work If the application is for an existing condition, how long has it existed and who was responsible for creating the condition? Please further describe the nature of the request and the specific sections of the Development Code from which you seek relief. <div style="border: 1px solid black; padding: 10px; margin: 10px 0;"> <i>looking for a waiver for 12 foot to encroachment in to the front yard set back</i> <i>House was Built in 2003 with the set back and a</i> <i>already variance variance for a portion of the house</i> </div>	
8. PROPERTY RELATIONSHIP TO OTHER PLANS OR COVENANTS Is your property part of a larger site plan or master-planned development or subject to special covenants such as those imposed by a homeowners association? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (If "Yes" please explain.)	



9. LOCATION PLAN

Attach a scaled plot plan or survey of your property showing boundaries, any existing and proposed structures, and adjacent streets. Clearly show the area of the proposed waiver or administrative deviation with dimensions clearly marked.

10. CRITERIA QUESTIONNAIRE

To approve your application for a waiver, the Board of Adjustment must find that your application meets all the following criteria as listed in code Section 16-157. Please explain how your request meets each of the following requirements:

A. Granting of the waiver will not cause an intrusion into any utility or other easement unless approved by the owner of the easement.

No

B. The waiver request is caused by a practical difficulty or hardship inherent in the lot or lot improvements and the difficulty or hardship has not been self-imposed.

The small lot size and irregular shape make snow removal difficult. Snow that slides off the house roof down to the garage roof has piled more than 6ft deep. Six or more feet deep heavy snow impose a tremendous load on the garage roof structure. In past years, I have shoveled snow off from the garage roof to reduce the excessive weight.

I am 71 years old and am concerned about snow removal and safety: shoveling snow accumulation from the garage roof, sloping driveway, and sidewalk presents a falling hazard.

C. Granting of the waiver will not create a health or safety hazard or violate building code requirements.

No to best of our ability will not create one.

D. Granting of the waiver will not create any significant negative physical impacts on property within 100 yards of the subject property such as reduced sight lines, loss of privacy, decreased security, increased noise, objectionable odors, intrusion of artificial light, the casting of unwanted shadows, or similar negative impacts.

*It will not affect neighbor views,
or maneuvering.*

12. PROPERTY OWNER'S CERTIFICATION & SIGNATURE

I hereby acknowledge that I have read the contents of this application packet, and that the information supplied in this application is correct. I further agree not to start construction or authorize others to start until the application has been approved.

Sign and Date Here:

William J. Genusing

May 2, 2016

13. APPLICANT'S STATEMENT & SIGNATURE (IF DIFFERENT FROM PROPERTY OWNER)

I hereby acknowledge that I have read this application and accompanying information and obtained the owner's approval to submit this application. I further state that the information in this application is correct and that I agree not to do any work covered by this application until and unless it is approved.

Sign and Date Here:

NA

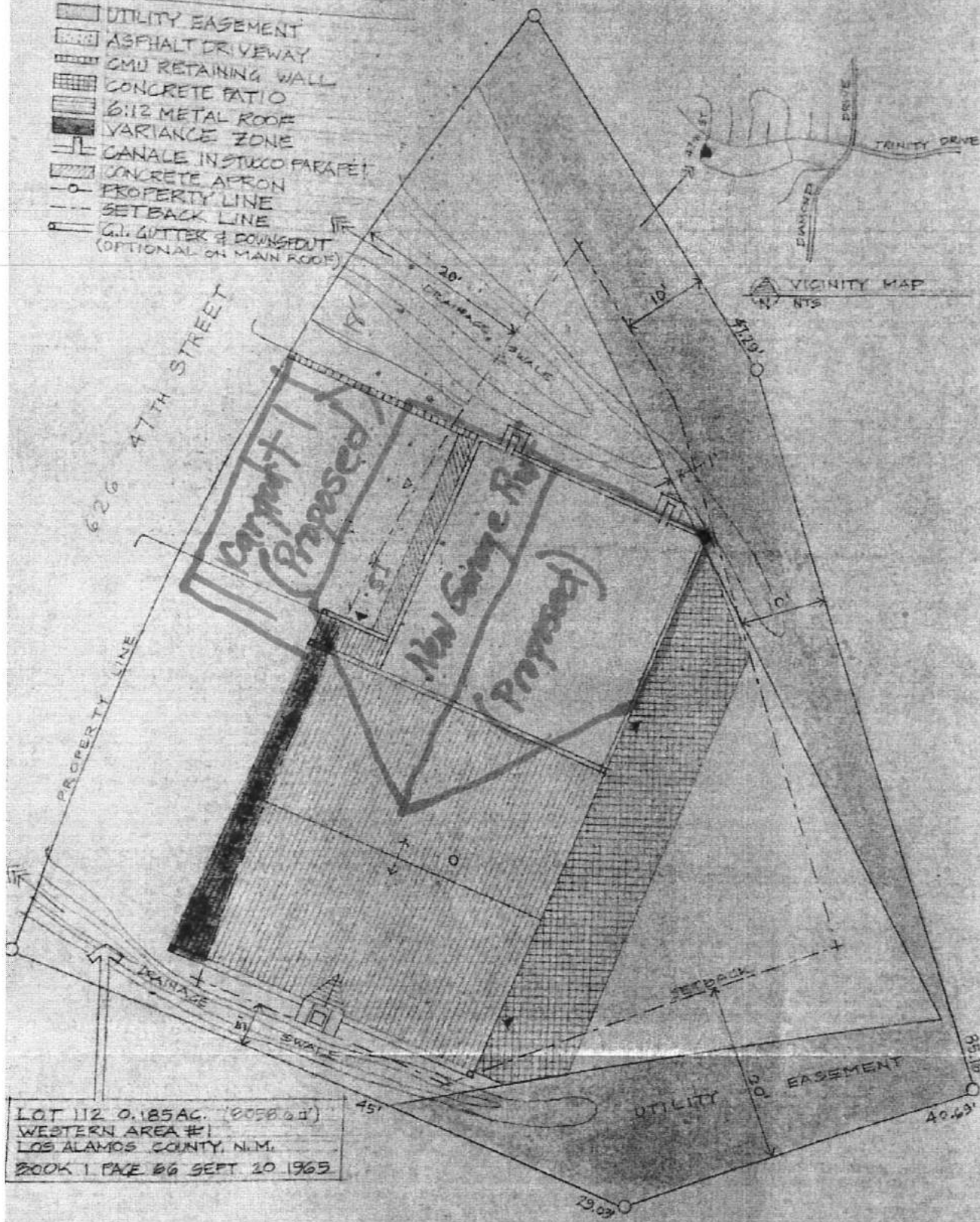
14. Fee Payment \$250

Check payable to **Los Alamos County**

NOTE: A written request to withdraw an application that is received by the Community Development Department prior to permit issuance shall receive a full refund. No refund will be given for withdrawal of an application after the issuance of the permit.

LEGEND

- UTILITY EASEMENT
- ASPHALT DRIVEWAY
- CMU RETAINING WALL
- CONCRETE PATIO
- 6:12 METAL ROOF
- VARIANCE ZONE
- CANALE IN STUCCO PARAPET
- CONCRETE APRON
- PROPERTY LINE
- SETBACK LINE
- GUTTER & DOWNSPOUT (OPTIONAL ON MAIN ROOF)



VICINITY MAP
NTS

18
WILLARD AND RITA HEMMING RESIDENCE
626 47TH STREET, LOS ALAMOS, N.M.
DESIGN FACILITATION BY STEPHEN MEROLER
SANTA FE, N.M.

APR 3 2001

LOT 112 0.185AC. (2058.00')
WESTERN AREA #1
LOS ALAMOS COUNTY, N.M.
BOOK 1 PAGE 86 SEPT 30 1965

SITE AND ROOF PLAN

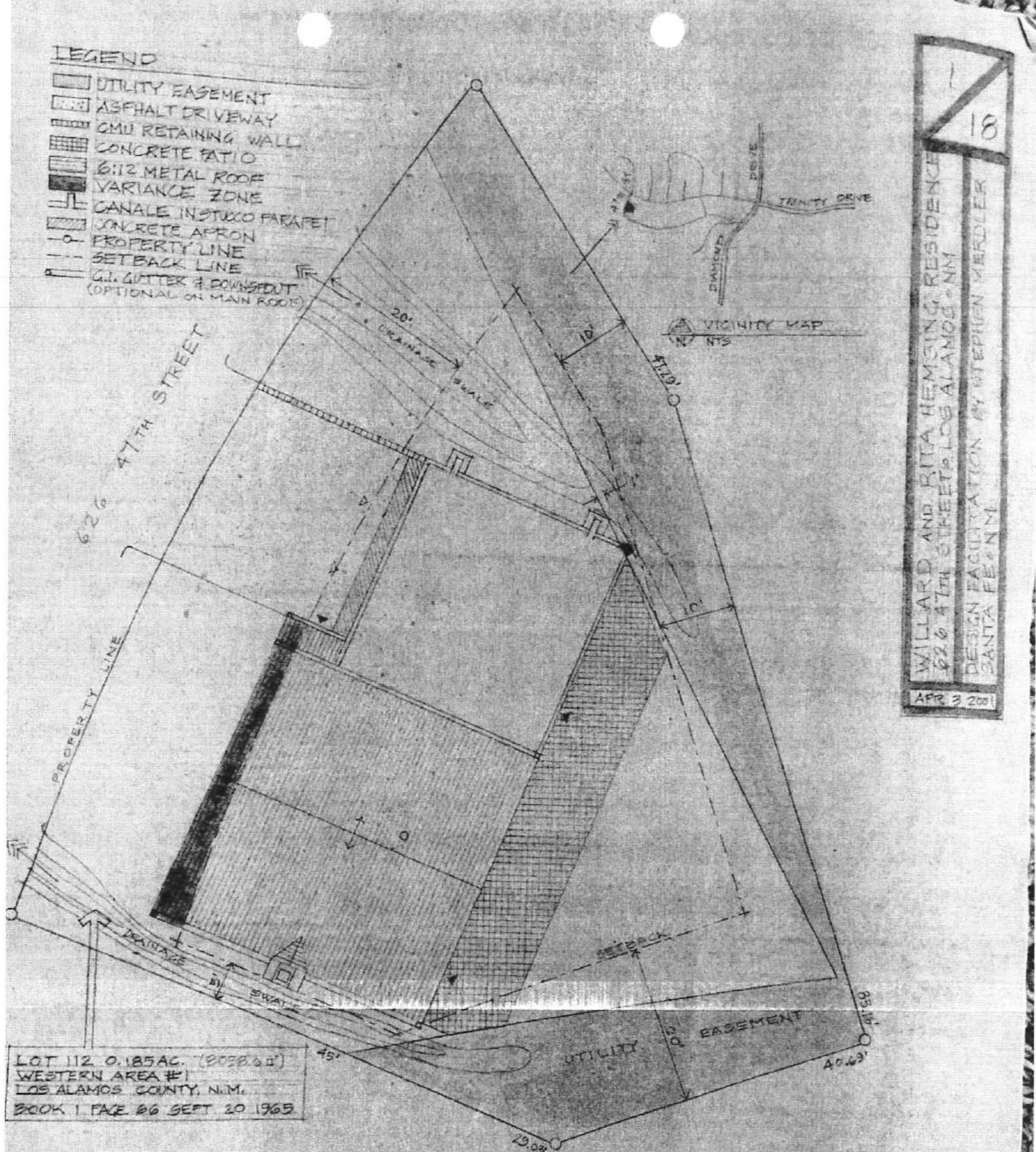
SCALE 1" = 10 FT

LOT COVERAGE		
ROOF OVER HEATED LIVING	1369	
GARAGE	870	(25.1%)
ENTRY PORCH	21	
CONCRETE TERRACE/GARAGE APRON	515	
ASPHALT DRIVEWAY	3491	(43.3%)



LEGEND

- UTILITY EASEMENT
- ASPHALT DRIVEWAY
- CMU RETAINING WALL
- CONCRETE PATIO
- 6:12 METAL ROOF
- VARIANCE ZONE
- CANALE INSTUCCO PARAPET
- CONCRETE APRON
- PROPERTY LINE
- SETBACK LINE
- G.I. GUTTER & DOWNSPOUT (OPTIONAL ON MAIN ROOF)



18
WILLARD AND RITA HEMMING RESIDENCE
626 47TH STREET, LOS ALAMOS, NM
DESIGN FACILITATION BY STEPHEN MERDLER
SANTA FE, NM
APR 3 2001

LOT 112 0.185 AC. (8058.60')
WESTERN AREA #1
LOS ALAMOS COUNTY, N.M.
BOOK 1 PAGE 86 SEPT 30 1965

SITE AND ROOF PLAN

SCALE 1" = 10' FT

LOT COVERAGE

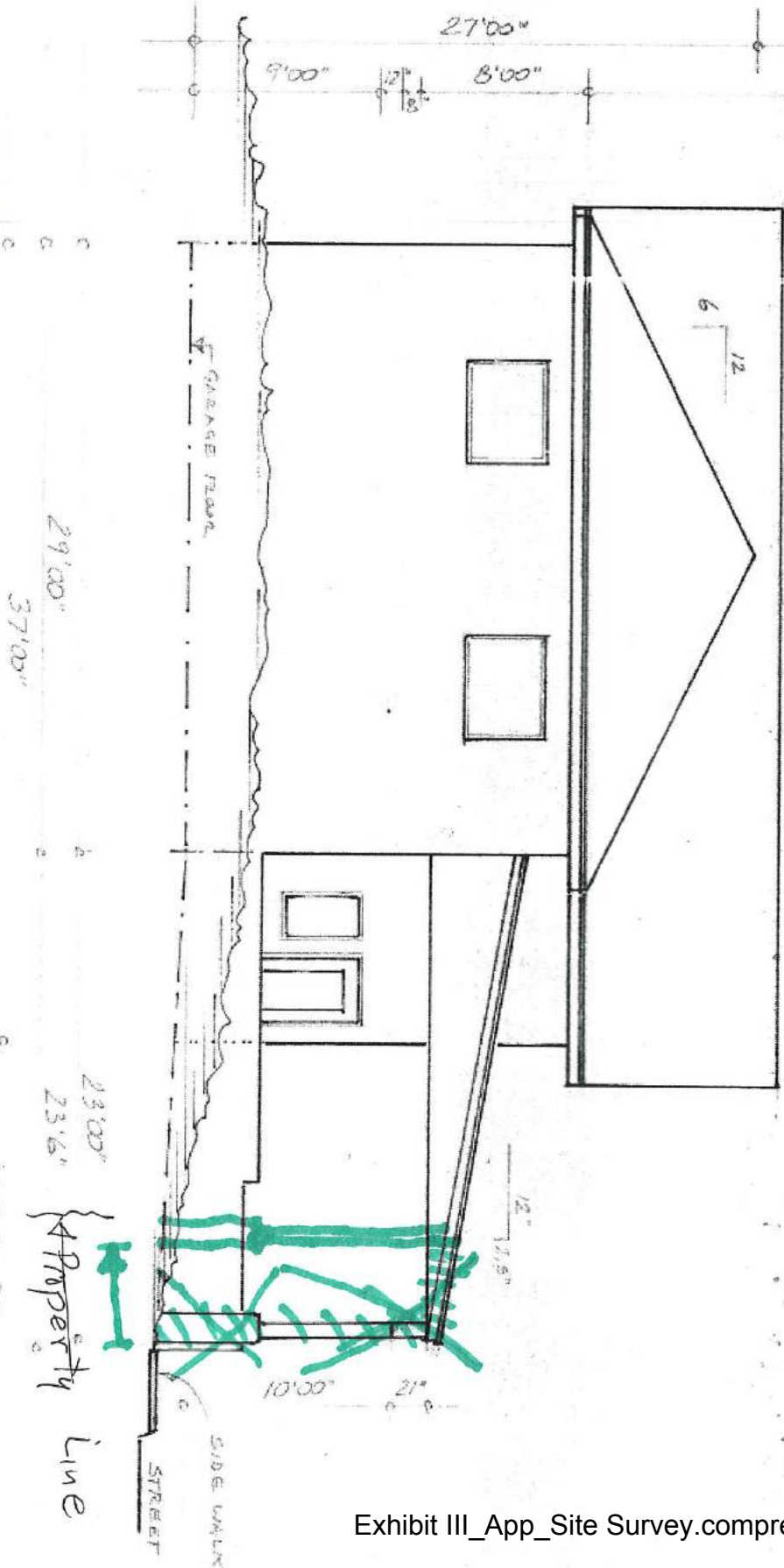
ROOF OVER HEATED LIVING
GARAGE
ENTRY PORCH
CONCRETE TERRACE / GARAGE APRON
ASPHALT DRIVEWAY

2' 1369
270 (75.1%)
515
3491 (43.3%)

NORTH ELEVATION

OF PROPOSED 2nd STORY ADDITION OVER EXIST. GARAGE W. NEW CARPORT
AT 626 47th STREET, LOS ALAMOS, N.M.

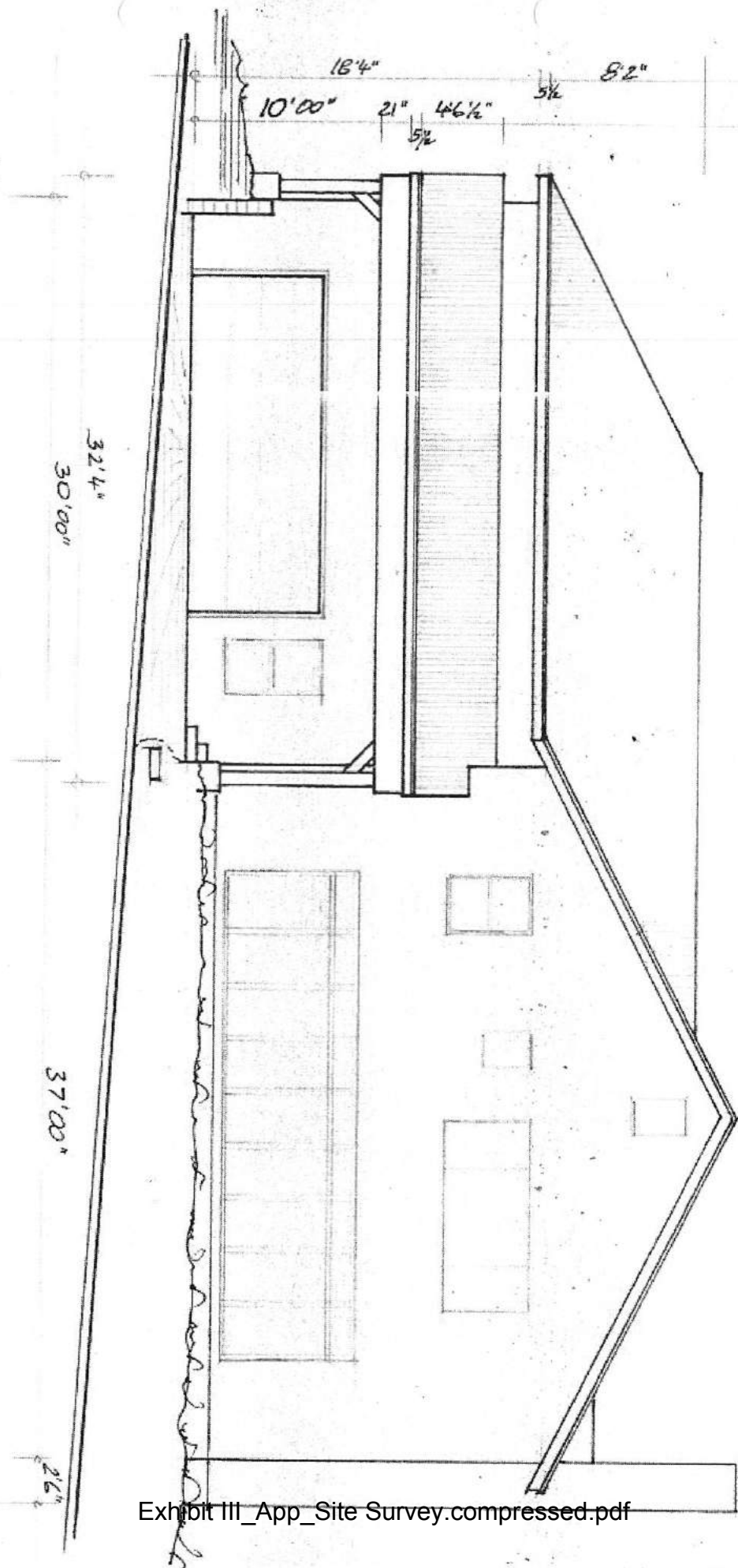
SCALE: 1/8" = 1'00"



WEST ELEVATION
 OF PROPOSED 2ND STORY ADDITION OVER EXIST. GARAGE W. NEW CARPORT IN FRONT
 AT 626 47th STREET, LOS ALAMOS, NM

DESIGN BY:
 LEITNER CONSTRUCTION LLC

SCALE: 1/8" = 1'-00"
 4-30-2016



OWNER'S AFFIDAVIT

STATE OF NEW MEXICO)
)
COUNTY OF LOS ALAMOS) SS.

We/I Willard Hemming
(Please print Name/Names in Full)

being duly sworn, depose and say that (I am) (we are) the owner (s) of the property located at

626 47th St,
(Address)

County of Los Alamos, for which (I am) (we are) requesting a Building Permit through the County of Los Alamos. Furthermore, (I) (we) hereby appoint Hans Leitner to act as our authorized agent on our behalf on all matters pertaining to the processing and obtaining of said permit with the exception of legal documents for recording purposes.

Signed: Willard Hemming

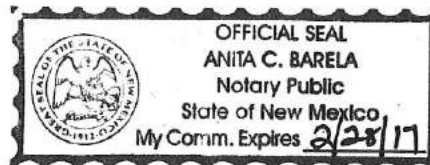
Address: 626 47th St

Phone: 662 2024

Subscribed and sworn to before me this

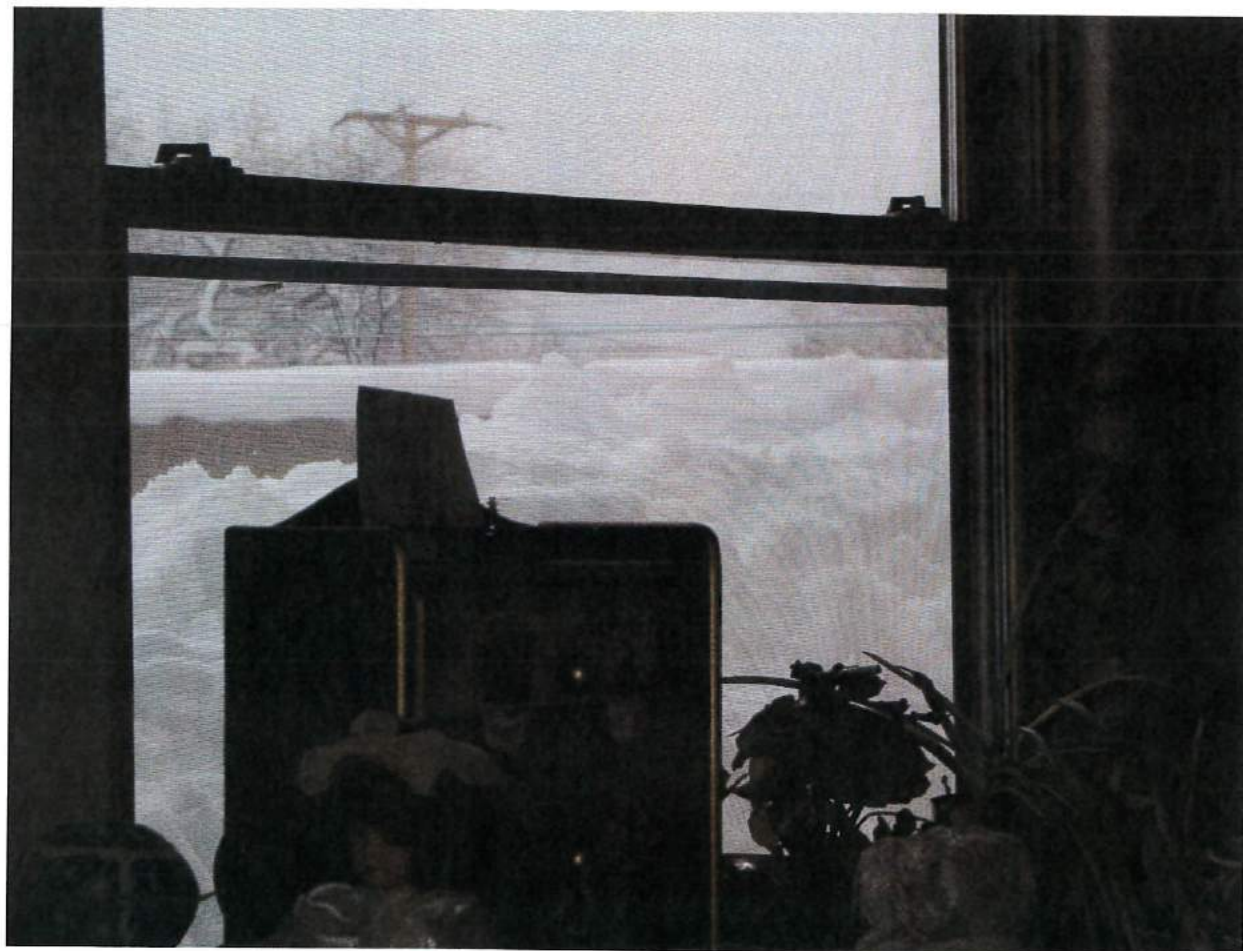
2 day of May, 20 16.

Anita C. Barela
Notary Public



My Commission Expires: 2/28/17

Snow
level



2nd story high snow above garage roof



Snow
level

Second
floor
window



Snow on garage
roof





Snow falls in front of entrance
from roof



Snow shoveled from garage roof



Snow on garage roof
- shoveling partially complete



Snow shoveled from driveway



Shoveled snow pile from driveway





[illegible]

Notes:

The footings will be poured of 3500 PSI Concrete, into which steel column bases are cast to hold the 8x8 Douglas fir posts, which support the new garage roof truss and carport roof construction.

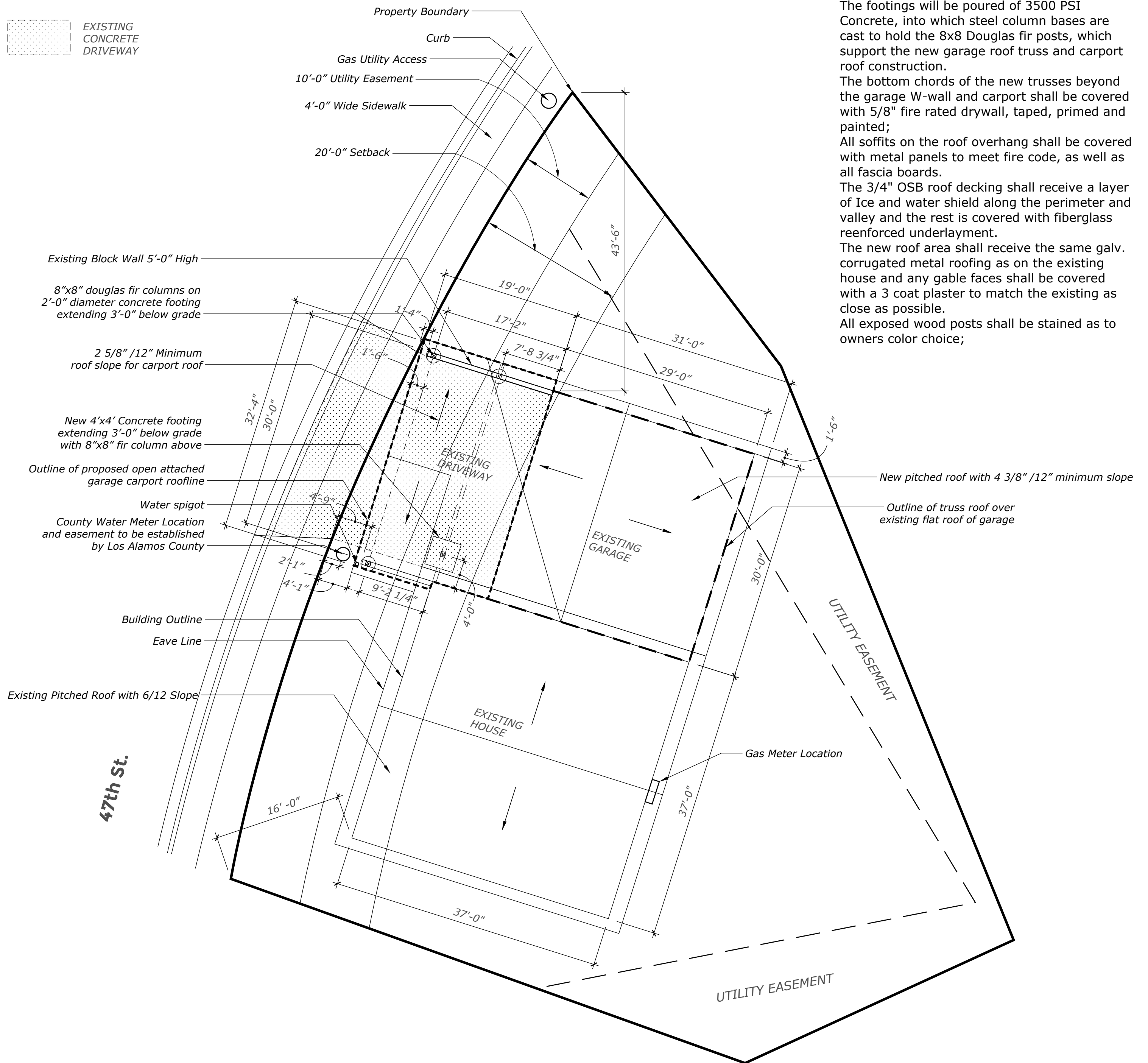
The bottom chords of the new trusses beyond the garage W-wall and carport shall be covered with 5/8" fire rated drywall, taped, primed and painted;

All soffits on the roof overhang shall be covered with metal panels to meet fire code, as well as all fascia boards.

The 3/4" OSB roof decking shall receive a layer of Ice and water shield along the perimeter and valley and the rest is covered with fiberglass reinforced underlayment.

The new roof area shall receive the same galv. corrugated metal roofing as on the existing house and any gable faces shall be covered with a 3 coat plaster to match the existing as close as possible.

All exposed wood posts shall be stained as to owners color choice;



1 Site Plan - 626 47th St. - Hemsing Residence

Scale: 1":10'



Drawn by: FRANZ AMADEUS LEITNER :: Revised: July 14, 2016 ::

