



Los Alamos County
Community Development Department
PLANNING & ZONING COMMISSION

Public Hearing Date: June 12, 2019
Subject: Case No. SIT-2019-0035
Property Owner: Canyon Walk Housing, LLC / Bethel Development, Inc.
Applicant: Daniel Terlecki; Bethel Development, Inc; Agent
Case Manager: Ryan Foster, Principal Planner

Case No. SIT-2019-0035:

Dan Terlecki, of Bethel Development, Inc. requests Site Plan Approval to develop a multi-family affordable rental housing complex, located at 120 DP Road. The subject site is currently vacant. The proposed development will consist of seven apartment buildings containing a total of 70 total residential units; each building having two stories on the south side and three stories on the north side. The development will include a single-story office building for property management purposes, and a small maintenance shed.

The project will have on-site parking and access to Canyon Rim multi-use trail which passes through the site. The property contains 4.2487 acres, and is zoned MU (Mixed Use).

Motion Option 1:

I move to **approve** Case No. SIT-2019-0035, a request for Site Plan Approval to develop a multi-family affordable rental housing complex, with associated on-site landscaping, parking and traffic circulation, located at 120 DP Road, for the reasons stated in the staff report and per testimony entered at the public hearing, subject to the following conditions of approval:

1. A landscape buffer shall be provided between the curb and sidewalk, from the trail to the east.
2. The southwest parking stall shall be removed from the Canyon Rim trail easement.
3. The plans shall detail the location of the drainage inlet and outlet to the canyon.
4. A revised and replatted Site Plan shall be prepared and submitted prior to filing an application for a Building Permit, incorporating all items as required by the Planning & Zoning Commission at the public hearing.
5. A final utility plan shall be submitted prior to building permitting.
6. The final plat shall depict the dedicated right-of-way on DP Road.
7. The crosswalk to the Canyon Rim trail shall be illustrated on the site plan.

8. Signage and landscaping shall be placed so as not to impede sight distance at driveways and provide sight triangles to demonstrate compliance with engineering and County standards at the time of Building Permit submittal. A signage detail shall be submitted for review and approval. All signage will be reviewed separately and requires approval of a separate sign permit.
9. All exterior lighting shall comply with County Code §16-276 (Outdoor Lighting) and with the New Mexico Dark Sky Protection Act (Article 74-12 NMSA 1978).
10. Approval of Building Permits is required prior to commencing construction.

I further move to authorize the Chair to sign Findings of Fact for this case and, based on this decision, to be prepared by County staff.

Motion Option 2:

I move to **deny** Case No. SIT-2019-0035, a request for Site Plan Approval to develop a multi-family affordable rental housing complex, with associated on-site landscaping, parking and traffic circulation, located at 120 DP Road, due to the proposal failing to meet the Los Alamos County Code of Ordinances, Chapter 16 – Development Code review criteria specified in §16-152A, for the following reasons:

1. ...

SUMMARY

Daniel Terlecki requests Site Plan Approval (SIT) to develop a multi-family affordable rental housing complex addressed as 120 DP Road, Los Alamos, NM. The subject property contains a total of 4.2487 acres of land area. The legal description of the subject property states that it is in the Eastern Area 2 subdivision, lot AAA-9.

In accordance with the provisions of the Los Alamos County Development Code, this Site Plan is required to meet each of the required criteria as found in §16-152A of the Los Alamos County Development Code. In addition, since the subject property is in a Mixed Use District, it must also be in compliance with §16-578, Downtown and mixed-use districts development standards, in order to be approved.

The site to be developed is vacant and was transferred from the County to the current owner Canyon Walk Housing, LLC / Bethel Development, Inc. on November 9th, 2018. The development will include seven apartment buildings containing 10 units each for a total of 70 total residential units, a single-story office building for property management purposes, and a small maintenance shed. The Canyon Rim multi-use trail passes through the site and will be accessible from the development.

The subject property is located on the north side of DP Road approximately 400 feet east of Trinity Drive. It is bordered by the Columbian Club to the west, County Fire Station 2 to the east, and DP Canyon to the north. Opposite the subject property on the south side of DP Road is County owned Tract A-8. The subject property is fenced on the west, south, and east sides. A south portion of the east boundary fence currently crosses slightly onto County Fire Station 2 property.

The proposed development will have a gross area of 85,612 Ft². The individual apartment buildings numbered one through seven on the site plan will each have a gross area of 9,159 Ft², 11,436 Ft², 11,436 Ft², 12,635 Ft², 12,768 Ft², 12,635 Ft², and 12,635 Ft² respectively, and totaling 82,704 Ft². The office

building will have gross floor area of 2413 Ft², the maintenance shed 299 Ft², and the playground ramada 196 Ft². Development density is 16.47 dwelling units per acre.

The greatest height of a parapet on the roof of the building will be approximately 40 feet, which will be from the north side. The maximum allowable structure height within this District is 50 feet.

The total structural footprint area of the proposed development is 39,966 Ft². This footprint yields a lot coverage factor of 22%. There is no maximum lot coverage requirement within this District.

Parking: The applicant's site plan includes one-hundred and twenty-eight (128) regular parking spaces, six (6) ADA-accessible parking spaces, and thirty-six (36) bicycle spaces. As a condition of site approval as stated in this staff report, the southwest parking stall will be required to be removed from the trail easement, resulting in one-hundred and twenty-seven (127) regular parking spaces.

Sec. 16-579-t1 Minimum number of off-street parking spaces required in the downtown district—All overlay districts (table) and in the mixed-use district requires for any parking not in the rear, offsite, or in or under the building, per net useable floor area: Residential — 1 space per 750 sf and Professional/ Office — 1 space per 350 sf. The required number of parking spaces for the residential 76,088 sf net useable area is 101 spaces, and for the office 2,220 sf net useable area is 6 spaces, for 107 total regular spaces.

Sec. 16-369 Handicap parking indicates for 101-300 regular parking spaces 8 handicap parking spaces are required. At the time of building permit submittal, the applicant will need to indicate 8 handicap spaces instead of 6 handicap spaces as shown on the current site plan submittal.

Landscaping: The Landscape Plan submitted in support of this development illustrates existing pinon pine trees and plants along the north and west side of the lot will be preserved. The Plan illustrates all plantings will be drought tolerant. Additional trees, shrubs and groundcover will be planted around the buildings, in common spaces, along the east and west property lines, and in the front landscaping strip. Each tree planted will be at least six-feet tall at planting. Ground cover will be Kinnickinnick, Aaron's Beard, St. Johnswort, Creeping Mahonia, Rock Contoneaster, and natural crushed rock and mulch. The landscape design emphasizes native plants that are sufficiently hardy for the Los Alamos area. The irrigation system will be a drip system with moisture sensor for adjusting irrigation amount.

Landscape performance standards include: New trees proposed shall have a minimum trunk caliper of 1.5 or 3 inches depending on the tree species. Approximately 50% of the site will be landscaped. All landscaping shall be completed prior to the issuance of final Certificate of Occupancy, and no later than three months after construction of all structures, unless approved by the Community Development Director [§16-574(a)(11)].

The Landscape Plan submitted in support of this Site Development Plan meets the Landscape Performance Standards contained in §16-574 of the Los Alamos County Development Code.

Trash pickup and disposal will be via four dumpsters placed along the main parking lot south side. Each will have a block enclosure with metal screening.

All proposed construction is located outside the Special Flood Hazard Area Zone, according to the Flood Insurance Rate Map (Panel No. 35028C0045C).

The subject property is located within the Mixed Use District. Section 16-582 – Downtown and mixed use District Architectural Standards, of the Los Alamos Development Code, beginning at paragraph (e), states:

- (e) *Exterior building materials. The exterior walls of buildings and structures shall consist of a mixture of two or more predominant exterior building materials from the list of allowable predominant building materials shown below. For the purposes of this section, "predominant exterior building materials" shall mean those exterior building materials whose total area when taken together constitute 60 percent or more of a building's total exterior wall surfaces visible to public view, excluding windows and doors. Furthermore, except for portions of exterior walls not open to public view, the exterior walls of buildings and structures shall not contain materials from the list of non-permitted exterior building materials also shown below. A variety of other exterior, non-predominant wall materials including window glass, metal panels, and decorative concrete block may be utilized constituting the remaining 40 percent or less of exterior walls. Figure 16-582-2 at the end of this section illustrates materials from each of the three categories of materials listed below.*
- (1) *List of allowable predominant exterior building materials.*
- a. *Stucco or artificial stucco;*
 - b. *Natural stone;*
 - c. *Clay brick and pre-assembled clay brick panels;*
 - d. *Exposed timbers, logs, or wood trim;*
 - e. *Any other materials that convincingly match the appearance of these materials.*
- (2) *List of non-permitted exterior building materials.*
- a. *Exposed poured-in-place concrete except that decorative pre-cast units resembling stone shall be allowed;*
 - b. *Plain concrete block whether painted or unpainted;*
 - c. *Plywood panels whether plain or decorative;*
 - d. *Vinyl and aluminum siding and all horizontal lap siding regardless of material.*
- (3) *List of allowed non-predominant exterior building materials.*
- a. *Decorative precast concrete block;*
 - b. *Metal panels and trim;*
 - c. *Glass;*
 - d. *Any other exterior material except those on the non-permitted list in subsection (e)(2) above.*
- (f) *Exterior building wall colors. To avoid visual monotony, all downtown buildings shall feature at least a three-color scheme on exterior walls, consisting of two predominant colors and at least one accent color. The term "exterior color" may either mean the natural color of allowed materials such as stone, or applied colors drawn from a palette of natural earth tones and vegetation tones such as those found in the county natural environment and illustrated in figure 16-582-3 at the end of this section. Such earth tones include shades of buff, reddish brown, cream, and ochre. Such vegetation tones include shades of olive, green, tan, and light brown and gray-brown. For the purposes of this section, "predominant exterior colors" shall mean two exterior building colors*

whose total area when taken together constitute 60 percent or more of a building's total exterior wall surfaces open to public view excluding windows and doors. The requirement for a three-color scheme may be met through the use of two predominant exterior colors plus the use of an accent color. There are no limitations on the choice of accent colors but such colors should be carefully chosen to complement the predominant color scheme and character of the building's architectural design.

- (g) Roof forms, materials, and colors. A variety of building roof shapes is permitted and the mixture of both flat and sloped roofs on a single building is encouraged to promote visual interest and complex massing as described in subsection (h) below. A variety of building roof materials is permitted with the exception that sloped roofs visible to public view shall be sheathed with shingles, architectural metal panels, decorative clay tiles, or similar decorative materials. Rubber or asphalt roll roofing or tar and gravel roof systems shall not be used except on flat roofs behind parapet walls or on other roof areas not generally visible to public view. A variety of roof colors may be used except that strong primary colors and highly reflective colors and highly reflective metal surfaces are strongly discouraged.*
- (h) Requirement for complex architectural massing. Architectural massing refers to the way a building is shaped. Building designs featuring a single geometric shape such as a simple rectangle shall not be allowed. The requirement for complex massing may be met by building designs featuring a variety of parapet heights, varying building wall setbacks or balconies, a variety of roof forms, and an irregular building footprint. Figure 16-582-4 illustrates examples of complex massing found in existing county buildings as well as examples of buildings that would not meet this requirement.*
- (i) Requirement for four-sided design. All sides of a building open to public view shall employ architectural features such as windows, a variety of colors, patterns, and complex massing to achieve visual interest especially at the pedestrian level. Flat, blank walls along public rights-of-way shall not be allowed. Figure 582-5 illustrates examples of existing building that would and would not meet this requirement.*
- (j) Screening of roof-top mechanical equipment. Roof-top mechanical equipment 12 inches or more in diameter shall be screened by a parapet wall or other devices at least as high as the equipment to be screened. Where such equipment presents a uniform rectangular profile against the sky, the sides of the equipment may function as the screen if such sides are painted to blend with the adjacent parts of the building. The requirement to screen roof-top mechanical equipment shall not apply to electronic communication equipment such as satellite dishes and antennae that rely on a clear line of sight to function, but wherever possible such communication devices should be placed in such a manner as to minimize their impact on public views from surrounding streets. Other provisions notwithstanding, this section requirements shall not be interpreted to mean that roof-top mechanical equipment will never be in view from the ground. Figure 16-582-6 shows existing situations that would and would not meet these screening requirements.*
- (k) Architectural styles. A variety of architectural styles and design themes are permitted, but to the maximum extent practicable, the design of new buildings in the downtown should reflect or interpret design themes of existing key downtown Los Alamos buildings as illustrated in figure 16-582-1.*

Elevations Submitted: To comply with these standards, the proposed construction materials include Exterior Insulation and Stucco Finish System with primary color beige, secondary color light brown, and tertiary color medium brown; stone veneer in a mix of earth tones; asphalt shingles in a speckled gray to light brown color.

To meet Architectural Massing requirements, each building will include wall pop-outs and several gable roof major and minor sections with different heights, an irregular footprint accented with a well-balanced series of rectangular architectural features that avoids long stretches of flat walls, and the use of multiple types of building materials and colors.

Exterior stairs will be prefabricated metal with perforated risers, and windows will be vinyl frame. Air conditioning units will be ground mounted.

The total window surface area does not exceed 40% of the total exterior wall surfaces.

No waivers, per §16-572 and §16-157, are requested for development of this project.

No public comments have been received by the Community Development Department as of Friday, June 7, 2019.

LOS ALAMOS COUNTY DEVELOPMENT CODE REQUIREMENTS – SITE PLAN APPROVAL REQUIREMENTS

Sec. 16-152. – Site plan required.

(a) An approved or conditionally approved site plan shall be required for all development(s) of property or alteration or addition to existing structures.

SITE PLAN REVIEW CRITERIA

Sec. 16-152A. – Site plan review criteria.

During the course of their review of any site plan, the IDRC shall utilize the following criteria in formulating a recommendation to the community development director or the planning and zoning commission; and the community development director or the planning and zoning commission shall utilize the following criteria in making its determination of approval, conditional approval or denial:

(a) The site plan shall substantially conform to the comprehensive plan and shall not be materially detrimental to the health, safety and general welfare of the county.

Applicant Response: The project meets the requirements of the MU District and has the support of Los Alamos County. We are building 70 new apartment units that will give lower income families a safe, healthy, and affordable housing option with direct access to community services.

Staff Comment: The proposed Site Plan supports several goals and policies in the Comprehensive Plan that support the Comprehensive Plan Goals and Policies 3.1 Housing, Neighborhoods, & Growth:

Housing - Goals: “Provide a variety of housing types, sizes and densities.” [Page 62]

Housing - Economic Vitality - Policies: “Promote the development of affordable and workforce housing.” [Page 62]

Housing – Land Use – Policies: “Encourage new housing developments in proximity to workplaces.” [Page 63]

Housing – Land Use – Potential Strategies: “Identify publicly owned sites suitable for housing, and prioritize use of sites, where appropriate, for housing for lower income individuals.” [Page 63]

Neighborhoods – Goals: “Promote the creation of a variety of housing options for all segments of the Los Alamos community.” [Page 66].

The proposed commercial development is in conformance with the core themes, goals, policies and strategies of the 2016 Comprehensive Plan.

(b) Ingress, egress, traffic circulation and parking on the site shall be accomplished with safety for motorists, bicyclists and pedestrians. Provisions shall be made for the safe ingress, egress and circulation of vehicles, bicyclists and pedestrians.

Applicant Response: The site plan has been developed with two points of access onto DP Road with proper turning radii and clear site distances. Also, the buildings are connected to one another by an ADA-compliant sidewalk minimizing the need for pedestrians to be in the parking lots.

Staff Comment: Based on the ratio of required parking per net square feet of usable floor area, specified at one (1) parking space per 750 sf of residential use and per 350 sf of professional/office use in Sec. 16-579-t1, the number of parking spaces illustrated (128) meets this Code requirement. One parking space will be removed from the Canyon Rim trail easement. [Planning]. Based on the number of handicap spaces needed for 101-300 regular parking spaces in Sec. 16-369, the six handicapped spaces are two short of the eight spaces required. At the time of building permit submittal, the applicant will need to indicate 8 handicap spaces.

The applicant shall be required to appropriately sign and stripe the crosswalk across DP Road to the multi-use trail. ADA ramps should be shown at the handicap parking spaces.

The Los Alamos Environmental Services division’s double dumpster enclosure specifications require Bollards must be 18” from the back and side walls of the 10’ x 21’ enclosure. [Public Works, Environmental Services]

Fire apparatus access roads shall not exceed 10 percent in grade. The angles of approach and departure for fire apparatus access roads shall be within the limits established by the fire code official based on the fire department’s apparatus.

(c) The necessary provisions shall be made for controlling stormwater drainage on-site and off-site as required by the county engineer in accordance with the county's storm drainage construction standards or such other ordinances or storm water management plans as may exist.

Applicant Response: The civil site engineer has and will continue to comply with the county’s storm water management criteria. On-site drainage will be handled by surface ponding in landscape areas.

Staff Comment: The applicant will be required to meet all grading and drainage requirements for the development as determined by the County’s subdivision engineer at the time of building permit submittal. This will include obtaining an easement for any drainage work for the development to be located on the Fire Station No. 2 property.

(d) The necessary easements shall be provided for both existing and proposed utilities, on-site and off-site. No existing easement shall be terminated without provision of alternate service, and all new services shall be provided.

Applicant Response: A preliminary easement plat has been provided with this application.

Staff Comment: All necessary easements must be established and illustrated on the final plat. [Public Utilities Department]

(e) The site plan shall include a conceptual landscape plan that will enhance the site and immediate vicinity and provide adequate screening and buffering, if appropriate, between properties. The final landscape plan shall conform to the requirements set forth in sections 16-574 and 16-575.

Applicant Response: A conceptual landscape plan has been provided with this application.

Staff Comment: The Landscape Plan submitted in support of the revised Site Plan exceeds the minimum five percent requirement for landscaping material, as required by Section 16-574 and Section 16-575 of the Los Alamos County Development Code. It is strongly recommended that all existing trees be protected during construction. A detail note shall be placed on the revised landscape and construction plans. [Planning]

(f) Parking lots, outside storage areas, outside mechanical equipment and outdoor lighting shall be designed to serve the intended use of the development while minimizing adverse impacts on adjacent properties or public rights-of-way.

Applicant Response: Parking areas will be lit with pole lights that have shielding to prevent light spillover to adjacent properties. Mechanical equipment is partially screened by landscaping. All outdoor lighting is Dark Sky Compliant.

Staff Comment: All exterior lighting shall be compliant with §16-276 of the Los Alamos County (Development) Code as well as the tenets of the New Mexico Night Sky Protection Act (Chapter 74 Article 12 NMSA 1978, Night Sky Protection). [Planning]

The site plan should show the proposed site lighting pole locations. A photometric plan will be required with the building permit submittal. [Engineering]

(g) Structures, site grading, and all other aspects of the development shall meet all applicable design standards or guidelines, as may be adopted and made a part of this code, and shall preserve, to the extent practical, outstanding topographical features and natural amenities on the site.

Applicant Response: The extension of DP Road will be designed and approved by county standards and have been submitted and reviewed at the 60% completion level.

Staff Comment: Staff requests a preliminary grading plan be submitted as part of the review package. The drainage calculations and lighting photometrics will be required with the building permit submittal. [Engineering]

Applicant is coordinating with the Department of Public Utilities, but will need to provide information regarding gas and electric load requirements, as well as any other needs for water service, such as fire-suppression systems, etc. [Public Utilities Department]

(h) The capacity of those public services and facilities required to serve the proposed development (including but not limited to water, sanitary sewer, electricity, gas, storm sewer, streets, etc.) shall conform with, or if improvements are required, shall be made to conform with the requirements of the county's construction standards.

Applicant Response: The site plan has been developed to minimize any disturbance to the county trail. The natural terracing of the site has been incorporated into the plan.

Staff Comment: The gas and electric utility services & meter sizes must be coordinated with Los Alamos County Department of Public Utilities regarding load requirements for both electric and gas (mechanical) appliances. Fire water line size and pressure must meet County Fire Department requirements. [Utilities]

(i) Provisions shall be made to serve the development with tot lots and/or neighborhood parks in accordance with the adopted comprehensive plan. A fee may be paid as approved by county council to accomplish the purpose of a comprehensive plan in lieu of the development of tot lots or neighborhood parks.

Applicant Response: A tot lot and recreation equipment are included in the plan.

Staff Comment: The applicants plan submittal for building permit must illustrate access from the development to the multi-use trail which crosses the site [Planning].

STAFF AND INTERDEPARTMENTAL REVIEW COMMITTEE (IDRC) RECOMMENDATION

Staff review has determined that the application meets the criteria for approval of a Site Plan. IDRC review of the SIT application occurred on May 16, 2019. There were several issues that were discussed at the IDRC meeting, including the need for the applicant to work with County staff towards final plans for utilities, grading and drainage, street lighting, and roadworks, and illustrating the right-of-way, sidewalk, landscape buffer to the roadway, cross-walk signage and striping, and the multi-use trail easement.

By recommending the incorporation of several improvements, the IDRC supports approval of the project, and has forwarded a favorable recommendation to the Planning and Zoning Commission, subject to the conditions outlined within the body of this report and subject to testimony entered at the public hearing.

FINDINGS OF FACT

- The petition is for review and approval of a Site Plan Application for a proposed multi-family affordable rental housing complex, consisting of seven apartment buildings and an office with associated landscaping, parking and traffic circulation, to be located at 120 DP Road.
- Public notification for this case has been completed in accordance with §16-192 of the Los Alamos County Development Code. Notice of the public hearing was published pursuant to the Los Alamos County Development Code, and notice was mailed to all property owners within one hundred (100) yards/three hundred (300') feet of the subject property boundaries, notifying the public of the place, date, and time of the public hearing.
- The subject property is currently vacant. The Canyon Rim multi-use trail crosses the site.
- The subject property contains approximately 4.2487 acres of land area.
- The subject property is zoned MU (Mixed Use), as described in §16-578 to §16-582 of the Los Alamos County Development Code.
- Multi-family uses are permitted uses in the MU (Mixed Use) zoning district, per the Use Index Table contained in §16-287 of the Los Alamos County Development Code. The MU (Mixed Use) district does not limit the number of dwelling units per acre.
- Issues brought forward at the IDRC meeting conducted on May 16, 2019 have been or will be adequately addressed by the applicant via the submission of a revised Site Plan that incorporates all IDRC comments.

- ssues presented during the Planning & Zoning Commission review of the initial Site Plan Application petition will be addressed in a revised Site Plan Application submittal.

EXHIBITS

Exhibit A: Application/Vicinity Map

Exhibit B: Site Plan; Elevations; Landscape Plan; Civil Set Plans

Exhibit C: Map and List of Property Owners within 100 Yards (300 Feet)

SITE PLAN APPLICATION

Los Alamos County Community Development Department
1000 Central Ave, Suite 150, Los Alamos NM 87544
(505) 662-8120

Address and Use of Property to which the application applies:

120 DP Road Los Alamos, NM 87544

Current Use: ☒ Vacant Other: _____

Zoning District: Mixed Use Acreage: 4.2487 Lot Coverage: 21.6% Related Applications (if any): _____

APPLICANT (Unless otherwise specified, all communication regarding this application shall be to Applicant):

Name: Canyon Walk Housing, LLC Phone: 614-792-5511 Cell #: 614-395-4968
Please Print

Company Name: Bethel Development, Inc.

Address: 201 Bradenton Ave. #120 Dublin, Ohio 43017 Email: dan@bethel94.com



4/19/2019

SIGNATURE

DATE

PROPERTY OWNER

☒ Check here if same as above

Name: _____ Phone: _____ Cell #: _____
Please Print

Address: _____ Email: _____
Owner's Address

My signature below indicates that I authorize the Applicant to make this Amendment application on my behalf.

4/19/2019

SIGNATURE

DATE

Pre-Application Meeting Date(s):

IDRC Date:

4/19/2019

April 25, 2019

THIS SECTION TO BE COMPLETED BY THE COMMUNITY DEVELOPMENT DEPARTMENT

Date of Submittal: _____

Staff Initial: _____

CDD Application Number: _____

Fees Paid: _____

SITE PLAN REVIEW CRITERIA

The Los Alamos County Code of Ordinances, Chapter 16, Development Code, Sec. 16-152A establishes the following criteria for recommendation by IDRC, or for determination by the CDD Director or P&Z, of approval, conditional approval or denial of the application. Please review each of the criteria listed and provide short comments on how your application meets the criteria in the space provided. (Attach additional sheets if needed.)

- (a) *The site plan shall substantially conform to the comprehensive plan and shall not be materially detrimental to the health, safety and general welfare of the county.*

The project meets the requirements of the MU District and has the support of Los Alamos County.

We are building 70 new apartment units that will give lower income families a safe, healthy, and affordable housing option with direct access to community services.

- (b) *Ingress, egress, traffic circulation and parking on the site shall be accomplished with safety for motorists, bicyclists and pedestrians. Provisions shall be made for the safe ingress, egress and circulation of vehicles, bicyclists and pedestrians.*

The site plan has been developed with two points of access onto DP Road with proper turning radii and clear site distances. Also, the buildings are connected to one another by an ADA-compliant sidewalk minimizing the need for pedestrians to be in the parking lots.

- (c) *The necessary provisions shall be made for controlling stormwater drainage on-site and off-site as required by the county engineer in accordance with the county's storm drainage construction standards or such other ordinances or storm water management plans as may exist.*

The civil site engineer has and will continue to comply with the county's storm water management criteria. On-site drainage will be handled by surface ponding in landscape areas.

- (d) *The necessary easements shall be provided for both existing and proposed utilities, on-site and off-site. No existing easement shall be terminated without provision of alternate service, and all new services shall be provided.*

A preliminary easement plat has been provided with this application.

- (e) *The site plan shall include a conceptual landscape plan that will enhance the site and immediate vicinity and provide adequate screening and buffering, if appropriate, between properties. The final landscape plan shall conform to the requirements set forth in sections [16-574](#) and [16-575](#).*

A conceptual landscape plan has been provided with this application.

- (f) *Parking lots, outside storage areas, outside mechanical equipment and outdoor lighting shall be designed to serve the intended use of the development while minimizing adverse impacts on adjacent properties or public rights-of-way.*

Parking areas will be lit with pole lights that have shielding to prevent light spillover to adjacent properties. Mechanical equipment is partially screened by landscaping. All outdoor lighting is Dark Sky Complaint.

- (g) *The capacity of those public services and facilities required to serve the proposed development (including but not limited to water, sanitary sewer, electricity, gas, storm sewer, streets, etc.) shall conform with, or if improvements are required, shall be made to conform with the requirements of the county's construction standards.*

The extension of DP Road will be designed and approved to county standards and have been submitted and reviewed at the 60% completion level.

- (h) *Structures, site grading, and all other aspects of the development shall meet all applicable design standards or guidelines, as may be adopted and made a part of this code, and shall preserve, to the extent practical, outstanding topographical features and natural amenities on the site.*

The site plan has been developed to minimize any disturbance to the county trail. The natural terracing of the site has been incorporated into the plan.

- (i) *Provisions shall be made to serve the development with tot lots and/or neighborhood parks in accordance with the adopted comprehensive plan. A fee may be paid as approved by county council to accomplish the purpose of a comprehensive plan in lieu of the development of tot lots or neighborhood parks.*

A tot lot and recreation equipment are included in the site plan.

SUBMITTALS:

Provide all information necessary for a complete review of the Site Plan request. Check each of the boxes to indicate which information you have provided. Provide two hard copies of all plans and also provide one complete copy of all materials on disk:

- ☒ Agent Authorization, if applicable. (Not Applicable)
- ☒ Proof of property ownership (Warranty deed, recorded Plat, etc.).
- ☒ Scaleable copies of Site Plan drawings including:
 - ☒ Footprint and square footage of all buildings and structures on the site.
 - ☒ Building/structure elevations.
 - ☒ Existing and proposed lot coverage.
 - ☒ All existing and proposed easements.
 - ☒ All existing and proposed setbacks.
 - ☒ Existing and proposed trails.
- ☒ Preliminary Landscape Plan.
- ☒ Preliminary Grading and Drainage Plan.
- ☒ Preliminary Utilities Plan.

Note: Final construction plan set will be required at Building Permit.

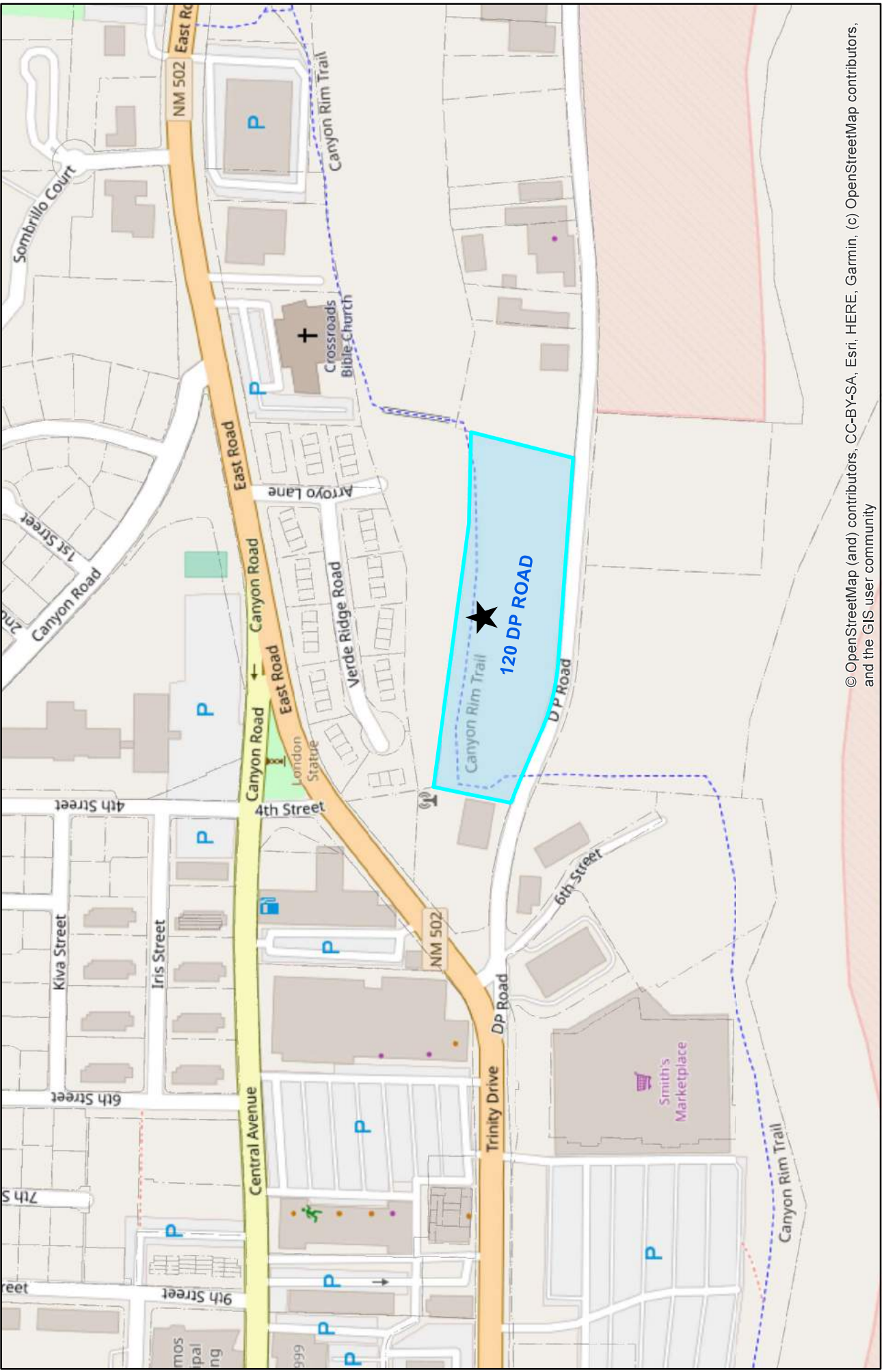
Additionally, per Sec. 16-571, at or before the first IDRC meeting, the County Engineer may require the following Impact Studies:

- ☐ Traffic impact analysis (TIA).
- ☒ Stormwater drainage report.
- ☒ Utility capacity analysis.
- ☒ Soils report.
- ☐ Other. Describe: _____

You are advised to meet with the County Engineer early in the planning process to determine which studies will be required.

Please provide any other information that you believe is relevant to or supports this application.

This development is providing much needed affordable workforce housing. We have worked very closely with staff to create a housing opportunity that will spur continued development on DP Road.



VICINITY MAP | SIT-2019-0035

Mapping information is for reference only. Users are solely responsible to confirm data accuracy. Los Alamos County assumes no liability for errors associated with the data.

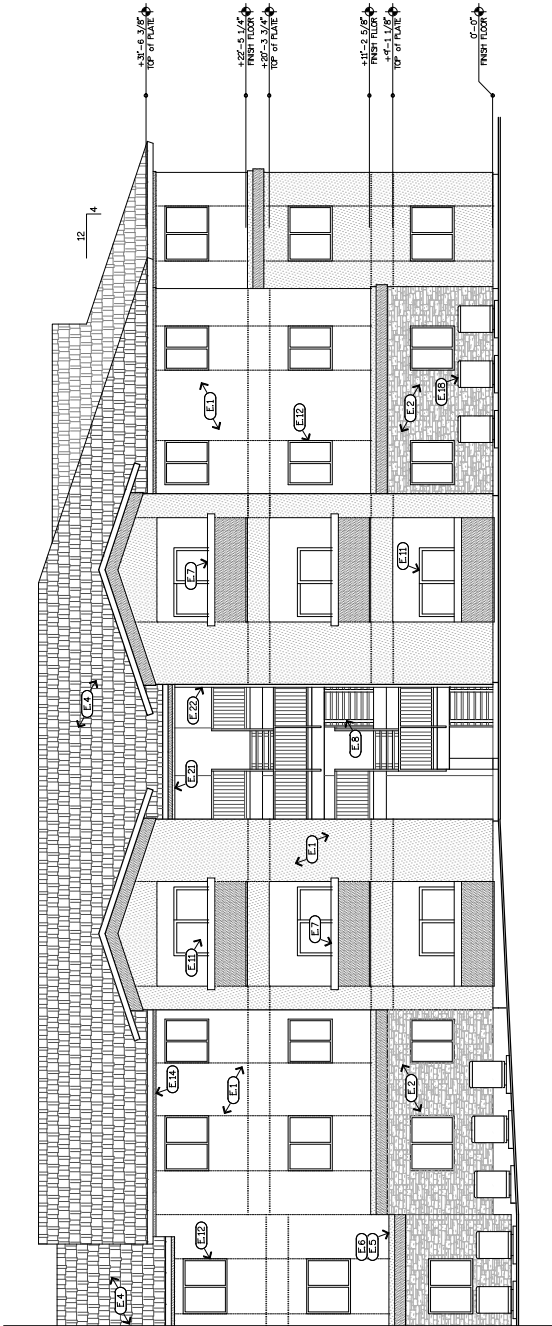
© OpenStreetMap (and) contributors, CC-BY-SA, Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community



1 inch = 300 feet

KEYNOTES

- E 1 EXTERIOR INSULATION and STUCCO FINISH SYSTEM
- E 2 ASPHALT/FLT SHINGLES w/8 SRI250 MIN
- E 3 ADDITIONAL LAYER(S) of FOAM to FORM
- E 4 ROOF TOP of PPO/IT w/DRAIN
- E 5 WOOD FRAME PATIO/BALCONY WALL
- E 6 METAL PRE-FABRICATED STAIRS w/8
- E 7 FINISH GRADE, SEE CIVIL PLANS
- E 8 DOOR, SEE SCHEDULE
- E 9 WINDOW, SEE SCHEDULE
- E 10 GABLE END/CATC VENT
- E 11 ELECTRIC METER MOUNT on CONC SLAB
- E 12 GUTTER, SLOPE 1:0.5 PERCENT
- E 22 VERTICAL RAIN LEADER



TYPICAL SOUTH ELEVATION

2 COLOR SCHEDULE

SCALE: NTS

SQD-COLR

- (RT) ROOF SHINGLES
- (FC) BUILDING COLOR 1
- (SC) BUILDING COLOR 2
- (TC) BUILDING COLOR 3
- (FC) FASCIA COLOR
- (SV) STONE VENEER
- (VH) VINYL WINDOW FRAMES

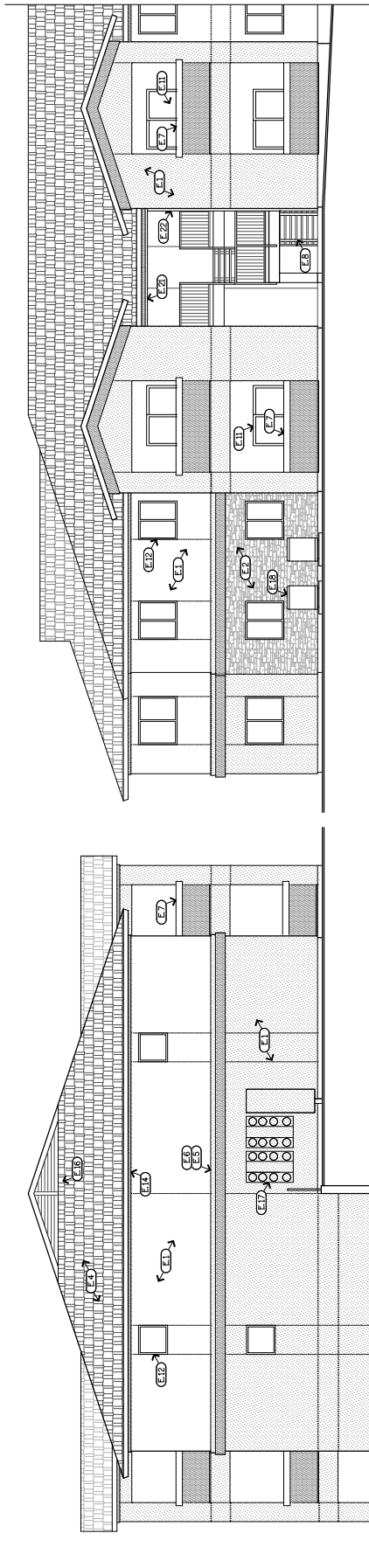
Canyon Walk Apartments
Los Alamos, New Mexico
Bethel Development

Issue Date:

Revisions:

PROJECT NUMBER	15181
DRAWN BY	RESERVED
CHECKED BY	10/1/2018
CAD FILE NAME	17151-EV
BUILDING ELEVATIONS	

ELV



TYPICAL NORTH ELEVATION

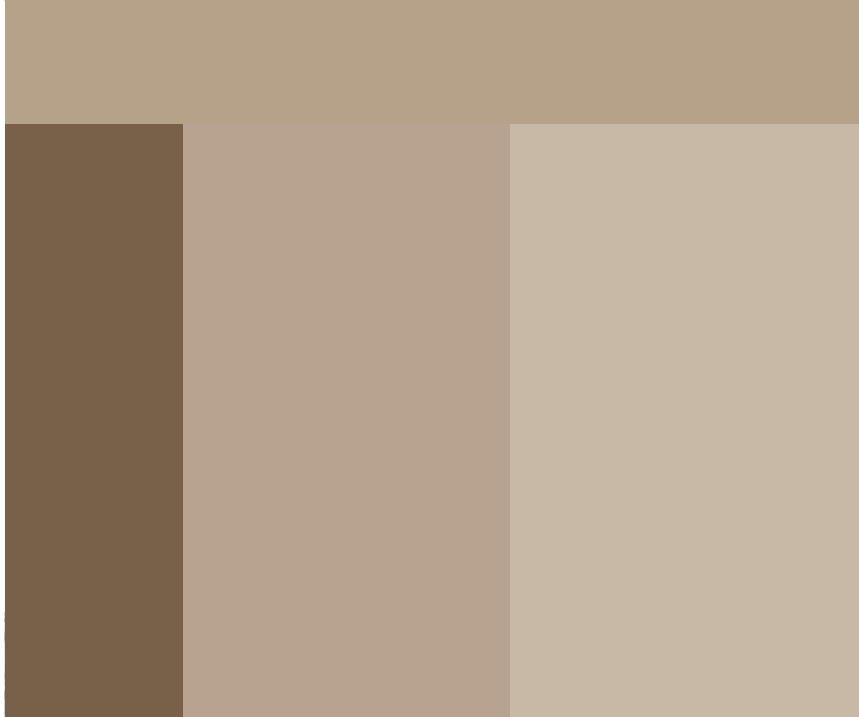
TYPICAL BUILDING ELEVATIONS
SCALE: 3/16" = 1'-0"



Roofing

Barkwood

GAF Timberline - Cool Series



Stucco Colors

Primary Color (Right)

Sand Dollar

Sherwin Williams SW 6099

Secondary/Fascia Color (Middle)

Sands of Time

Sherwin Williams SW 6101

Tertiary Color (Left)

Tea Chest

Sherwin Williams SW 6103



Stone

Coastal Brown

Cornado Stone - Quick Stack

CANYON WALK APARTMENTS

BETHEL DEVELOPMENT
LOS ALAMOS, NM

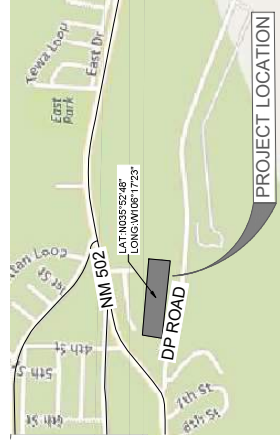
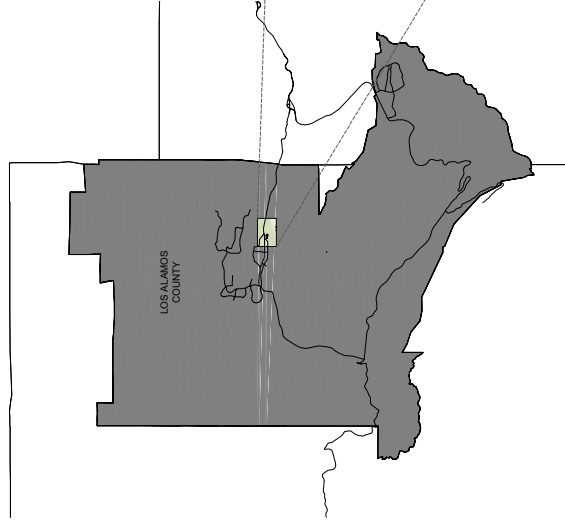


CANYON WALK APARTMENTS APARTMENT COMPLEX CONSTRUCTION

LOS ALAMOS COUNTY, NEW MEXICO

May 2019

PROJECT DESCRIPTION:
DP ROAD IMPROVEMENTS, SITE GRADING, UTILITIES,
LIFT STATION, PARKING LOT, SIDEWALK AND PEDESTRIAN PATH
CONSTRUCTION



VICINITY MAP NTS

CANYON WALK HOUSING, LLC.
BETHEL DEVELOPMENT, INC.
201 BRADENTON AVENUE
DUBLIN, OH 43017
(614) 792-5511

LOCATION MAP NTS



Sheet Number	Sheet Description
G-1	COVER SHEET
G-2	GENERAL NOTES, LEGEND & ABBREVIATIONS
G-3	UTILITY NOTES
C-1	CIVIL DRAWINGS
C-1	SURVEY CONTROL SHEET
C-2	SITE PLAN
C-3	HORIZONTAL CONTROL 1
C-4	HORIZONTAL CONTROL 2
C-5	HORIZONTAL CONTROL 3
C-6	HORIZONTAL CONTROL POINT TABLE
C-7	GRADING & DRAINAGE 1
C-8	GRADING & DRAINAGE 2
C-9	DP ROAD PLAN & PROFILE 1
C-10	SOUTH PARKING LOT P&ID
C-11	SOUTH PARKING LOT P&ID
C-12	DP ROAD WATER & GAS LINE LOT P&ID
C-13	DP ROAD WATER & GAS LINE LOT P&ID
C-14	UTILITIES PLAN
C-15	SAS LINE TO LIFT STATION 1
C-16	SAS LINE TO LIFT STATION 2
C-17	DP ROAD WATER & GAS LINE P&ID
C-18	TYPICAL SECTIONS DP ROAD
C-19	TYPICAL SECTIONS PARKING LOTS
C-20	SIGNING AND PAVEMENT MARKINGS
C-21	DP ROAD LIGHTING PLAN
C-22	SIDEWALK, CURB AND GUTTER DETAILS
C-23	MISCELLANEOUS DETAILS 1
C-24	MISCELLANEOUS DETAILS 2

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION
AND SUPERVISION ON BEHALF OF SOUDER, MILLER & ASSOCIATES.

RAYMOND J. SMITH, P.E.
PROJECT MANAGER

DATE

Rev	Date	Description	By	CS
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SOUDER, MILLER & ASSOCIATES
5454 Venice Avenue NE, Suite D
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Phone: (505) 264-4942 Fax: (505) 261-5400
www.smaassoc.com
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1. **SOUDEK, MILLER AND ASSOCIATES SHALL HERINAFTER BE KNOWN AS THE ENGINEER. CONTRACTOR SHALL SUBMIT ALL QUESTIONS TO ENGINEER'S REPRESENTATIVE.**
2. **THERE WILL BE A PERSON OR PERSONS (HEREINAFTER KNOWN AS THE OWNERS REPRESENTATIVE) CHOSEN BY OWNER (HEREINAFTER KNOWN AS THE OWNER) TO ACT AS A CONTACT PERSON BETWEEN THE OWNER AND THE ENGINEER. THE OWNERS REPRESENTATIVE WILL OBSERVE AND PROVIDE INFORMATION AND PROVIDE CRITICAL LOCATIONS THROUGH THE ENGINEER TO THE CONTRACTOR IN THE FIELD.**

23. CONTRACTOR SHALL SUBMIT ASTM OR AASHTO CERTIFICATES OF MATERIAL'S COMPLIANCE TO THE OWNERS PROJECT REPRESENTATIVE, NO LESS THAN 5 DAYS PRIOR TO INITIATING ANY

20. WORK INVOLVING SUCH MATERIALS SHALL BE PERFORMED BY THE CONTRACTOR AS PER CONTRACT DOCUMENTS.
21. ANY DISCREPANCIES TO QUANTITY OR DEPTH OF MATERIALS AND EQUIPMENT MUST BE AUTHORIZED BY THE ENGINEER.
22. TESTING SHALL BE PERFORMED BY THE CONTRACTOR AS PER CONTRACT DOCUMENTS.
23. OVER-EXCAVATION OF TRENCHES SHALL NOT BE PERFORMED UNLESS IT IS DETERMINED TO BE NECESSARY TO PROTECT EXISTING UTILITIES. EXCAVATION SHALL BE REPAIRED WITH IMPORTED FILL OVER EXCAVATION PERFORMED UNLESS SHOWN BY THE CONTRACTOR TO BE REMEDIATED WITH CLASSIFIED FILL AND COMPACTION AS REQUIRED BY THE ENGINEER. NO ADDITIONAL PAYMENT SHALL BE MADE FOR IMPORTED FILL UNDER ANY CIRCUMSTANCES.
24. ALL FINISHED SIDES (BOTH SIDE SLOPES AND ALONG THE CENTERLINE) SHALL BE 4:1 OR SHALLOWER.
25. IMPROVED PAVING AND BACK-FILL SIDEWALKS, IF REQUIRED, SHALL BE OBTAINED BY THE CONTRACTOR AT HIS/HERS. SEPARATE PAYMENT WILL NOT BE MADE FOR PAVING AND COMPACTION OF SIDEWALKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL SECURE A SUITABLE PAVING AND BACK-FILL MATERIAL. IF A MATERIAL IS REQUIRED TO COMPLETE THE PROJECT.
26. BACK-FILL DENSITY TESTS SHALL BE PERFORMED AS PER SPECIFICATIONS. MINIMUM DENSITY SHALL BE 95% OF THE DENSITY OF THE COMPACTED MATERIAL. THE BACK-FILL STRUCTURE THAT REQUIRES COMPACTED FOUNDATION OR CONTROLLED BACK-FILL. ADDITIONAL COMPACTION TESTS SHALL ALSO BE TAKEN EVERY VERTICAL FEET OF BACK FILL. CONTRACTOR SHALL WARRANT ALL MATERIALS AND LABOR FOR A PERIOD OF NOT LESS THAN

1. STORMWATER POLLUTION PREVENTION PLANS AND EROSION CONTROL SHALL BE DEVELOPED BY THE CONTRACTOR TO PROTECT PROPERTIES AND PUBLIC FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION ACTIVITIES.
2. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND SHALL BE KEPT IN PLACE UNTIL EROSION AND SEDIMENTATION POTENTIAL IS MITIGATED. REMOVAL OF SILT AND SEDIMENT IS REQUIRED ONCE SILT AND SEDIMENT HAS REACHED HALF THE HEIGHT OF THE SILT FENCE.
3. EROSION CONTROL DEVICES SHALL BE CHECKED AND MAINTAINED PER USEPA REQUIREMENT 9.0 AND THE GENERAL CONSTRUCTION PERMIT.

1. CONTRACTOR SHALL COMPLY WITH ALL ENVIRONMENTAL REQUIREMENTS MOSEBY THE STATE OF MEXICO ENVIRONMENTAL DEPARTMENT (SEMARNAT) AND ANY OTHER AGENCY WITH JURISDICTION OVER THE PROJECT AREA.
2. ALL SPILLS OF OILS, GREASES, AND FLAMMABLE AND VOLATILE LIQUIDS, SUCH AS FUELS, SOLVENTS, AND OTHERS, SHALL BE TREATED IN SUCH A MANNER AS TO MINIMIZE SPILLAGE, REMOVAL, SOLIDIFICATION, AND BURNING. CLOSINGS OF ALL DRAINAGE SYSTEMS WITH HEAVY TRAFFIC SHALL BE AVOIDED. SPILLS OF SOLIDS, SUCH AS DUSTS, SHALL BE CLEANED UP IMMEDIATELY. REFUELING, MAINTENANCE AND GROUT DUMPING IN THE VICINITY OF WATER COURSES OR OTHER SENSITIVE AREAS SHALL BE PROHIBITED. SPILLS SHALL BE PERFORMED IN PROPER CONTAINMENT AREAS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING AND CLEANUP OF SPILLS OF HAZARDOUS MATERIALS SUCH AS GASOLINE, DIESEL, MOTOR OIL, SOLVENTS, CHEMICALS, AND OTHERS. IN THE EVENT OF A SPILL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING THAT SPILL TO THE ENVIRONMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING THAT SPILL TO THE CONTRACTED DRAINAGE AGENCIES AND TO THE STATE OF MEXICO ENVIRONMENTAL DEPARTMENT EMERGENCY RESPONSE TEAM AT (505) 827-4000 OR (505) 478-3657 IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT AND THE ASSOCIATED CLEANUP COSTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. IN THE EVENT THAT THE CONTRACTOR ENCOUNTERS ITEMS OF HISTORICAL IMPORTANCE, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY, AND WORK IN THE AREA SHALL IMMEDIATELY CEASE UNTIL THE SITE CAN BE PROPERLY CLEANED.

THE FOLLOWING DEFINITIONS SHALL APPLY TO THE PROJECT

1.	OWNER	CANYON WALK HOUSING, LLC.
2.	ENGINEER	SOUDER MILLER & ASSOCIATES
3.	CONTRACTOR	QUALCON BUILDERS, LLC.
4.	DEVELOPER	BETHEL DEVELOPMENT, INC.

1. PITRUN -
2. SUBGRADE -
3. BASE COURSE -
4. ASPHALT CONCRETE -
5. GEOGRID -

EXISTING IMPROVEMENTS		PROPOSED IMPROVEMENTS	
	TELEPHONE BOX		WATER LINE
	UNDERGROUND GAS LINE		FIRE HYDRANT
	UNDERGROUND WATER LINE		SANITARY WATER METER
	UNDERGROUND TELEPHONE LINE		GAS VALVE
	CHAINLINK FENCE		WATER VALVE
	BANDED WIRE FENCE		EXISTING BUILDINGS
	BLOCK WALL		CONTROL POINTS
	FREEWIRE FENCE		
	WATER METER		
	GAS VALVE		
	WATER VALVE		
	EXISTING BUILDINGS		
	CONTROL POINTS		

[illegible]

HORIZONTAL AND VERTICAL CONTROL IS BASED ON NAD 83
CENTRAL ZONE. SEE SHEET C-3 FOR LOCATION OF CONTROL
POINT

THE CONTRACTOR SHALL ESTABLISH AND PRESERVE SECONDARY HORIZONTAL AND VERTICAL CONTROL.

1. NMDOT, LATEST EDITION.

RAYMOND J. SMITH, P.E.
SOLDER, MILLER & ASSOCIATES
5454 VENICE AVENUE, SUITE D
ALBUQUERQUE, NEW MEXICO 87113

BETHEL DEVELOPMENT, INC.
201 BRADENTON AVENUE
DUBLIN, OH 43017
(614) 792-5511

911	FIRE/POLICE/AMBULANCE
911	FIRE/POLICE/AMBULANCE

HORIZONTAL AND VERTICAL CONTROL IS BASED ON NAD 83
CENTRAL ZONE. SEE SHEET C-3 FOR LOCATION OF CONTROL
POINT

THE CONTRACTOR SHALL ESTABLISH AND PRESERVE SECONDARY HORIZONTAL AND VERTICAL CONTROL.

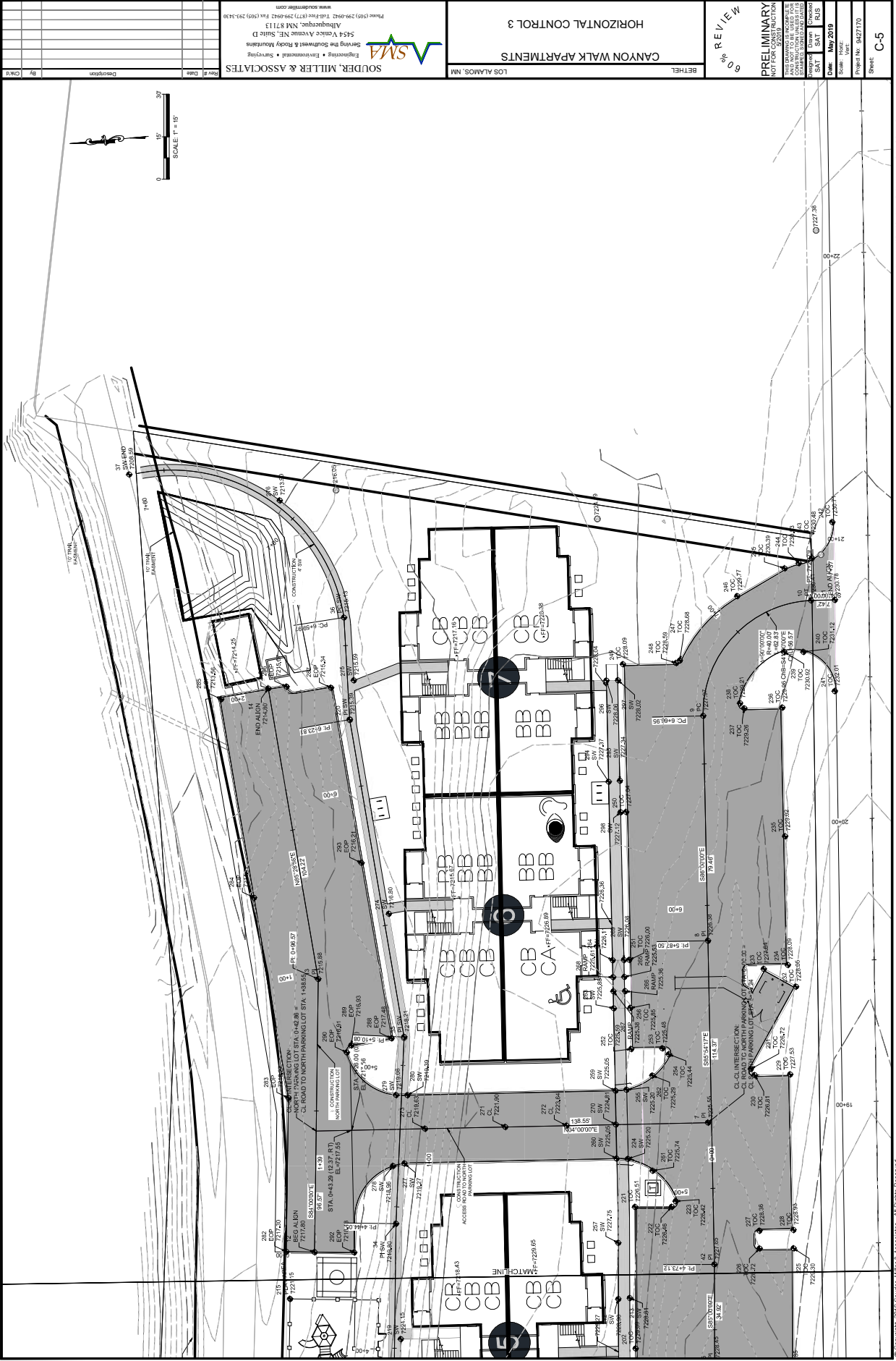
1. NMDOT, LATEST EDITION.

RAYMOND J. SMITH, P.E.
SOLDER, MILLER & ASSOCIATES
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ALBUQUERQUE, NEW MEXICO 87113

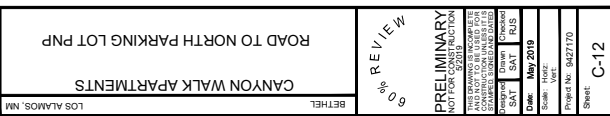
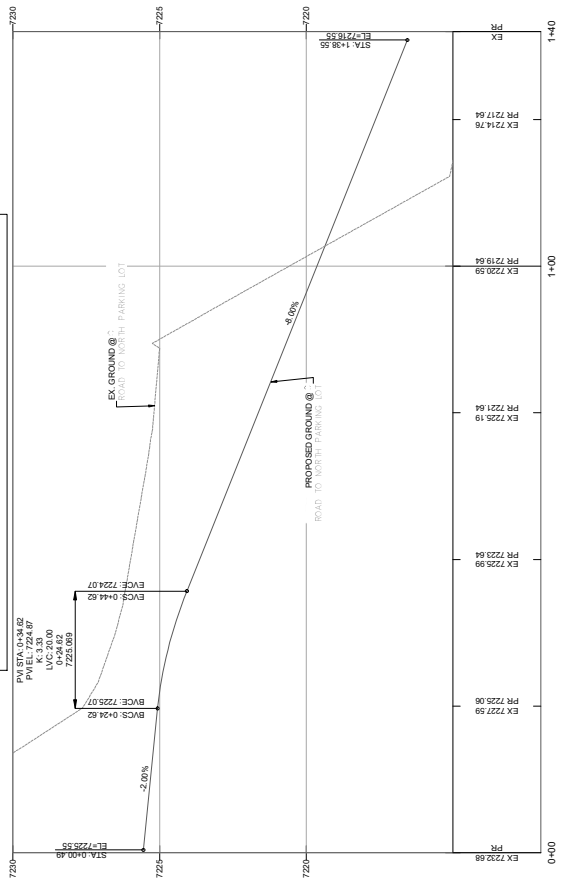
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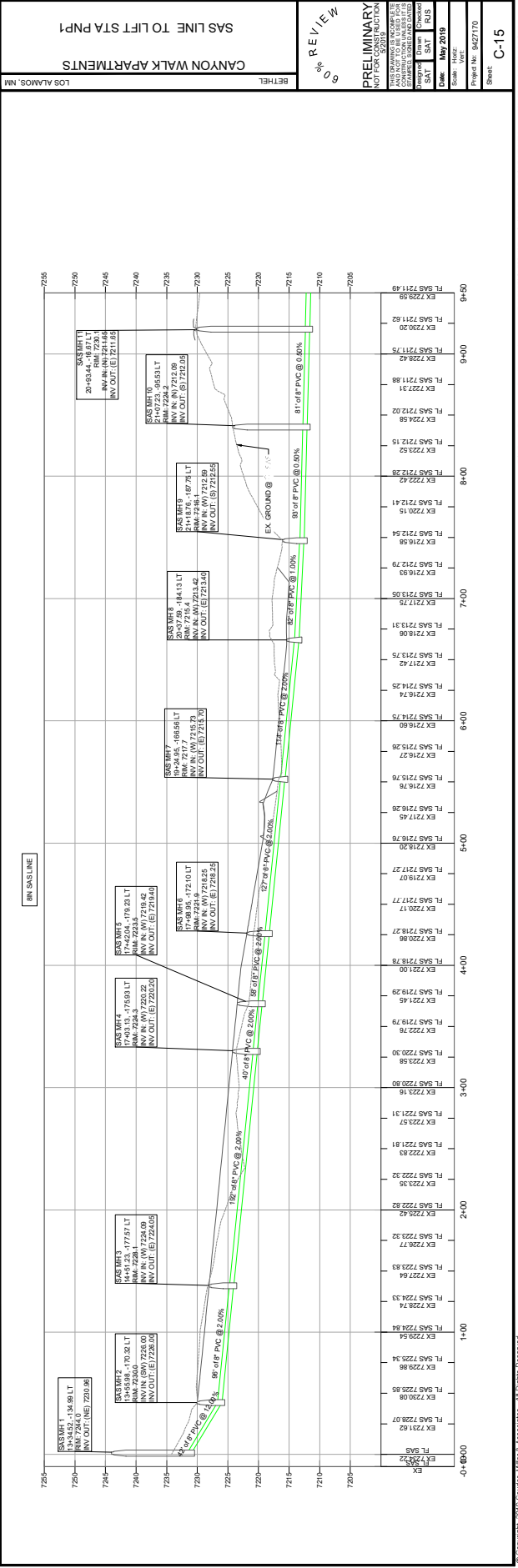
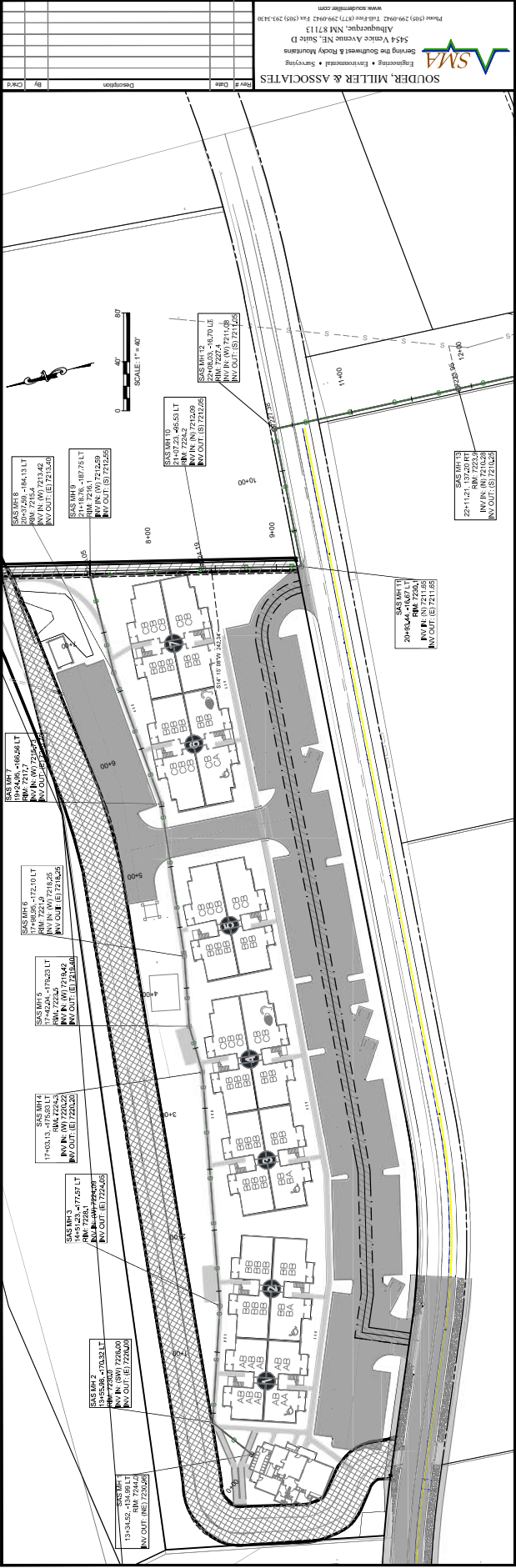
911	FIRE/POLICE/AMBULANCE
911	FIRE/POLICE/AMBULANCE





CANYON WALK APARTMENTS		LOS ALAMOS, NM	
HORIZONTAL CONTROL 3		BETHEL	
SOUDEK, MILLER & ASSOCIATES		Engineering • Environmental • Surveying	
5454 Venetia Avenue NE, Suite D		Albuquerque, NM 87113	
Phone (505) 294-4842		Fax (505) 293-3439	
www.soudekmla.com			
Drawn	By	Checked	By
May 2019	SAI	SAI	SAI
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Project No. 8427170		Sheet	
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CANYON WALK APARTMENTS
LOS ALAMOS, NM

BETHEL

6% REVISED

PRELIMINARY
NOT FOR CONSTRUCTION

DESIGNED BY: S&S
CHECKED BY: S&S
DATE: May 2019
PROJECT NO.: 0427170
SHEET: C-15

PROJECT: Canyon Walk Apartments
LOCATION: Los Alamos, NM
OWNER: S&S
DATE: May 2019
PROJECT NO.: 0427170
SHEET: C-15

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CANYON WALK APARTMENTS
 LOS ALAMOS, NM

TYPICAL SECTIONS DP ROAD

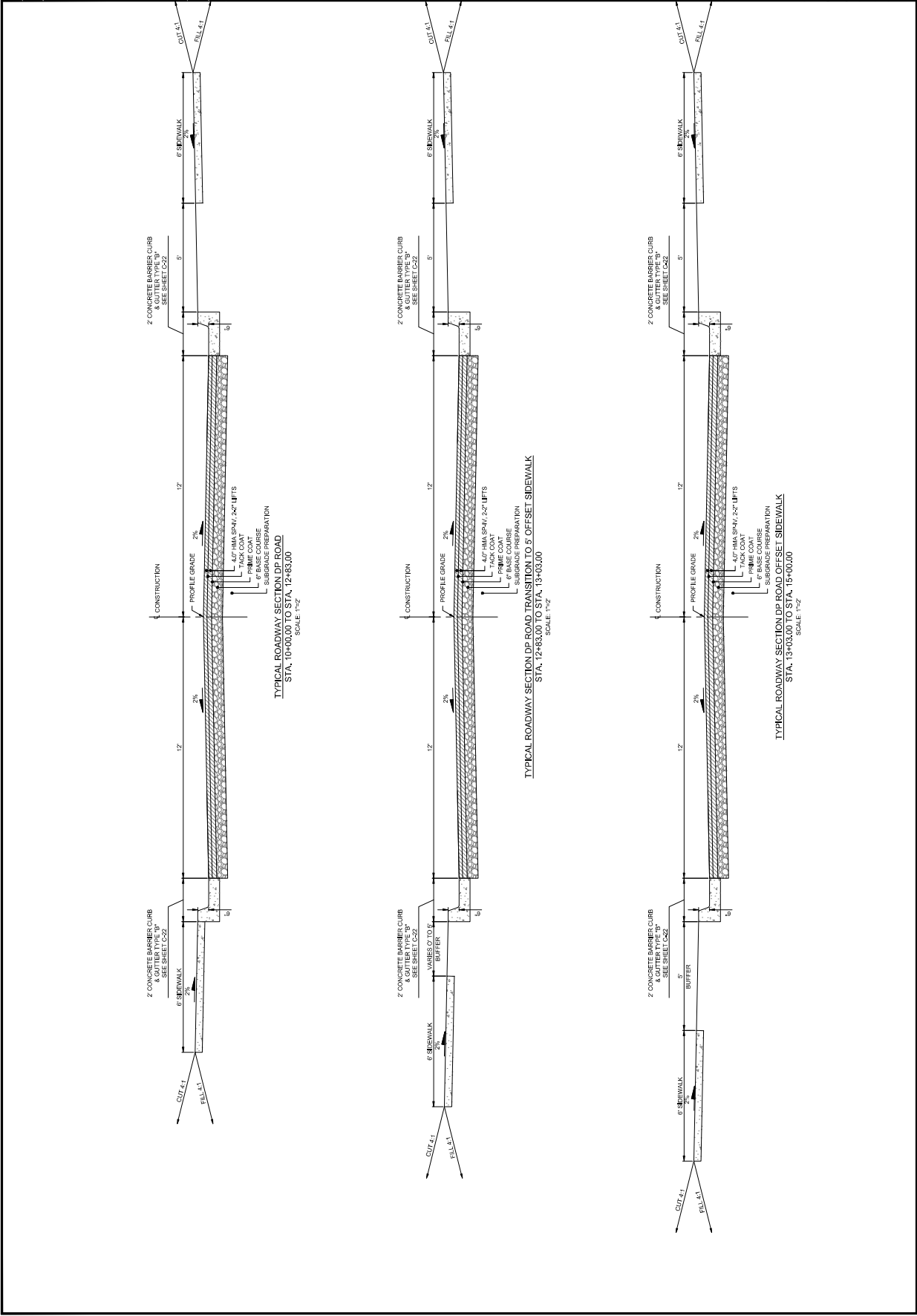
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SAT	SKT	RLS

Date: **May 2019**
 Scale: Noted
 Project No: 942717D
 Sheet: **C-18**



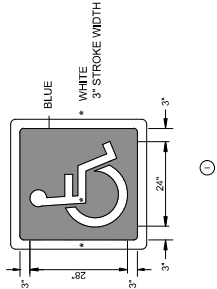
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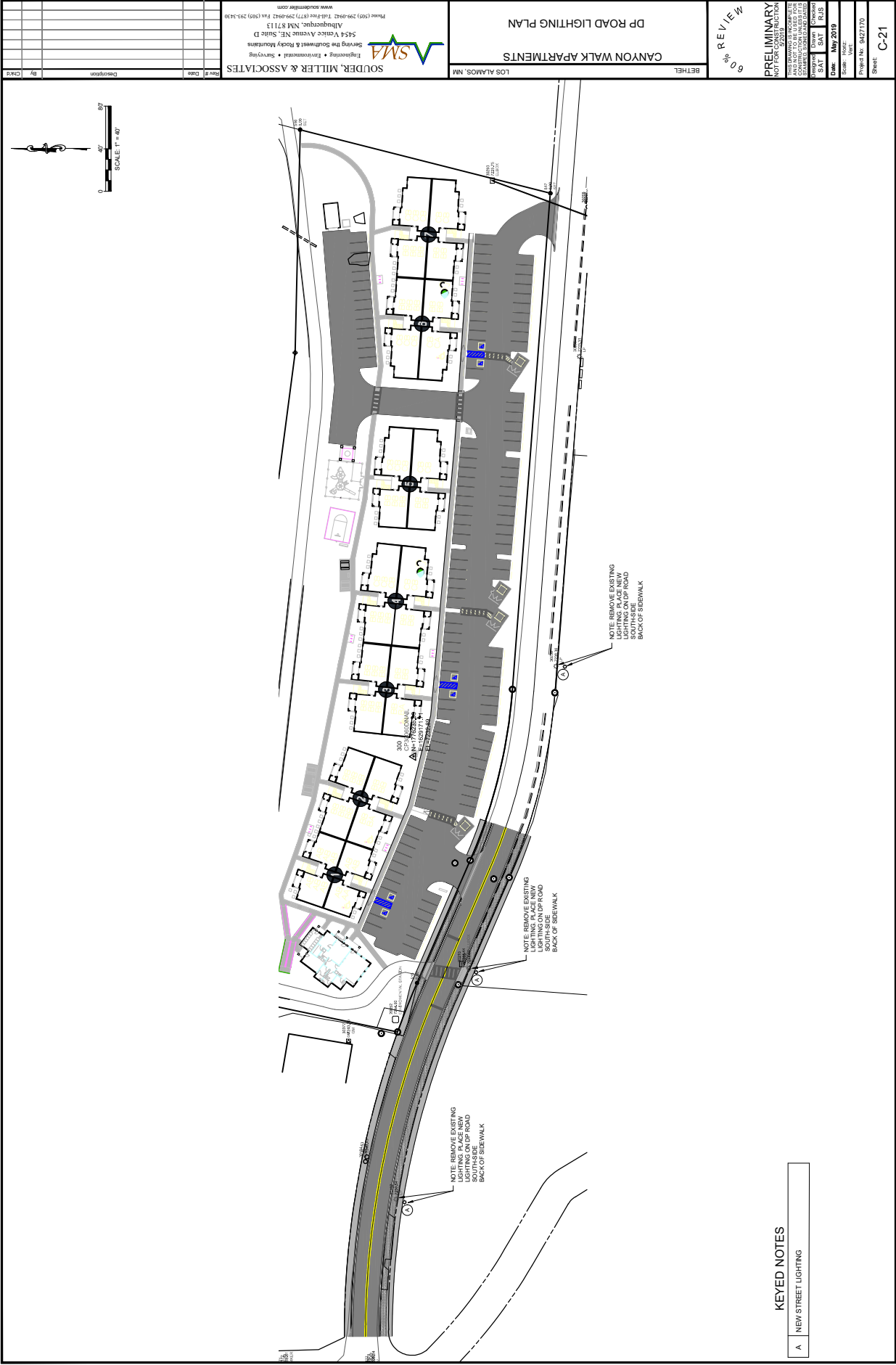
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BETHEL	6
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Designed	Checked
SAT	RJS
Date:	May 2019
Scale:	1"=1'-0"
Project No:	9427170
Sheet:	C-20



A	4" SOLID WHITE
B	4" SOLID YELLOW
C	4" SOLID BLUE
D	12" SOLID WHITE
E	24" SOLID WHITE
F	STOP SIGN
G	STOP FOR PEDESTRIAN SIGN
H	HANDICAP RESERVED PARKING
I	HANDICAP SYMBOL
J	SPEED LIMIT SIGN



KEYED NOTES

A NEW STREET LIGHTING

6th REVIEW

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Prepared By: SMT

Checked By: SMT

Date: May 2019

Scale: As Shown

Project No: 9427170

Sheet: C-21

Author: SMT

Drawn: SMT

Checked: SMT

Date: May 2019

Scale: As Shown

Project No: 9427170

Sheet: C-21

Author: SMT

Drawn: SMT

Checked: SMT

Date: May 2019

Scale: As Shown

Project No: 9427170

Sheet: C-21

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		Vert:			
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NEW MEXICO
DEPARTMENT OF TRANSPORTATION
STANDARD DRAWING

SIDEWALK
CURB AND GUTTER

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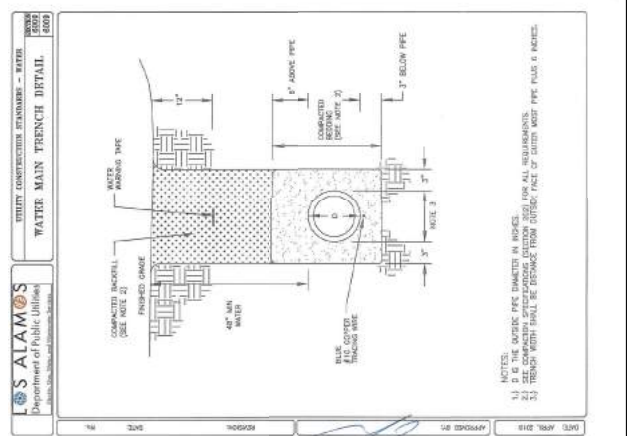
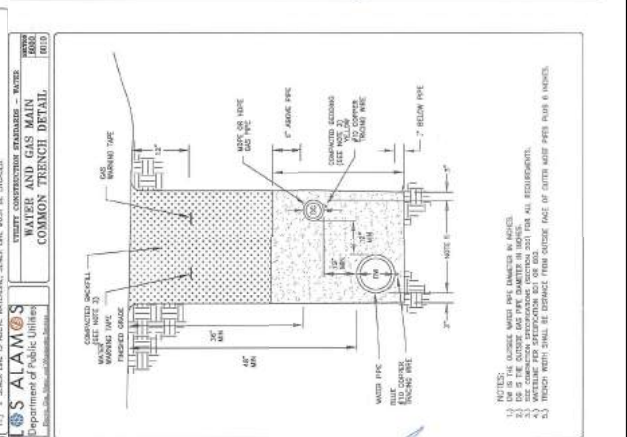
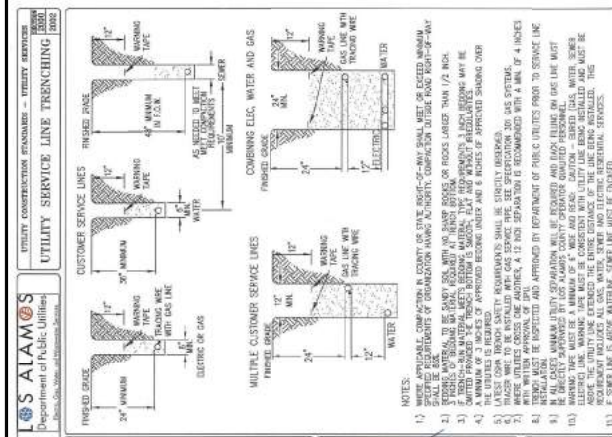
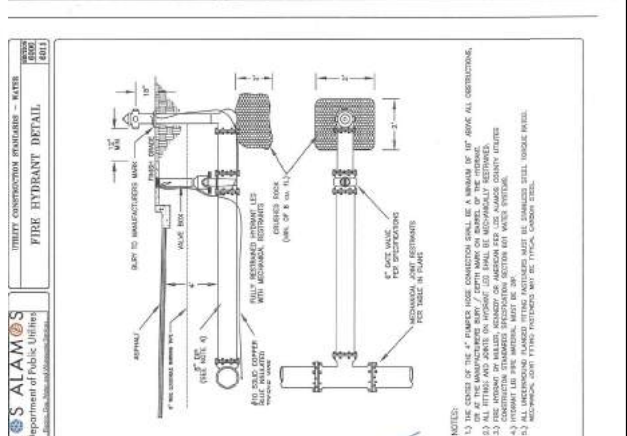
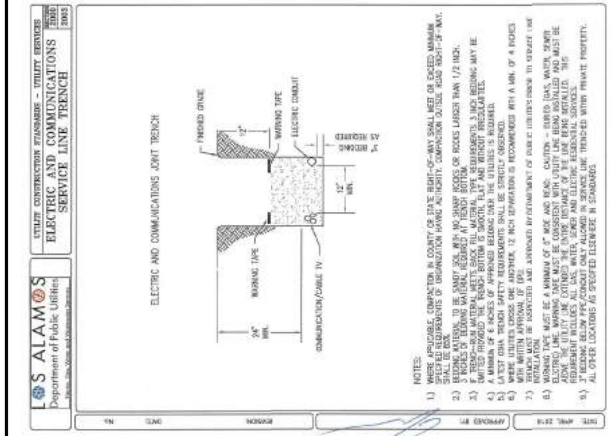
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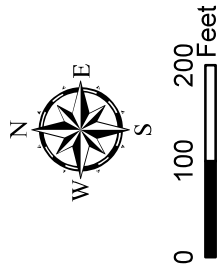
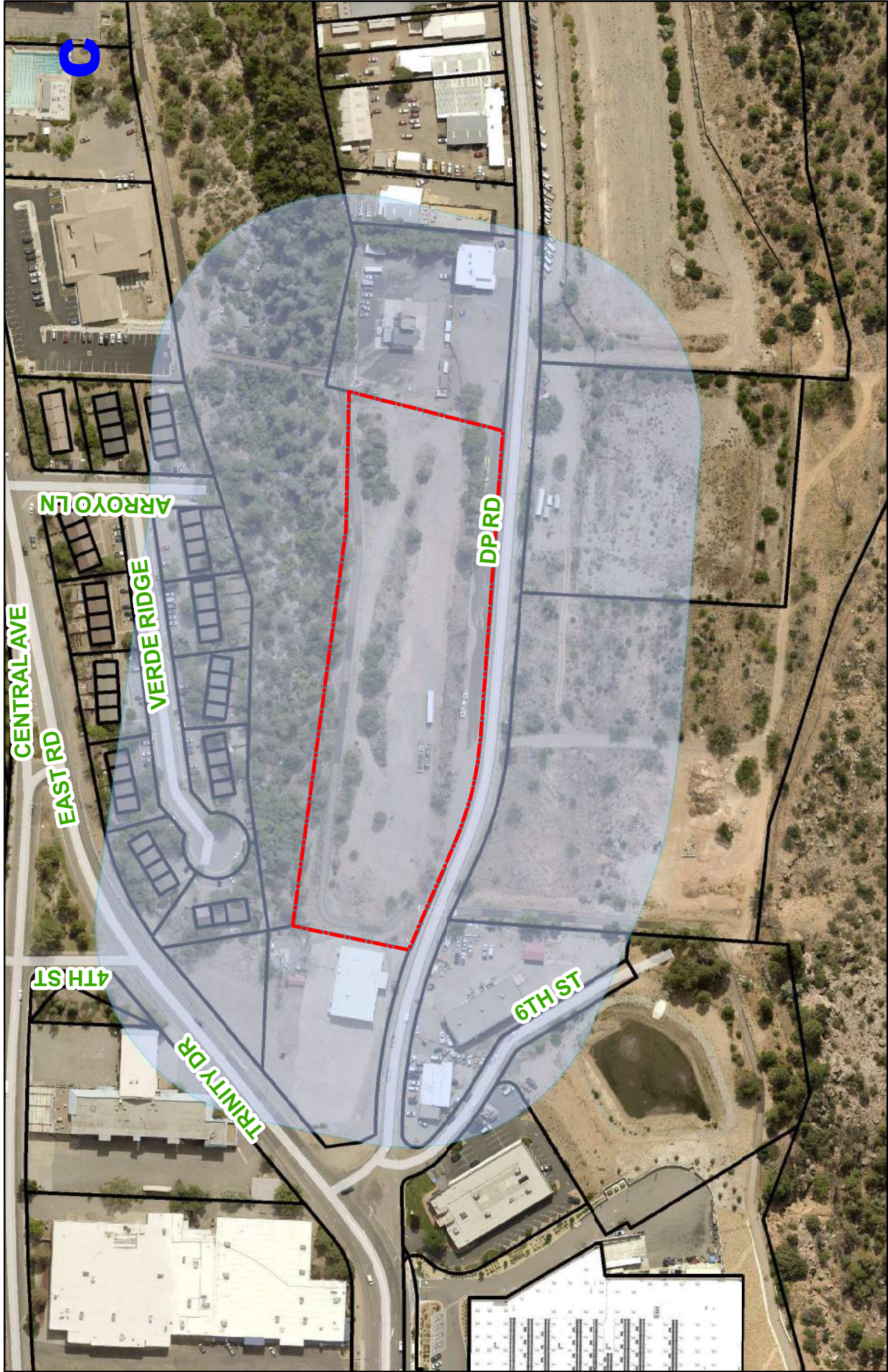
SECTION B-B

SECTION A-A

PLAN DRIVE PAD

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- PROJECT SITE
- 300' NOTIFICATION BUFFER
- PARCELS

120 DP ROAD | SIT-2019-0035

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