



## DEVELOPMENT APPLICATION

### PROJECT INFORMATION

Title: Sherwood Rounds Subdivision

Project Address: 114 to 123 Longview Drive, White Rock

Description:  
a 29-unit Two Story Townhouse Subdivision along Longview Drive in White Rock

Check all application types, if applicable:

- |   |  |
|---|--|
| <input type="checkbox"/> Administrative Deviation ... \$25  | <input type="checkbox"/> Site Plan* ... \$500 plus<br>\$75 per/Million \$ estimated construction cost                          |
| <input type="checkbox"/> Administrative Wireless Telecom ... \$250  | <b>Estimated Construction Cost:</b> _____  |
| <input type="checkbox"/> Encroachment Permit ... \$25   | <input type="checkbox"/> Major Site Plan Amendment* ... \$500  |
| <input type="checkbox"/> Temporary Use Permit ... \$25  | <input type="checkbox"/> Minor Site Plan Amendment ... \$250   |
| <input type="checkbox"/> Comprehensive Plan Adoption & Amendment*... \$250  | <input type="checkbox"/> Major Zone Map Amendment* ... \$150<br><i>No fee if initiated by County Council or County Manager</i> |
| <input type="checkbox"/> Conditional Use Permit* ... \$300  | <input type="checkbox"/> Minor Zone Map Amendment* ... \$150<br><i>No fee if initiated by County Council or County Manager</i> |
| <input type="checkbox"/> County Landmark or Historic District Adoption/Amendment* ... \$250   | <input type="checkbox"/> Master Plans* (Major, Minor) ...\$250   |
| <input type="checkbox"/> Development Plan* ... \$500  | <input type="checkbox"/> Text Amendment* ... \$150<br><i>No fee if initiated by County Council or County Manager</i>           |
| <input type="checkbox"/> Major Development Plan Amendment* ... \$500  | <input type="checkbox"/> Variance ... \$250<br><i>No fee if application is a part of a Site Plan review</i>                    |
| <input type="checkbox"/> Minor Development Plan Amendment ... \$250   | <input type="checkbox"/> Administrative Wireless Telecommunication Facility ... \$250  |
| <input type="checkbox"/> Summary Plat... \$100 plus \$25 lot; \$10 / acre for non-residential   | <input type="checkbox"/> Discretionary Wireless Telecommunication Facility* ... \$500  |
| <input type="checkbox"/> Sketch Plat, Subdivision*... \$250 plus<br>\$175/lot (1-10 lots)<br>\$125/lot (11-30 lots)<br>\$75/lot (30+ lots)            | <input type="checkbox"/> Small Wireless Facility ...\$250  |
| <input type="checkbox"/> Preliminary Plat, Subdivision* ... \$250 plus<br>\$175/lot (1-10 lots)<br>\$125/lot (11-30 lots)<br>\$75/lot (30+ lots)      | <input type="checkbox"/> Major Historic Demolition* ... \$250  |
| <input checked="" type="checkbox"/> Final Plat, Subdivision* ... \$250 plus<br>\$175/lot (1-10 lots)<br>\$125/lot (11-30 lots)<br>\$75/lot (30+ lots) | <input type="checkbox"/> Major Historic Property Alteration Certification* ... \$250   |
| <input type="checkbox"/> Landscaping Plan ...\$500  | <input type="checkbox"/> Minor Historic Property Alteration Certificate ... \$250  |
| <input type="checkbox"/> Lighting Plan ...\$500   |  |

**\* Application reviews require a pre-application meeting.**

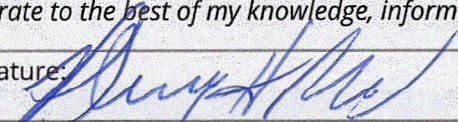
**PROPERTY & OWNER INFORMATION**

Property Address:	<u>114 -123 Longview Drive</u> <small>Address</small>	<u>Los Alamos</u> <small>City</small>	<u>NM</u> <small>State</small>	<u>87545</u> <small>ZIP</small>
Zoning District:	WRTC	Lot Size - Acres / Sq. Ft.: 1.05		
Existing Structure(s) Sq. Ft.:	0.00	Lot Coverage: 1		
Property Owner(s) Name: The Handy Family Trust				
Owner(s) Email: judyhandy@msn.com				
Owner(s) Phone(s)#: 505 470 7644				
<input type="checkbox"/> Owner's Address same as Property Address				
Owner(s) Address:	<u>535 Rover Blvd</u> <small>Address</small>	<u>Los Alamos</u> <small>City</small>	<u>NM</u> <small>State</small>	<u>87545</u> <small>ZIP</small>

**APPLICANT / OWNER'S AGENT INFORMATION**

<input type="checkbox"/> Applicant is same as Owner				
Applicant Name: Twilight Homes of NM, LLC, and IMG, LLC Philip Gursky, Representative				
Applicant Address:	<u>1301 Questa Arriba Ct</u> <small>Address</small>	<u>Albuquerque</u> <small>City</small>	<u>NM</u> <small>State</small>	<u>87113</u> <small>ZIP</small>
Applicant Email: philipgursky2@gmail.com				
Applicant Phone(s)#: 267 816-0299				

**ASSOCIATED APPLICATONS**

Application Type: Sketch Plat Approval Application and Variance Request Application	
Case Number: SUB-024-0016 and VAR 24-0001	
<i>I hereby certify and affirm, under penalty of perjury, that the information I have provide in this application is true and accurate to the best of my knowledge, information, and belief. [NMSA 1978, §30-25-1]</i>	
Signature: 	Date: 7/7/2024

**STAFF USE ONLY**

Date Received: <b>July 6, 2024</b>	Staff:
Case No.#: <b>SUB-2024-0019</b>	Meeting Date:

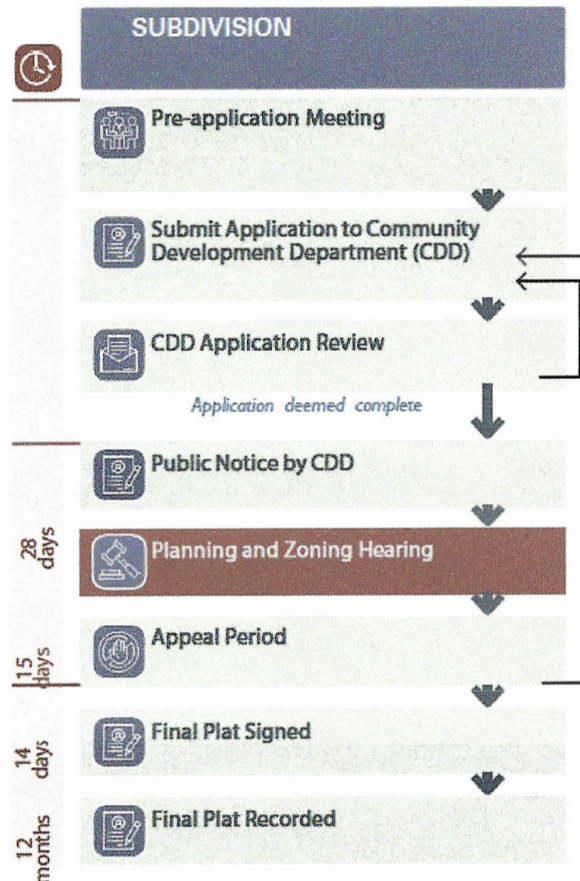
**SUBMITTALS**

<input checked="" type="checkbox"/> Proof of Ownership or Letter of Authorization from Owner	<input checked="" type="checkbox"/> Complete Application - Date: _____
<input checked="" type="checkbox"/> Items from associated Application Checklist	<input checked="" type="checkbox"/> Payment - Accepted upon verification of a complete application - Date: _____

# SUBDIVISION CHECKLIST (SKETCH, PRELIMINARY, AND FINAL PLATS)

Applicants for all development application reviews must complete this checklist and submit it with the Development Application. Refer to the referenced code sections for additional information. Contact the Planning Division with questions regarding these requirements: [planning@lacnm.us](mailto:planning@lacnm.us).

PRE-APPLICATION MEETING
Date Held <i>6/11/24</i>
SUBMITTALS FOR SUBDIVISION
<ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> A Vicinity map, showing the boundaries of the property to be subdivided, and all adjacent lots within 300 feet.</li> <li><input checked="" type="checkbox"/> A scaled Plat or survey which shall indicate and dimension any existing utility lines.</li> <li><input checked="" type="checkbox"/> Show and label the footprint of all existing buildings and structures on the site.</li> <li><input checked="" type="checkbox"/> Show the footprint of all buildings and public rights-of-way within 20 feet of all boundaries of the site.</li> <li><input checked="" type="checkbox"/> Show, dimension and label all existing and proposed easements.</li> <li><input checked="" type="checkbox"/> Subdivision Final plats shall include a list of any variances and/or deviations granted as an exhibit or note.</li> </ul>
Note: There shall be no more than 12 months between final action on a preliminary plat and application for final plat.
ADDITIONAL SUBMITTALS
Based on staff's review and Interdepartmental Review Committee's recommendation - additional submittals may be needed and will be communicated to the applicant by the assigned Case Manager.



See Reverse.

**DECISION CRITERIA 16-74 - (a)(3)**

a. The development of the property substantially conforms to the intent and policies of the Comprehensive Plan and other adopted County policies and plans. Explain.

See attached Written Criteria Answer for Question a. This answer is the same as the answer in the application for Sketch Plat Application in case SUB-24-0016, as this application is merely for a final subdivision approval in accordance with the term of the decision and file in that action.

*Staff finds that this criterion has been met*

*Staff finds that this criterion has not been met - more information is needed*

b. The subdivision action shall not be materially detrimental to public health, safety, and welfare. Explain.

See attached Written Criteria Answer for Question b.

*Staff finds that this criterion has been met*

*Staff finds that this criterion has not been met - more information is needed*

c. The subdivision is in conformance with all applicable provisions of this Code and other adopted County regulations. Explain.

See attached Written Criteria Answer for Question c

*Staff finds that this criterion has been met*

*Staff finds that this criterion has not been met - more information is needed*

d. The subdivision must be served or be capable of being served by all public utilities, with the exception of subdivisions for the R-E and R-A zone districts where it is determined by the Utilities Manager that it is economically unfeasible to extend sewer lines. Explain.

See Attached Written Criteria Answer to Question d

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- Staff finds that this criterion has been met
- Staff finds that this criterion has not been met - more information is needed

e. The County's public infrastructure and services required to serve the proposed development including but not limited to water, sanitary sewer, electricity, gas, storm sewer, streets, etc. have adequate capacity to serve the proposed subdivision or made to be adequate if improvements are required in compliance with the County's construction standards, drainage standards, and adopted Utilities Department plans and specifications. Explain.

See Attached Written Criteria Answer to Question f

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- Staff finds that this criterion has been met
- Staff finds that this criterion has not been met - more information is needed

f. Any necessary easements shall be provided for both existing and proposed utilities in an acceptable manner to the County Engineer and Utilities Manager. Explain.

See attached Written Criteria Answer to Question f.

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- Staff finds that this criterion has been met
- Staff finds that this criterion has not been met - more information is needed

g. The plat retains natural features such as watercourses, natural vegetation, terrain, historic and archaeological sites and structures, and other community assets, which if preserved, will contribute to the overall appearance and quality of life in the County to the maximum extent feasible. Explain.

See Attached Written Criteria Answer to Question g.

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- Staff finds that this criterion has been met
- Staff finds that this criterion has not been met - more information is needed

h. The subdivision does not create a nonconformity or increase the extent or degree of an existing nonconformity with the provisions of this Code unless a Variance pursuant to Sec. 16-74(f) is approved concurrently with the plat. Explain.

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See attached Written Criteria Answer for Question h. A variance in the right of way for Longview Drive was approved in VAR-24-0005.

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- Staff finds that this criterion has been met
- Staff finds that this criterion has not been met - more information is needed

i. An application for a Preliminary Plat shall be approved if it complies with all applicable provisions of this Code, any other adopted County regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property. Explain.

Not Applicable, as Sketch Plat approval as already been granted and a separate Preliminary Plat approval is not necessary as a part of this Final Subdivision Plan application

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- Staff finds that this criterion has been met
- Staff finds that this criterion has not been met - more information is needed

j. An application for a Final Plat shall be approved if it includes all changes, conditions, and requirements contained in the Preliminary Plat approval. Explain.

The proposed Final Subdivision Plat and related engineering plans and details conform to the changes, conditions and requirements contained in SUB-24-0016.

See attached Written Criteria Answer for Question j for additional explanation.

Staff finds that this criterion has been met

Staff finds that this criterion has not been met - more information is needed

**Attach additional sheets, if needed.**

a. The development of the property substantially conforms to the intent and policies of the comprehensive plan and other adopted county policies and plans.

## Comprehensive Plan

The Sherwood Rounds project is a high-density infill townhouse project containing 30 units on a net acreage of approximately one acre. This project is intended to conform to the highest priority and longest held policies and goals of the County encompassed in the Comprehensive Plan.

The text below illustrates the pervasive level of housing goals and strategies (particularly entry level and income limited for-sale homes) in the Comprehensive Plan that compliment and support our project design:

### **3.1 Housing Goals (page 62)**

1. Encourage the creation and retention of a variety of housing options for all segments of the Los Alamos community, including but not limited to housing for residents who are low income, students/post-docs, workforce, highend income and seniors
2. Promote workforce and market rate housing at a variety of price ranges, for both rental and ownership markets
4. Promote design standards for high quality and good design of new housing
7. Explore ways to reduce housing development costs

### **Housing Land Use Strategies (page 63)**

1. Consider incentives and flexibility for new development through zoning
2. Examine increased density options
3. Consider density bonuses for affordable small units
4. Use vacant or under-developed public land for housing
6. Create new strategies to encourage construction of smaller units for smaller households.

A primary tenet of the Comprehensive Plan is to encourage development of high-quality housing for all segments of the community. The developer with its collaborator, the Los Alamos Housing Partnership, the non-profit affordable housing entity for the County, are creating the first new entry level for sale housing development since Pinon Trails in 2009.

### **Growth Goals (page70)**

1. Plan for modest growth of an additional 2,000 residents in the next 5 to 10 years
2. Diversify the economic base
4. Support and retain LANL as the best wealth producing employer
9. Revitalize and eliminate blight in the downtown areas of Los Alamos and White Rock
10. Promote growth in the downtown

11. *Strive to make housing available to those who work in the County and want to live in the County.*

**Growth Land Use Policies (Page 71)**

3. *support infill development of current developed areas over expansion of developed areas.*

4. *Collaborate with Los Alamos National Laboratory as the area's #1 Employer*

**Development Goals (Page 76)**

3. *Enhance and maintain a vibrant downtown while keeping a small-town character and feel*

5. *Focus increased residential densities on new development in and near downtown*

**Development Land Use Goals (Page 77)**

2. *Generally keep development contained within current development boundaries (prevent sprawl)*

4. *Increase residential density in the downtown area*

**Redevelopment Goals (Page 81)**

1. *Address abandoned or blighted properties*

3. *Promote use of existing housing stock to meet housing demand.*

The Comprehensive Plan encourages and seeks to turn blighted or underused parcels into productive and vibrant additions to the White Rock Town Center. This subdivision does precisely that. The Comprehensive Plan Downtown Goals 1) Focus development priorities downtown (including the White Rock Town Center) 2) Focus Increased residential densities in new development in or near downtown, while c) protecting existing neighborhood in or near downtown from impacts caused by new development and re-development. (See Section 3.2, Goals 2,3 and 5)

In accordance with the terms and substance of the Comprehensive Plan, the developers, taking their design keys from the centuries of successful rowhome neighborhoods of East Coast Cities, have created a new and innovative subdivision design for Los Alamos for high density for-sale homes, while preserving the scale and scope of the surrounding neighborhoods. Sherwood Rounds has a high per acre density, yet a welcoming, pedestrian and biking friendly small town neighborhood feel. We are tackling redeveloping of a long languishing and hard to develop site in the heart of White Rock.

**2023 County Strategic Leadership Plan and Economic Vitality Plans**

Similar to other County policy plans, among the top priorities in each of these plans is housing and, in general, and entry level housing in particular. Sherwood Rounds falls squarely with the desired outcomes for each of these plans.

The first goal under the section on Economic Vitality in the Strategic Leadership Plan is:

*Housing Increase the capacity for new housing development and the amount and variety of housing types to meet the needs of a growing population, particularly middle- and lower-income households.*

Our project is consistent with the Environmental Stewardship goals from the Strategic Leadership Plan as follows:

*Greenhouse Gas Reduction.*

*Establish targets for and promote the reduction of greenhouse gas emissions, integrate sustainability and resiliency practices into County operations, and encourage energy-reduction enhancements for new and remodel building projects in the community.*

Our project will be a fully electric subdivision using heat pump technology and will contain not natural gas hookups.

*Water Conservation*

*Reduce potable water use and increase non-potable water use and water harvesting for irrigation where suitable.*

The landscape median is designed to contain approx. 6,000 sq ft of storm water detention system and use the detained water to provide landscape irrigation, as well as installing rain barrel catchments for irrigation of front and back yard landscape.

Goal Number 1 from the Economic Vitality Plan is:

*Increase the availability of housing in the County, both affordable and market rate.*

### **White Rock Town Center Master Plan**

The White Rock Town Center Master Plan (Master Plan) mission statement is as follows:

*White Rock Town Center, the gateway to Bandelier National Monument, is envisioned as a thriving hub with a vibrant mix of residential, retail, and office development at a **character and scale appropriate for the surrounding community**. With attractive housing, shopping, and public spaces, along with a network of trails and parks, it is a great place for residents to live and visitors to explore.*

Sherwood Rounds is a subdivision plan designed to meet this vision, creating new, quality, entry level infill housing for the White Rock Community in a scale calculated to bring new and catalytic activity to the White Rock Town Center.

The Master Plan looks to increase downtown residential densities. Using a long vacant and unused portion of the area surrounding the original Longview Drive, Sherwood Rounds will be an attractive townhouse community with entry and downsizing level homes transected with a wide and beautiful street characterized by pedestrian and bike friendly paths, slow vehicular traffic and public landscape space containing dozens of street side trees and other landscaping that will to grow into beautiful mature streetscape. (See Longview Drive recommended street cross-section, Page 51 of the Master Plan)

The Master Plan identifies the area around the existing Longview Drive as appropriate for townhouse infill. As pointed out by characterizing the results of the 2019 Housing Study there is ...”identified an immediate need for 1,310 units of rental housing and 379 units for

homeownership, with a particularly acute housing need for middle- and low-income households. (page 36).

The Master Plan contemplates creating increased density either vertically or horizontally. The Developers have elected to use horizontal density increase as the most harmonious option to retain small town character and fidelity to the surrounding area environs.

The subdivision is a thirty unit per acre density project, making it one of, if not the densest housing projects in Los Alamos, either owned or rental.

The townhouses are all a two story design to compliment the split level elevations of Village Place to the East, single story detached residences to the South and the scale of the one story Montessori Day Care Center buildings to the West.

It has been suggested the Master Plan allows for higher vertical building heights and densities consistent with an urban environment. (Conceptual Drawing Exhibit 16, Page 37) and we should include three-story, three-unit condominium townhouse buildings. However, the Exhibit pointed out a is clearly just a conceptual development framework is conceptual illustrates a vision of the White Rock Town Center and it may develop differently than what is illustrated in Exhibit 16. (Section 2.1.III, page 35).

There are multiple reasons for our design decision to use two-story attached single unit townhouses, among those:

1. In the current environment condominium home loan financing of condo units is not favored, with small new number unit condos financing non-existent.
2. The three-story three-units construction would require parking below the units, however geotechnical data suggests significant amounts of basalt at subsurface levels, requiring blasting, adding materially higher costs and creating the for potential damage to older and smaller construction existing on all sides of the subdivision.
3. Three-story three-unit design will require a unit width more than 2.5 times wider than our unit design, resulting in similar density for either design style, with substantially higher per square foot construction costs and unit prices, if financing were available.
4. Three-story three-unit construction would need an ADA accessible van parking space with a direct ADA accessible pathway under every building. The maximum slope design limits could not be accommodated on smaller lots, substantially reducing density potential. Rather we will look at accessibility design features on a case-by-case basis, as requested.
5. Elevators are not physically feasible and cost prohibitive in entry level housing, making two thirds of all units automatically unusable for seniors, and physically challenged homeowners.
6. As survey data suggests nationwide, as confirmed by recently released surveys of 5000 new LANL hires, purchasers want single lot owner homes. Our design allows this overwhelming homeowner preference while style creating significant densities. Just because current unit availability imbalances allows sale of units not favored by buyers, it does not mean we should do that.

7. Although the Master Plan suggests use of three-story multi-unit buildings and Plan describes a potential vision of townhouses as three-story multi-owner buildings, it allows as townhouses may be one or two-story buildings. In addition to our other practical design decisions, under the Development Code (Chapter 16, Article VI Definitions) townhouses are defined as:

*“ Dwelling Unit, Townhouse. An individually owned , single family dwelling constructed as a group of 3 or more attached single-family dwellings, each of which is situated on a on an individually owned, subdivided lot.”*

In the event of a conflict between definitions or concepts, our code calls for the more restrictive definition to apply. As this area of Longview is the only area designated for individual homeowner units in the White Rock Town Center area vision, we have taken this to heart in our design.

As Developers with local and longstanding connections to the community, we respect the desire and process for redevelopment of the White Rock Town Center. The Sherwood Rounds design does not impact the ability to create a new straight street alignment to connect the West branch of Longview Drive coming from the Smith’s Supermarket side and the East Branch of Longview Drive coming from the White Rock Senior Center area. We have reserved from the property we are acquiring, land North of our subdivision to help accommodate that. When application and evaluation processes for use of the tools created by the White Rock Metropolitan Area Plan are created and adopted by the Community Development Department, we will actively engage in street re-alignment and feasible redesign discussions for redevelopment of areas North of Sherwood Rounds, into multi-family housing mixed with accessory first floor retail space.

The proposed Sherwood Rounds design encompassed the vision and spirit of a more active and vital White Rock Town Center. As expressed in the plan we are creating *“(Q)uality housing options that are attainable to all residents while protecting existing neighborhoods”* (Section 2-3.I page 61) with the key being coupling building heights *“...with neighborhood protection standards that automatically kick in when higher density development occurs adjacent to single-family uses.”* (Section2-3.III Page 61).

The proposed Sherwood Rounds Subdivision is consistent the Comprehensive Plan and other Policy Plans of the County including the 2023 County Strategic Leadership Plan, the Economic Vitality Plan and the White Rock Town Center Master Plan.

**b. The subdivision action shall not be materially detrimental to public health, safety, and welfare.**

The subdivision, if approved is not materially detrimental to public health safety and welfare in that it will be in a long abandoned and under-utilized section of the White Rock Town Center. It will return vitality and new activity to the town center by bringing entry level and accessible homes to White Rock. While we have a high-density project, we have created a design that takes into consideration the uses and scale of our neighbors. The surrounding properties have a) townhouse/patio housing immediately East of the site, b) two story multi-family housing Northeast across the Canyon de Buey Drainage Channel, c) single-family single-story housing to

the South on Aztec Lane and d) the Montessori Childcare Center to the West. As contemplated by the Comprehensive Plan and the WRTC Master Plan, our plan is consistent and harmonious with the surrounding environs, maintaining the neighborly smaller town feel, while creating significant densities. In our design, we have used existing grades and street locations with upgraded utility lines, where the lines and easements currently exist. Speed bumps to calm traffic through the subdivision and in front of the day care center, dance studio and Studio on the Mesa will increase safety for children, pedestrians, bicyclists and vehicular traffic. The scale and scope of the subdivision fits with its neighbors and the environs. The townhouses will apply County standards and future objectives for sustainability and carbon neutrality goals and will employ multiple on-site water use and drainage design features to retain and save water on site.

Sherwood Rounds brings no offensive, noxious or inappropriate use to the area. The existing stretch of Longview Drive on which the townhouses front will be upgraded with sidewalks, bike paths and extensive landscaping with dozens of Street fronting trees.

Accordingly, the subdivision will not be a detriment to public health, safety and welfare.

**c. The subdivision is in conformance with all applicable provisions of this Code and other adopted county regulations.**

The Final Plat of the Subdivision will comply with the zoning, density and design standards of the Development Code (Chapter 16 of the Municipal Code). The only deviation will be a requested variance to allow the Longview right-of way improvements for this subdivision to allow for a 5ft wide walking sidewalk immediately adjacent to the curb and 10 ft wide landscape area behind the sidewalk. (As opposed to a 5 ft landscape strip adjacent to the curb and 10-foot-wide sidewalk behind it in the design standards. As there is no commercial traffic on this section of the street, a sidewalk adjacent to the roadway and a wider street landscape area are appropriate and desirable.

**d. The subdivision must be served or be capable of being served by all public utilities, with the exception of subdivisions for the R-E and R-A zone districts where it is determined by the utilities manager that it is economically unfeasible to extend sewer lines.**

County utilities do now, and will continue, to serve the subdivision. Consistent with County sustainability goals, there will be no gas utility lines in this subdivision, as the homes will be fully electric.

**e. The county's public infrastructure and services required to serve the proposed development including but not limited to water, sanitary sewer, electricity, gas, storm sewer, streets, etc. have adequate capacity to serve the proposed subdivision or made to be adequate if improvements are required in compliance with the county's construction standards, drainage standards, and adopted utilities department plans and specifications.**

The Longview Drive street pavement, curbs, sidewalks and landscape will be replaced and improved. The lines carrying water and sewer will be replaced throughout the subdivision, as well as upgrading and replacing the capacity and existing electric lines. Use of existing drainage contours, combined with use of street landscape design for detention and use of storm water to service onsite landscaping, will reduce site water off flow from existing conditions. Additionally,

individual lots will have rain barrel retention systems for lot landscaping, further reducing drainage run off and increasing the ability of homeowner to cost effectively maintain landscaping in their yards.

**f. Any necessary easements shall be provided for both existing and proposed utilities in an acceptable manner to the county engineer and utilities manager.**

Utilities for the subdivision will be in the current Longview Drive right of way, where all existing utilities run. The only modified additional easements will run South of Longview Drive on the East and West boundaries of the subdivision.

**g. The plat retains natural features such as watercourses, natural vegetation, terrain, historic and archaeological sites and structures, and other community assets, which if preserved, will contribute to the overall appearance and quality of life in the county to the maximum extent feasible.**

The subdivision will retain the existing terrain and drainage will continue to flow into the drainage channel to the south of the Property and indirectly into the Canada de Buey Arroyo channel, resulting in no change in those features. To the extent feasible, especially within the landscape corridor in the Longview Drive Right of way, existing native and specimen trees and foliage will be retained. The developer will consult with Community Services Department personnel on street tree and bush specimen designation and placement, much as the Department is or will be doing for the golf course and other park areas in the County, to insure compatibility with native species and a pleasant mature landscape environment in the subdivision. Final drainage and landscape plans will be incorporated into the Final Subdivision Plat.

**h. The subdivision does not create a nonconformity or increase the extent or degree of an existing nonconformity with the provisions of this Code unless a variance pursuant to [section 16-74\(f\)](#) is approved concurrently with the plat.**

Except for the variance that was approved in case number VAR-24-0001 at the same time as the Sketch Plan Application, there will be no non-conformity with the design standards.

**i. An application for a preliminary plat shall be approved if it complies with all applicable provisions of this Code, any other adopted county regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.**

Not Applicable, as Preliminary Sketch Plat has already been approved in case number SUB-24-0016

**j. An application for a final plat shall be approved if it includes all changes, conditions, and requirements contained in the preliminary plat approval.**

The Final Subdivision Plat has been modified and amplified to include all relevant details, easements, dedications, acknowledgements and approvals to effectuate the Sherwood Round Subdivision Plat. The final engineering sheets and details in this application have addressed all the conditions in the decision in case number SUB-24-0016, as well as including final grading, drainage, road and right of way and utility designs consistent with the design standards of Los Alamos County.

Owner's Affidavit

(Authorizing an agent to act on behalf of a property owner when making land development application)

STATE OF NEW MEXICO )  
 ) ss.  
COUNTY OF LOS ALAMOS )

I, Judith Handy, Trustee of the Handy Family Trust dated April 20, 1994, being duly sworn, depose and say that the Handy Family Trust is the Owner of property located at 117 Longview Drive, 119 Longview Drive, 114 Longview Drive, 118A Longview Drive, 116B Longview Drive, 118C Longview Drive, 120A Longview Drive, 120B Longview Drive and 122 Longview Drive, Los Alamos, NM 87544, legally described as Unit C and Unit D of Sherwood Village Condominium #2 and Unit A , Unit C , Unit D , Unit E, Unit F, Unit G and Unit G of Sherwood Village Condominium #3, respectively, which constitutes property for which the owner's agent seeks Final Plan Subdivision approval through the County of Los Alamos, New Mexico.

Furthermore, I appoint IMG, LLC and Twilight Homes of NM, LLC, collectively, as our agent, with Philip Gursky, member of IMG, LLC, as representative of the agents herein, to act on our behalf in all matters pertaining to this application.

Signed Judith Handy, Trustee  
Handy Family Trust  
Judith Handy, Trustee  
535 Rover Blvd  
White Rock, NM 87545  
505 470-7644



Subscribed and sworn to before me this

09 day of July, 2024

Michelle Trujillo  
Notary Public

My Commission Expires: March 17, 2025

Prepared By:  
Judith L. Handy

After Recording Return To:  
535 Rover Blvd  
Los Alamos, New Mexico 87547



LOS ALAMOS COUNTY, NM  
NAOMI D. MAESTAS COUNTY CLERK  
253282 Pages: 4  
10/19/2022 03:54:53 PM  
Anna Archuleta

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**QUITCLAIM DEED**

On October 13, 2022 THE GRANTOR(S),

- Larry E. Handy and Judith L. Handy, a married couple

for and in consideration of: One Dollar (\$1.00) and/or other good and valuable consideration conveys, releases and quitclaims to the GRANTEE(S):

- The Handy Family Trust, dated April 20, 1994, Larry E Handy and Judith L. Handy, Trustors and/or Trustees, Judith L. Handy, Trustee, Trustee, residing at 535 Rover Blvd, Los Alamos, Los Alamos County, New Mexico 87547

the following described real estate, situated in Los Alamos, in the County of Los Alamos, State of New Mexico

Legal Description:

PARCEL 1:  
UNITS C & D, OF SHERWOOD VILLAGE CONDOMINIUM #2, AS CREATED BY THE CONDOMINIUM DECLARATION AND CONDOMINIUM SURVEY THEREOF FILED FOR RECORD ON JULY 27, 1987, IN MISC. BOOK 33, PAGE 524, AS AMENDED, ALL IN THE RECORDS OF LOS ALAMOS COUNTY, NEW MEXICO.

PARCEL 2:  
UNITS A, C, D, E, F, G & H, OF SHERWOOD VILLAGE CONDOMINIUM # 3, AS

CREATED BY THE CONDOMINIUM DECLARATION AND CONDOMINIUM SURVEY THEREOF FILED FOR RECORD ON JULY 27, 1987, IN MISC, BOOK 33, PAGE 525, AS AMENDED, ALL IN THE RECORDS OF LOS ALAMOS COUNTY, NEW MEXICO.

PARCEL 3:

UNITS A, B, & C, OF SHERWOOD VILLAGE CONDOMINIUM #4, AS CREATED BY THE CONDOMINIUM DECLARATION AND CONDOMINIUM SURVEY THEREOF FILED FOR RECORD ON JULY 27, 1987, IN MISC. BOOK 33, PAGE 526, AS AMENDED, ALL IN THE RECORDS OF LOS ALAMOS COUNTY, NEW MEXICO.

PARCEL 4:

UNITS A, B & C OF SHERWOOD VILLAGE CONDOMINIUM # 5, AS CREATED BY THE CONDOMINIUM DECLARATION AND CONDOMINIUM SURVEY THEREOF FILED FOR RECORD ON AUGUST 13, 1987, IN MISC. BOOK 33, PAGE 611, AS AMENDED, ALL IN THE RECORDS OF LOS ALAMOS COUNTY, NEW MEXICO.

Grantor does hereby convey, release and quitclaim all of the Grantor's rights, title, and interest in and to the above described property and premises to the Grantee(s), and to the Grantee(s) heirs and assigns forever, so that neither Grantor(s) nor Grantor's heirs, legal representatives or assigns shall have, claim or demand any right or title to the property, premises, or appurtenances, or any part thereof.

Los Alamos County does not charge tax on property included in Quitclaim Deed transfer.

EXCEPTING AND RESERVING unto Grantor(s) a life estate interest in the above described real estate on the terms listed below.

TERMS OF LIFE ESTATE

Grantor shall retain the right to use, occupy and possess the real estate described herein for the remainder of the Grantor's life. Grantor shall have full power to use and dispose of the entire distributable income from said real property and shall be responsible for payment of real estate taxes thereon. The life tenant shall have the right to execute leases, geophysical exploration agreements, and perpetual easements and grants of right of way shall be binding upon the remainder estate. The life tenant shall receive all royalties, rents, leases, geophysical exploration, easement, and right of way payments paid on account of the land during his lifetime. Grantor may commit waste on the premises if he desires to do so.

Tax Parcel Number: Parcel 1

Mail Tax Statements To:  
The Handy Family Trust  
535 Rover Blvd  
Los Alamos, New Mexico 87547

**[SIGNATURE PAGE FOLLOWS]**

**Grantor Signatures:**

DATED: 10-19-2022  
Larry E. Handy by Judith  
Hardy as his agent  
Larry E. Handy by Judith Handy as his agent  
535 Rover Blvd  
Los Alamos, New Mexico  
87547

DATED: 10-19-2022  
Judith L. Hardy  
Judith L. Handy  
535 Rover Blvd  
Los Alamos, New Mexico  
87547

STATE OF NEW MEXICO, COUNTY OF LOS ALAMOS, ss:

This instrument was acknowledged before me on this 19 day of October, ~~2022~~ by Larry E. Handy and Judith L. Handy.

STATE OF NEW MEXICO  
NOTARY PUBLIC  
Wendy Keffeler  
Commission Number 1044411  
My Commission Expires March 25, 2024

Wendy Keffeler  
Notary Public  
Escrow Processor  
Title (and Rank)

My commission expires 3-25-2024

This Instrument Was Filed For Record On 06/29/2009 03:40 PM  
And Was Duly Recorded as Instrument # 201887  
Of The Records Of Los Alamos County

Witness My Hand And Seal Of Office  
MARY PAT KRAEMER - County Clerk, Los Alamos, NM  
Naomi D Maestas - Deputy



TG&IC # LA09-0513



**SPECIAL WARRANTY DEED**  
(JOINT TENANTS)

LOS ALAMOS NATIONAL BANK, for consideration paid, grant to LARRY E. HANDY and JUDITH L. HANDY, husband and wife, as joint tenants with rights of survivorship, whose address is 112 FORT UNION AVE., LOS ALAMOS, NM 87544, the following described real estate in Los Alamos County, New Mexico:

**PARCEL 1:**

**UNITS C & D, OF SHERWOOD VILLAGE CONDOMINIUM # 2, AS CREATED BY THE CONDOMINIUM DECLARATION AND CONDOMINIUM SURVEY THEREOF FILED FOR RECORD ON JULY 27, 1987, IN MISC. BOOK 33, PAGE 524, AS AMENDED, ALL IN THE RECORDS OF LOS ALAMOS COUNTY, NEW MEXICO.**

**PARCEL 2:**

**UNITS A, C, D, E, F, G & H, OF SHERWOOD VILLAGE CONDOMINIUM # 3, AS CREATED BY THE CONDOMINIUM DECLARATION AND CONDOMINIUM SURVEY THEREOF FILED FOR RECORD ON JULY 27, 1987, IN MISC. BOOK 33, PAGE 525, AS AMENDED, ALL IN THE RECORDS OF LOS ALAMOS COUNTY, NEW MEXICO.**

**PARCEL 3:**

**UNITS A, B & C, OF SHERWOOD VILLAGE CONDOMINIUM # 4, AS CREATED BY THE CONDOMINIUM DECLARATION AND CONDOMINIUM SURVEY THEREOF FILED FOR RECORD ON JULY 27, 1987, IN MISC. BOOK 33, PAGE 526, AS AMENDED, ALL IN THE RECORDS OF LOS ALAMOS COUNTY, NEW MEXICO.**

**PARCEL 4:**

**UNITS A, B & C, OF SHERWOOD VILLAGE CONDOMINIUM # 5, AS CREATED BY THE CONDOMINIUM DECLARATION AND CONDOMINIUM SURVEY THEREOF FILED FOR RECORD ON AUGUST 13, 1987, IN MISC. BOOK 33, PAGE 611, AS AMENDED, ALL IN THE RECORDS OF LOS ALAMOS COUNTY, NEW MEXICO.**

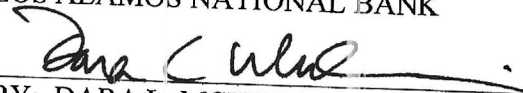
SUBJECT TO: Restrictions, reservations and easements of record.

ALSO SUBJECT TO: Ad valorem property taxes for the year 2008 and subsequent years.

with special warranty covenants.

WITNESS my hand and seal this 29th day of June, 2009.

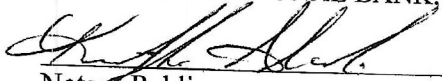
LOS ALAMOS NATIONAL BANK

  
BY: DARA L. MCKINNEY, IN-HOUSE COUNSEL

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
COUNTY OF LOS ALAMOS

This instrument was acknowledged before me on June 29, 2009 by DARA L. MCKINNEY, IN-HOUSE COUNSEL FOR LOS ALAMOS NATIONAL BANK, ON BEHALF OF SAID BANK.

  
Notary Public  
My Commission Expires: Feb 2011



ATTACHMENT A

# Subdivision Plat Sherwood Rounds

A twenty-nine (29) Lot Residential Subdivision, along with three (3) Outlots of Lots 3 & 6, Commercial Parcel A, Sherwood Village Subdivision White Rock, Los Alamos County, New Mexico  
May 2024

## PURPOSE

To subdivide the subject property, into twenty-nine (29) new residential lots and three (3) outlots.

## SUBDIVISION BOUNDARY

Lot 3 and Lot 6 of Commercial Parcel A, Sherwood Village Subdivision, as shown on the subdivision plat recorded within the official Los Alamos County Records in Book 2, Page 58.

## CONDOMINIUM DISSOLUTION NOTES

The property subject to Sherwood Village Condominium #2 and #3 is the property comprising Lots 1-29 of Sherwood Rounds Subdivision and Outlots 1, 2, and 3. In connection with repelling said property, the respective Condominium Owners' Associations and the entities in title to the Units of the said Condominiums, and pursuant to the provisions of their respective Declarations of Condominium Ownership, recorded in the records of the County Clerk of Los Alamos County, New Mexico in Misc Book 33, Page 524 and in Misc Book 33 Page 525, respectively, the parties entered into respective Plans of Obsolescence and Declarations of Dissolution for their respective Condominiums, both dated \_\_\_\_\_ and filed in the records of the County Clerk of Los Alamos County in Book \_\_\_\_\_ Page \_\_\_\_\_ and Book \_\_\_\_\_ Page \_\_\_\_\_, respectively. In the event the owners of Outlots 1, 2 or 3 wish to develop, subdivide or combine the said Out lots, build or add to any structures currently on said Lots, or otherwise modify or improve such lots, the Owners of any such Lot will be required to comply with the requirements of Chapters 10 and 16 of the Municipal Code of Ordinances of Los Alamos County or any other applicable code or regulations.

## SURVEY NOTES

- Distances are expressed in US Survey Feet measured along the surface of the earth. To convert reported distances to grid multiply by the project combined scale factor of 0.9995974703.
- Bearings are related to Grid North of the New Mexico State Plane Coordinate System of 1983, Central Zone, 2010 Realization.

## FLOOD ZONE NOTE

The subject property lies within Zone X (Areas determined to be outside the 1% annual chance floodplain) as delineated on F.I.R.M. Panel No. 30028C0130C, Effective Date July 18th, 2011.

## DECLARATION OF SUBDIVISION

A subdivision of the subject property, into twenty-nine lots and 3 outlots, as shown hereon, was made with the free consent and in accordance with the wishes and the desires of the undersigned owners and/or proprietors thereof. Ingress & egress, utility, and drainage easements, as shown hereon, are hereby granted to Los Alamos County. Private ingress & egress and pedestrian easements within Block 2 are hereby established and designated as appurtenant to Lots 14-29.

Twilight Homes of New Mexico  
for Lots 1-29 and Outlot 1  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

Tres Rozas, LLC  
for Outlot 2 and Outlot 3  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

Joanne Kozuchowski  
for Unit A  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

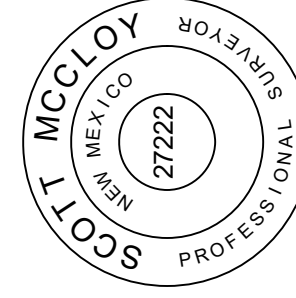
## SURVEYOR'S CERTIFICATE

I Scott McCloy, New Mexico Professional Surveyor, hereby certify that this boundary survey plat was prepared from actual field surveys performed during April & August of 2023, by me or under my direct supervision, that I am responsible for this survey, that this survey is true and correct to the best of my knowledge, and that this boundary survey plat and the field survey upon which it is based meet the Minimum Standards for Surveying in the state of New Mexico.

## preliminary

SCOTT McCLOY N.M.P.S. No. 27222 DATE \_\_\_\_\_

McCLOY LAND SURVEYING, LLC ■ 150 CENTRAL PARK SQUARE ■ LOS ALAMOS, NEW MEXICO 87544  
(505) 321-7404 ■ mcdoy.surveying@gmail.com



## REFERENCE DOCUMENTS

- Subdivision Plat of Commercial Parcel A, of Sherwood Village Subdivision, recorded within the official records of Los Alamos County in Book 2, Page 58.
- Subdivision Plat of Sherwood Village Office Park, recorded within the official records of Los Alamos County in Book 162, Page 912.
- Subdivision Plat, a Replat of Village Place Subdivision, recorded within the official records of Los Alamos County in Book 3, Page 81.
- Condominium Declaration, Sherwood Village Condominium #2, of Lot 3 of Commercial Parcel A, recorded within the official records of Los Alamos County in Misc. Book 33, Page 524.
- Dissolution of Sherwood Condominium #2, recorded within the official records of Los Alamos County in Book \_\_\_\_\_, Page \_\_\_\_\_.
- Condominium Declaration, Sherwood Village Condominium #3, of Lot 6 of Commercial Parcel A, recorded within the official records of Los Alamos County in Misc. Book 33, Page 525.
- Dissolution of Sherwood Condominium #3, recorded within the official records of Los Alamos County in Book \_\_\_\_\_, Page \_\_\_\_\_.
- Deed(s) to Twilight Homes?

## LONGVIEW RIGHT OF WAY DEDICATION

The undersigned hereby dedicate to the incorporated County of Los Alamos: Road Right of Way for Longview Drive, as shown as Longview Drive Right of Way Tract 1 and Longview Drive Right of Way Tract 2, more fully designated on Page two of this Plat. Such dedication grants ownership to the County of the Right of Way for purpose of road access and for the purposes of installing, operating and maintaining streets, curbs, sidewalks, landscaping and any and all utilities the County may desire to install, operate and maintain thereon. The County is further granted the right of ingress and egress, and necessary by the County. The County is further granted the right of ingress and egress for the Right of Way, both surface and subsurface, for crews and equipment, and the right to remove any obstruction in said right of way which may or might interfere therewith without any liability to the owner or any other party for such removal. The County shall be responsible for maintenance of all Right of Way and Utility Improvements constructed thereon and accepted by the County.

Twilight Homes of New Mexico, Lots 1-29 and Outlot 1  
for Right of Way Tracts 1 and 2  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

Tres Rozas, LLC, Outlot 2 and Outlot 3  
for Right of Way Tract 1  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

Joanne Kozuchowski, Unit A Sherwood Village Condominium No. 1  
for Right of Way Tract 1  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

ODR Enterprises LLC, Unit B, Sherwood Village Condominium No. 1  
for Right of Way Tract 1  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

Joanne Kozuchowski  
for Unit A  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

ODR Enterprises LLC  
for Unit B  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

Joanne Kozuchowski  
for Unit A  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

ODR Enterprises LLC  
for Unit B  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

Joanne Kozuchowski  
for Unit A  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

ODR Enterprises LLC  
for Unit B  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

Joanne Kozuchowski  
for Unit A  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

ODR Enterprises LLC  
for Unit B  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

Joanne Kozuchowski  
for Unit A  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

ODR Enterprises LLC  
for Unit B  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

Joanne Kozuchowski  
for Unit A  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

ODR Enterprises LLC  
for Unit B  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

Joanne Kozuchowski  
for Unit A  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

ODR Enterprises LLC  
for Unit B  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

Joanne Kozuchowski  
for Unit A  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

ODR Enterprises LLC  
for Unit B  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

Joanne Kozuchowski  
for Unit A  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

ODR Enterprises LLC  
for Unit B  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

Joanne Kozuchowski  
for Unit A  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

ODR Enterprises LLC  
for Unit B  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

Joanne Kozuchowski  
for Unit A  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

ODR Enterprises LLC  
for Unit B  
Acknowledgement:  
STATE OF NEW MEXICO } SS  
COUNTY OF LOS ALAMOS } SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
NOTARY \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

## UTILITY EASEMENTS

Utility and drainage easements as shown hereon are hereby granted to the undersigned owner of the subject property, for the purpose of maintaining the following utilities by the county or any company authorized to be in the county easement: electric, water, gas, sanitary sewer, telephone, cable television, and any other similar utility service, together with the right of ingress and egress, both surface and subsurface, for crews and equipment and including the right to remove any obstruction in the easement which may or might interfere therewith without any liability to the owner or any other party for such removal.

The lot owners, their successors and assigns, shall not construct or maintain any improvements, or other obstruction in or on the easements granted by this plat, without the express written consent of the incorporated County of Los Alamos. This grant of easements shall be binding upon the current tract owner, future lot owners, and their successors and assigns.

The Grant of Easements (as shown hereon) has been reviewed by me and is acceptable to the department that I represent:

County Engineer \_\_\_\_\_ Date \_\_\_\_\_

County Surveyor \_\_\_\_\_ Date \_\_\_\_\_

Department of Public Utilities \_\_\_\_\_ Date \_\_\_\_\_

## COUNTY ZONING DISTRICT

White Rock Town Center (WRTC)

## TREASURER'S CERTIFICATE

The property owner of record is current and paid for property taxes on the following tax parcels:  
UPC #1-039-108-142-461  
UPC #1-039-108-142-461-(0001 thru 0008)  
UPC #1-039-108-153-447  
UPC #1-039-108-153-447-(0001 thru 0005)

Los Alamos County Treasurer's Office \_\_\_\_\_ date \_\_\_\_\_

## LOS ALAMOS COUNTY APPROVAL

This subdivision is hereby approved in accordance with the Los Alamos Land Development Code.

Chairmen of the Los Alamos County  
Planning and Zoning Commission \_\_\_\_\_ date \_\_\_\_\_

## LONGVIEW DRIVE EASEMENT VACATION

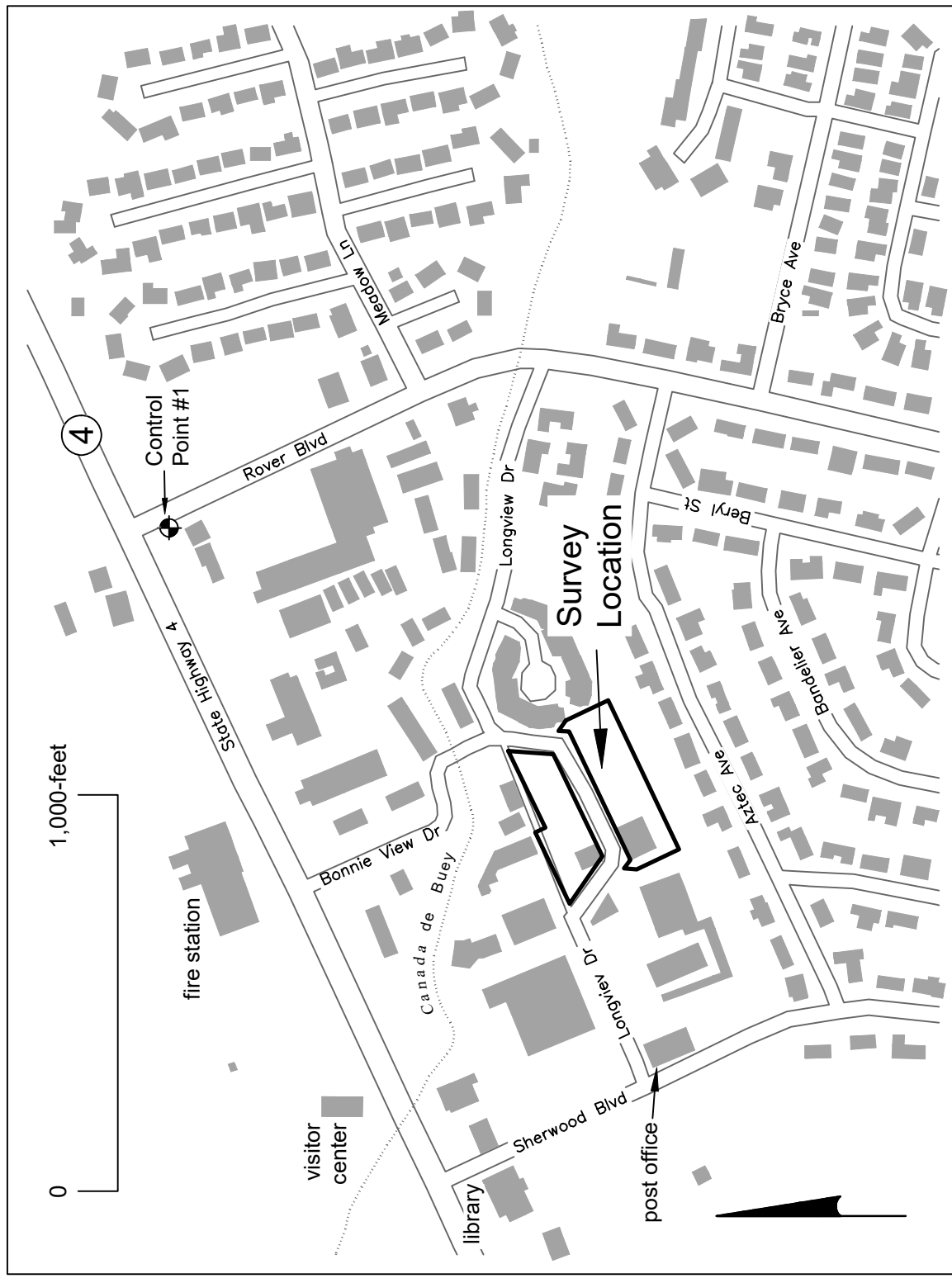
The South 3 feet of the Longview Drive ROW access easement adjacent to North Boundary of Outlot 3 and Lots 14 through 25 of Sherwood Rounds, inclusive, and the West 3 feet of the Longview Drive Easement adjacent to East Boundary of Lot 13 of Sherwood Rounds, as such access easement was described and granted in that Certain Plat dated August 3, 1972, and filed in the records of the County Clerk of Los Alamos County, New Mexico in Book 2, Page 58, is hereby vacated.

Los Alamos County Manager \_\_\_\_\_ date \_\_\_\_\_

## ATTESTATION

Los Alamos County Clerk \_\_\_\_\_ date \_\_\_\_\_

Lot	Street Address	Area (sq.ft.)
1	#xxx Longview Drive 1610	1260
2	#xxx Longview Drive 1260	1260
3	#xxx Longview Drive 1260	1260
4	#xxx Longview Drive 1260	1260
5	#xxx Longview Drive 1260	1260
6	#xxx Longview Drive 1260	1260
7	#xxx Longview Drive 1260	1260
8	#xxx Longview Drive 1260	1260
9	#xxx Longview Drive 1260	1260
10	#xxx Longview Drive 1260	1260
11	#xxx Longview Drive 1260	1260
12	#xxx Longview Drive 1260	1260
13	#xxx Longview Drive 1914	1914
14	#xxx Longview Drive 1949	1949
15	#xxx Longview Drive 1255	1255
16	#xxx Longview Drive 1952	1952
17	#xxx Longview Drive 2092	2092
18	#xxx Longview Drive 1345	1345
19	#xxx Longview Drive 1345	1345
20	#xxx Longview Drive 1345	1345
21	#xxx Longview Drive 1345	1345
22	#xxx Longview Drive 1345	1345
23	#xxx Longview Drive 1345	1345
24	#xxx Longview Drive 2092	2092
25	#xxx Longview Drive 3602	3602
26	#xxx Longview Drive 3905	3905
27	#xxx Longview Drive 3188	3188
28	#xxx Longview Drive 3187	3187
Outlot 1	#xxx Longview Drive 4031	4031
Outlot 2	#xxx Longview Drive 1642	1642
Outlot 3	#xxx Longview Drive 1629	1629



## LOCATION MAP

## SYMBOLS

- Subdivision Boundary
- Adjoiner
- Easement - proposed (to be granted)
- Easement - existing
- FEMA flood hazard boundary
- Fence
- Edge of pavement
- Wall
- Survey Marker - found as noted
- Survey Marker - set No. 4 capped rebar #2722
- Control Point as noted
- Electric Meter
- Electric Transformer
- Electric Pedestal
- Electric Vault
- Light Pole
- Gas Valve
- Gas Meter
- Water Meter
- Fire Hydrant
- Water Valve
- Irrigation Control Valve
- Sewer Manhole
- Cable TV Pedestal
- Telephone Pedestal
- Street Sign
- Easement Vacation
- Building

## CONTROL POINT COORDINATES

State Plane Coordinate System of New Mexico, Central Zone, NAD83(2011)  
NAVD83, Geoid18

Station	Northing	Easting	Elevation	Description
1	1756904.35	1652269.41	6391.11	3" brass cap, Northeast corner of Commercial Tr.
2	1755797.23	1652833.51	6392.06	Nail & Washer, Southeast corner of Block 2
3	1755894.20	1652320.47	6404.31	Nail & Washer #11993, NW corner of Outlot 1

DRAWN BY S.D.M.  
CHECKED BY S.D.M.

INDEXING INFORMATION FOR COUNTY CLERK			
STATE	COUNTY	SECTION	TOWNSHIP
NEW MEXICO	LOS ALAMOS	Projected 4	18 NORTH
		RANGE	7 EAST
COMMERCIAL PARCEL A			
OWNERS(S)			
Twilight Homes of New Mexico, and Tres Rozas, LLC			
TAX ID NUMBER	1-039-108-142-461 & 1-039-108-153-447		

# Subdivision Plat

**Sherwood Rounds**  
 A twenty-nine (29) Lot Residential Subdivision, along with three (3) Outlots of Lots 3 & 6, Commercial Parcel A, Sherwood Village Subdivision  
 White Rock, Los Alamos County, New Mexico  
 May 2024

new or formerly White Rock Properties LLC  
 Lot 3 - Sherwood Village Office Park  
 Book 162, Page 912

new or formerly Sherwood Village LLC  
 Lot 3 - Sherwood Village Office Park  
 Book 162, Page 912

new or formerly Sherwood Village LLC  
 Lot 3 - Sherwood Village Office Park  
 Book 162, Page 912

new or formerly Sherwood Village LLC  
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 Book 162, Page 912

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 Book 162, Page 912

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 Book 162, Page 912

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 Book 162, Page 912

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 Book 162, Page 912

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 Book 162, Page 912

new or formerly Sherwood Village LLC  
 Lot 3 - Sherwood Village Office Park  
 Book 162, Page 912

new or formerly Sherwood Village LLC  
 Lot 3 - Sherwood Village Office Park  
 Book 162, Page 912

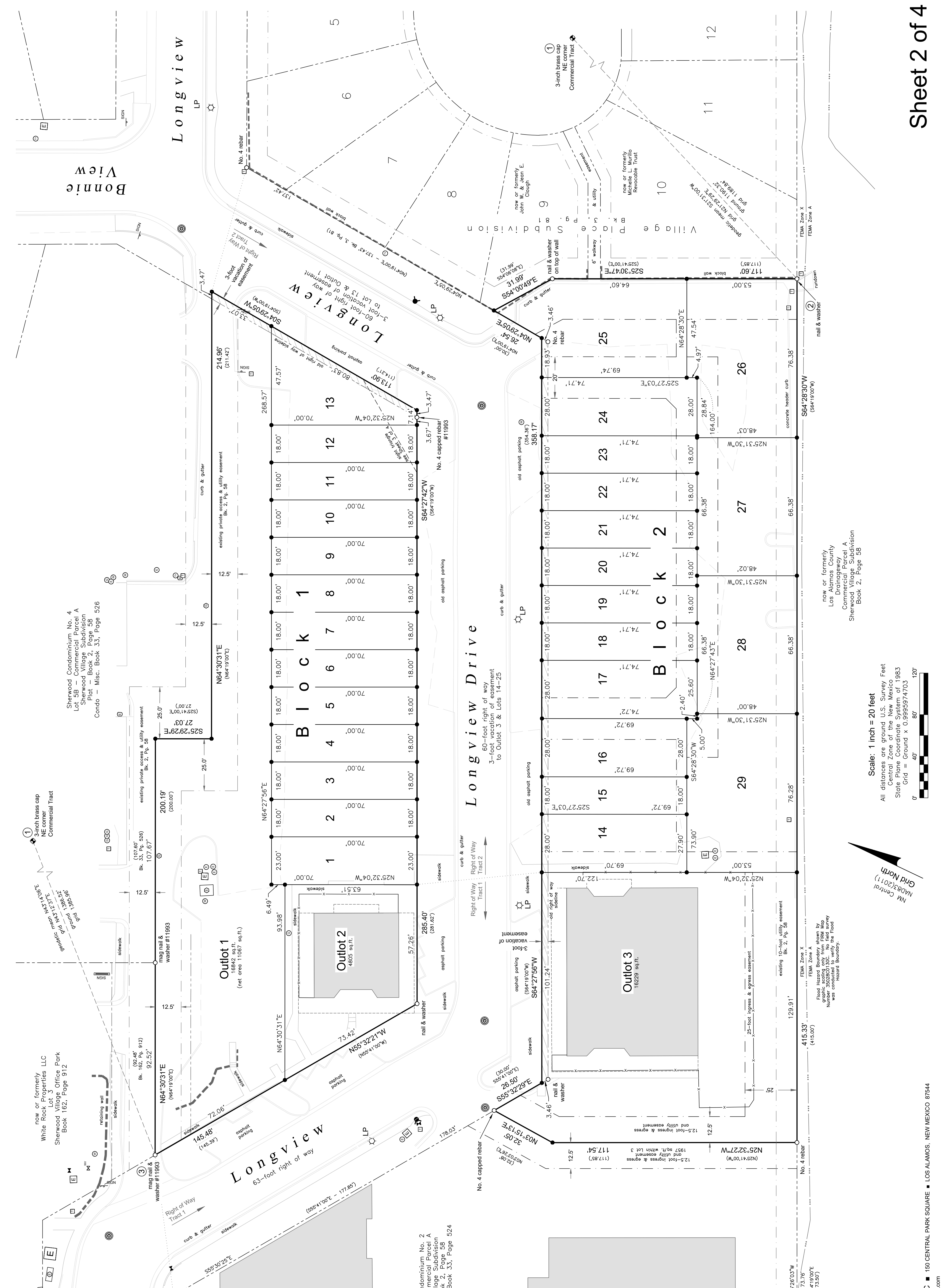
new or formerly Sherwood Village LLC  
 Lot 3 - Sherwood Village Office Park  
 Book 162, Page 912

new or formerly Sherwood Village LLC  
 Lot 3 - Sherwood Village Office Park  
 Book 162, Page 912

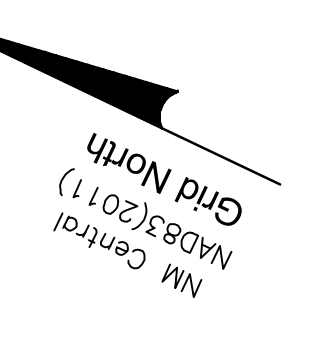
new or formerly Sherwood Village LLC  
 Lot 3 - Sherwood Village Office Park  
 Book 162, Page 912

new or formerly Sherwood Village LLC  
 Lot 3 - Sherwood Village Office Park  
 Book 162, Page 912

new or formerly Sherwood Village LLC  
 Lot 3 - Sherwood Village Office Park  
 Book 162, Page 912



Scale: 1 inch = 20 feet  
 All distances are ground U.S. Survey Feet  
 Central Zone of the New Mexico  
 State Plane Coordinate System of 1983  
 Grid = Ground x 0.9995974703



MM Central  
 MA83(2011)

Flood Hazard Boundary Maps by  
 Federal Emergency Management Agency  
 Number 3502803130C. No field survey  
 was conducted to determine the flood  
 hazard boundary.

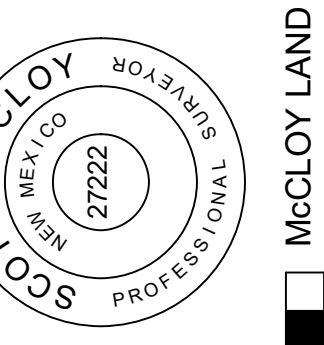
FEMA Zone X  
 FEMA Zone A

now or formerly  
 Los Alamos County  
 Drainage  
 Commercial Parcel A  
 Sherwood Village Subdivision  
 Book 2, Page 58

Sherwood Condominium No. 2  
 Lot 3 - Commercial Parcel A  
 Sherwood Village Subdivision  
 Plat - Book 2, Page 58  
 Condo - Misc. Book 33, Page 524

Sherwood Condominium No. 4  
 Lot 3 - Commercial Parcel A  
 Sherwood Village Subdivision  
 Plat - Book 2, Page 58  
 Condo - Misc. Book 33, Page 526

now or formerly  
 Los Alamos County  
 Drainage  
 Commercial Parcel A  
 Sherwood Village Subdivision  
 Book 2, Page 58

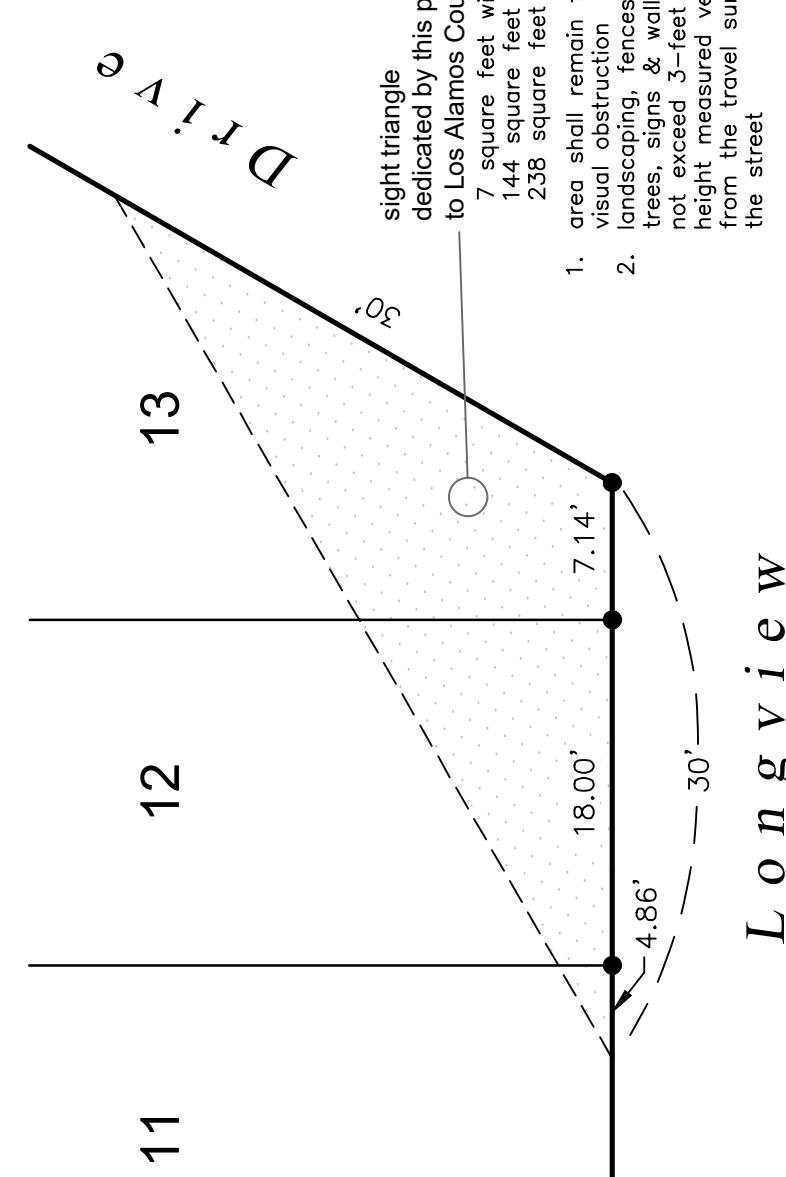
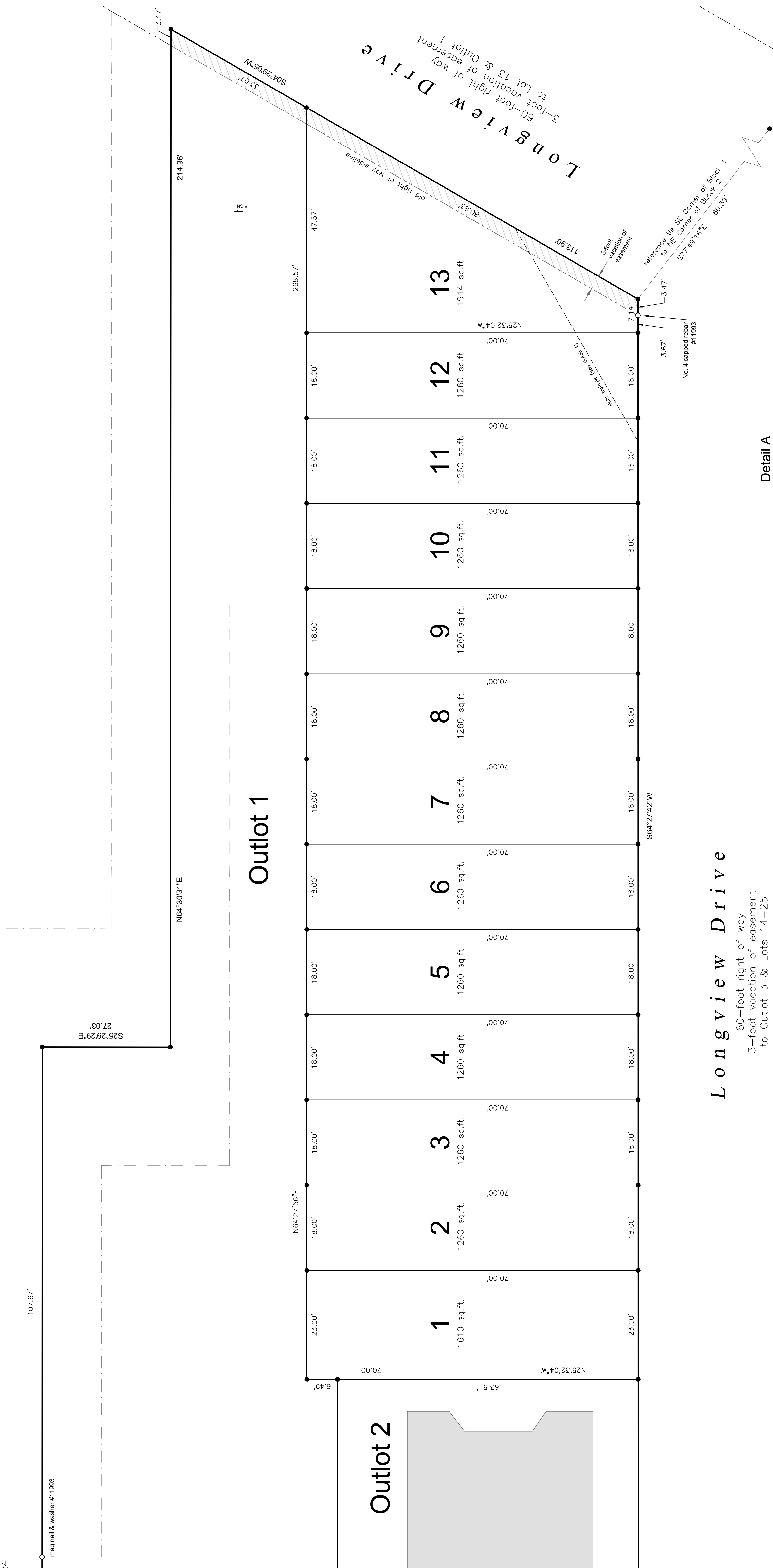


McCLOY LAND SURVEYING, LLC ■ 150 CENTRAL PARK SQUARE ■ LOS ALAMOS, NEW MEXICO 87544  
 (505) 321-7404 ■ mccoysurveying@gmail.com

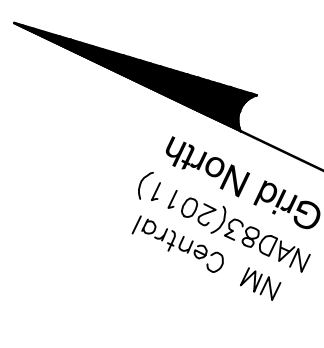
**Subdivision Plat  
Sherwood Rounds**

A twenty-nine (29) Lot Residential Subdivision, along with three (3) Outlots of Lots 3 & 6, Commercial Parcel A, Sherwood Village Subdivision White Rock, Los Alamos County, New Mexico  
May 2024

**Block 1  
Lots 1-13**



**Longview Drive**  
60-foot right of way  
3-foot vacation of easement  
to Outlot 3 & Lots 14-25

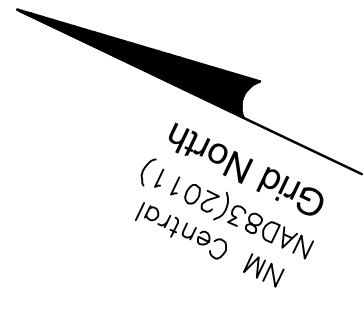


**Scale: 1 inch = 10 feet**  
All distances are ground U.S. Survey Feet  
Central Zone of the New Mexico  
State Plane Coordinate System of 1983  
Grid = Ground x 0.9995974703



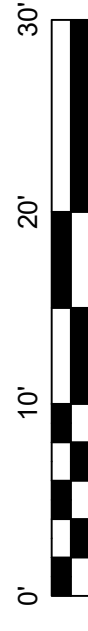
# Subdivision Plat Sherwood Rounds

A twenty-nine (29) Lot Residential Subdivision, along with three (3) Outlots of Lots 3 & 6, Commercial Parcel A, Sherwood Village Subdivision  
White Rock, Los Alamos County, New Mexico  
May 2024

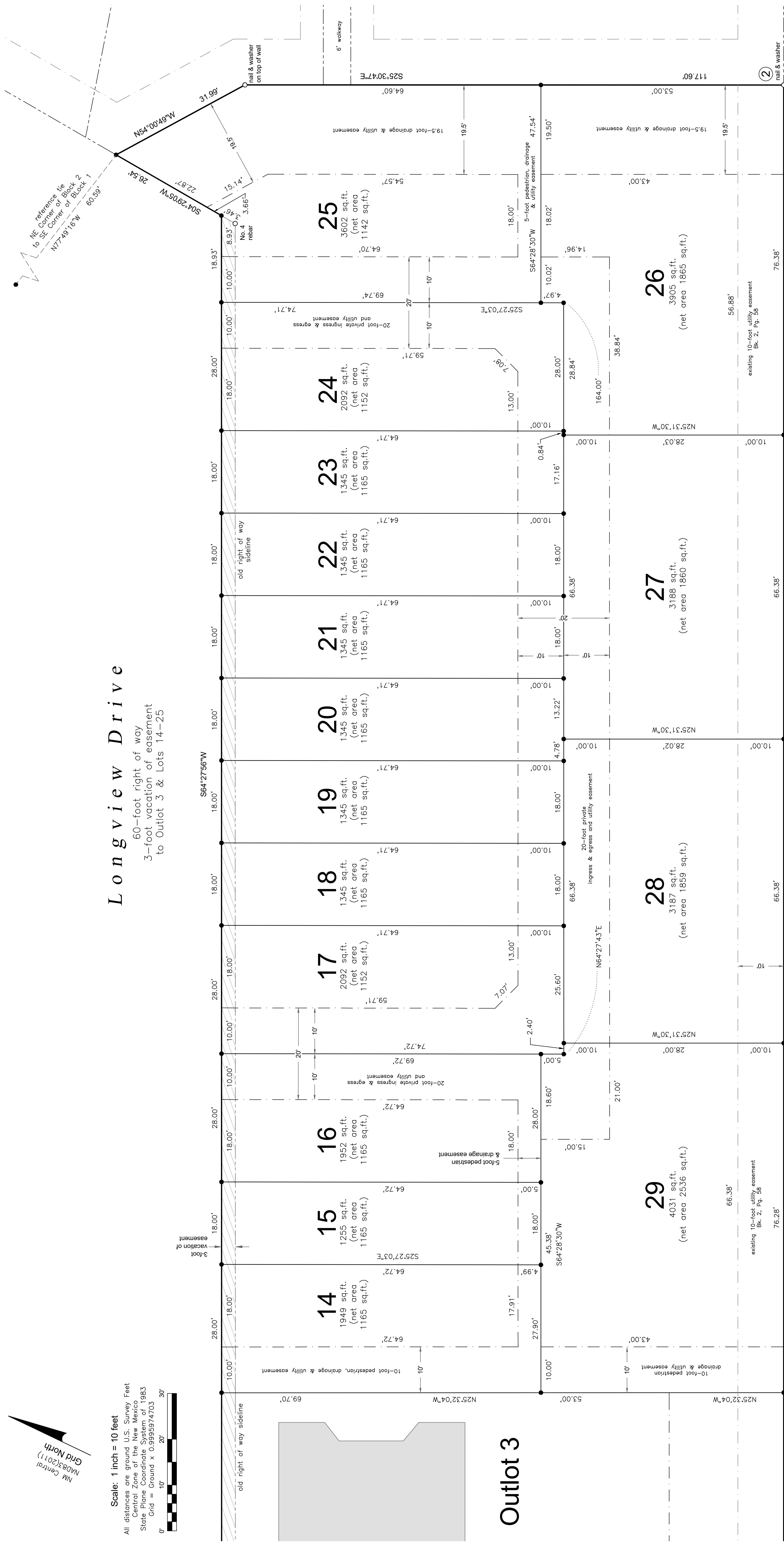


Scale: 1 inch = 10 feet

All distances are ground U.S. Survey Feet  
Central Zone of the New Mexico  
State Plane Coordinate System of 1983  
Grid = Ground x 0.99995974703



# Block 2 Lots 14-29



ATTACHMENT A

now or formerly  
Los Alamos County  
Drainage  
Commercial Parcel A  
Sherwood Village Subdivision  
Book 2, Page 58





COUNTY REVIEW

DEPARTMENT  
SIGN-OFF  
DATE

LAND USE PLANNER  
PUBLIC WORKS DIRECTOR  
S.F. WATER COMPANY

COUNTY USE ONLY

SHERWOOD  
ROUNDS  
GRADING  
PLAN

PROJECT:  
SHEET TITLE:  
DATE

PROJECT:  
DESIGNED BY:  
DRAWN BY:  
CHECKED BY:  
AS NOTED

No.	REVISION	BY	APP.	DATE

**W. E. Walker Engineering**  
Civil Engineering • Water Resources • Traffic Engineering  
905 Camino Sierra Vista, Santa Fe, NM 87505  
TEL: 505-820-7990  
E-MAIL: morey@walkerengineering.net

**LEGEND**

- EXISTING CONTOURS
- DESIGN CONTOURS
- PARCEL LINES
- TOP OF CONCRETE ELEVATION
- FINISH GRADE ELEVATION
- TOP OF ASPHALT ELEVATION
- WALLS
- DIRECTIONAL FLOW ARROWS
- EXISTING BUILDING

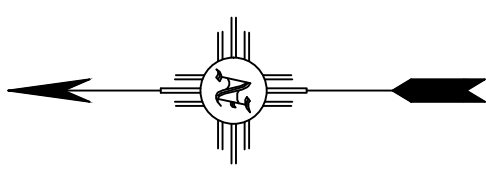
NOT ALL SYMBOLS WILL NECESSARILY APPLY TO THIS PROJECT

**TOPOGRAPHY NOTE**  
ALL EXISTING TOPOGRAPHIC SURVEY DATA SHOWN ON THESE PLANS HAS BEEN OBTAINED AND CERTIFIED BY OTHERS. WALKER ENGINEERING HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS TOPOGRAPHY INFORMATION. WALKER ENGINEERING SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. WALKER ENGINEERING'S LIABILITY IS LIMITED TO THE ENGINEERING ANALYSIS THAT UTILIZES THE TOPOGRAPHY SURVEY.

**STAKING NOTE**  
INFORMATION SHOWN IS FOR GRADING AND DRAINAGE ONLY AND IS NOT TO BE USED FOR STAKING PURPOSES. SEE SITE PLAN FOR ACTUAL LOCATION OF IMPROVEMENTS.

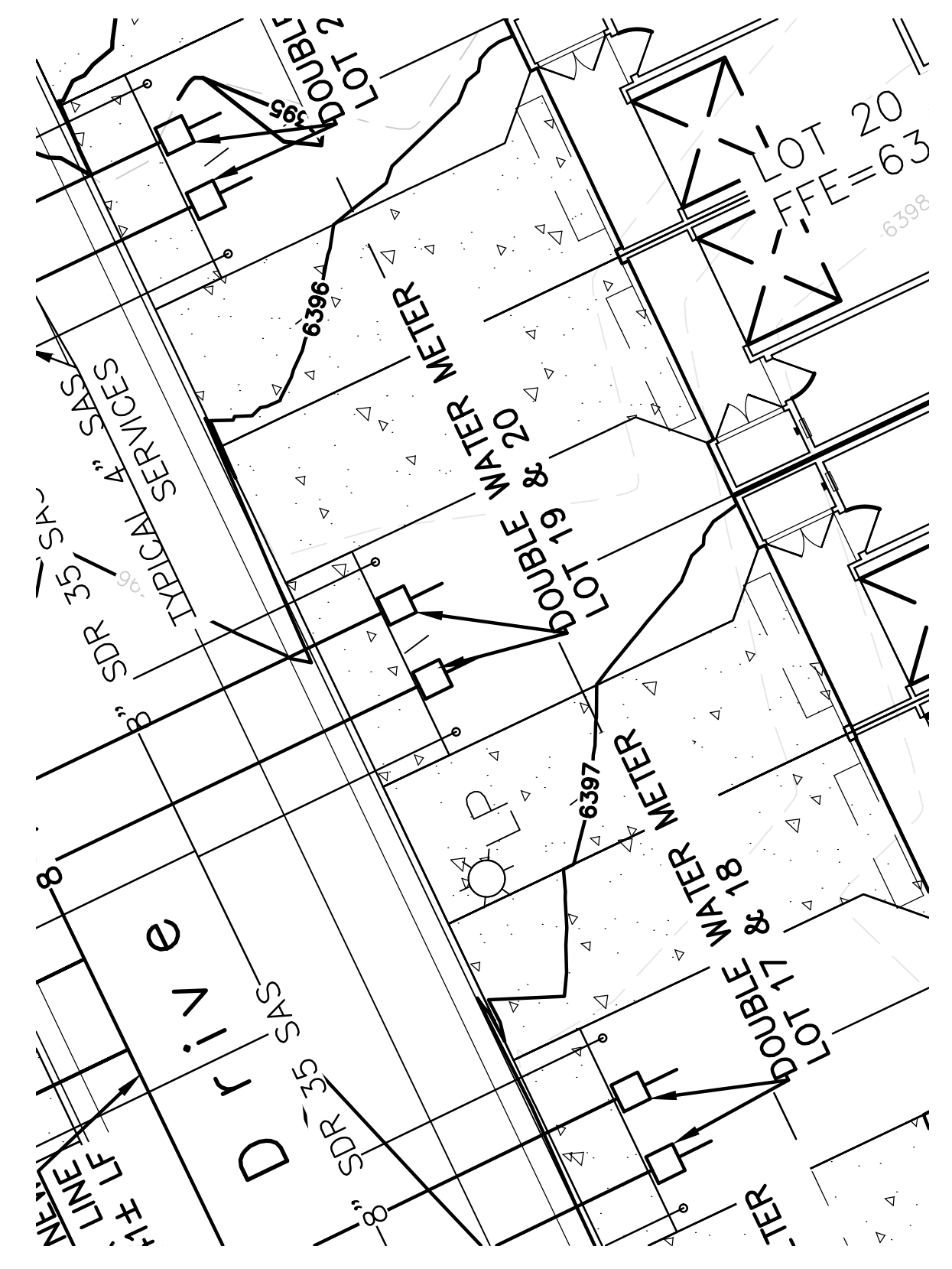
**EARTHWORK**  
DESIGN CUT=308 CU YD  
DESIGN FILL=936 CU YD  
DESIGN IMPORT=628 CU YD  
\*COMPACTION FACTOR NOT INCLUDED  
\*CALCULATION TO TOP OF SUB-GRADE

**DRAINAGE NOTE**  
SEE DRAINAGE PLAN FOR RUNOFF FLOWS AND PATHS OF INTENT OF DESIGN. ANY QUESTIONS WITH DESIGN WHEN COMPARING BOTH GRADING AND DRAINAGE SHOULD BE DISCUSSED WITH WALKER ENGINEERING DESIGN ENGINEERS.



SCALE: 1" = 20'  
20' 0 20'  
CONTOUR INTERVAL = ONE FOOT (1')

SCALE: 1" = 10'  
10' 0 10'  
CONTOUR INTERVAL = ONE FOOT (1')



GRADING PLAN

LANDSCAPE & SIDEWALK MAGNIFICATION

COUNTY REVIEW	DATE
DEPARTMENT	SIGN-OFF
LAND USE PLANNER	
PUBLIC WORKS DIRECTOR	
S.F. WATER COMPANY	
COUNTY USE ONLY	

**SHERWOOD ROUNDS DRAINAGE PLAN**

PROJECT: SHERWOOD ROUNDS DRAINAGE PLAN  
SHEET TITLE: DRAINAGE PLAN

PROJECT:	DESIGNED BY: JRD
FILE:	DRAWN BY: JRD
DATE:	CHECKED BY: REM
SCALE:	AS NOTED

**W.E. Walker Engineering**  
Civil Engineering • Water Resources • Traffic Engineering  
905 Camino Sierra Vista, Santa Fe, NM 87505  
TEL: 505-820-7990  
E-MAIL: morey@walkerengineering.net

**LEGEND**

- 7160 — EXISTING CONTOURS
- DESIGN CONTOURS
- PARCEL LINES
- TOC 6504' — TOP OF CONCRETE ELEVATION
- FG 6504' — FINISH GRADE ELEVATION
- TOA 6504' — TOP OF ASPHALT ELEVATION
- TC 6504' — TOP OF CURB ELEVATION
- WALLS
- DIRECTIONAL FLOW ARROWS
- EXISTING BUILDING

NOT ALL SYMBOLS WILL NECESSARILY APPLY TO THIS PROJECT

**TOPOGRAPHY NOTE**  
ALL EXISTING TOPOGRAPHIC SURVEY DATA SHOWN ON THESE PLANS HAS BEEN OBTAINED AND CERTIFIED BY OTHERS. WALKER ENGINEERING HAS CONDUCTED VISUAL VERIFICATION OF THE DATA AND ASSUMES NO LIABILITY FOR REPRESENTATION PERTAINING THERE TO. WALKER ENGINEERING'S RESPONSIBILITY OR LIABILITY THEREOF OF THIS TOPOGRAPHY, WALKER THAT UTILIZES THE TOPOGRAPHY SURVEY.

**STAKING NOTE**  
INFORMATION SHOWN IS FOR GRADING AND DRAINAGE ONLY AND IS NOT TO BE USED FOR STAKING PURPOSES. SEE SITE PLAN FOR ACTUAL LOCATION OF IMPROVEMENTS.

**EARTHWORK**

DESIGN CUT=308 CU YD  
DESIGN FILL=936 CU YD  
DESIGN IMPORT=628 CU YD  
DESIGN EXPORT=100 CU YD  
\*CALCULATION TO TOP OF SUB-GRADE

ITEM	DESCRIPTION	AMOUNT	UNIT
1	ROOF PORTALS CONCRETE & ASPHALT CURB CUTS	1825.00	CU YD
2	ROOF PORTALS CONCRETE ASPHALT CURB CUTS	10.00	CU YD
3	ROOF PORTALS CONCRETE ASPHALT CURB CUTS	10.00	CU YD
4	ROOF PORTALS CONCRETE ASPHALT CURB CUTS	10.00	CU YD
5	ROOF PORTALS CONCRETE ASPHALT CURB CUTS	10.00	CU YD
6	ROOF PORTALS CONCRETE ASPHALT CURB CUTS	10.00	CU YD
7	ROOF PORTALS CONCRETE ASPHALT CURB CUTS	10.00	CU YD
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9	ROOF PORTALS CONCRETE ASPHALT CURB CUTS	10.00	CU YD
10	ROOF PORTALS CONCRETE ASPHALT CURB CUTS	10.00	CU YD
11	ROOF PORTALS CONCRETE ASPHALT CURB CUTS	10.00	CU YD
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99	ROOF PORTALS CONCRETE ASPHALT CURB CUTS	10.00	CU YD
100	ROOF PORTALS CONCRETE ASPHALT CURB CUTS	10.00	CU YD

**DRAINAGE & PONDING CALCULATIONS**

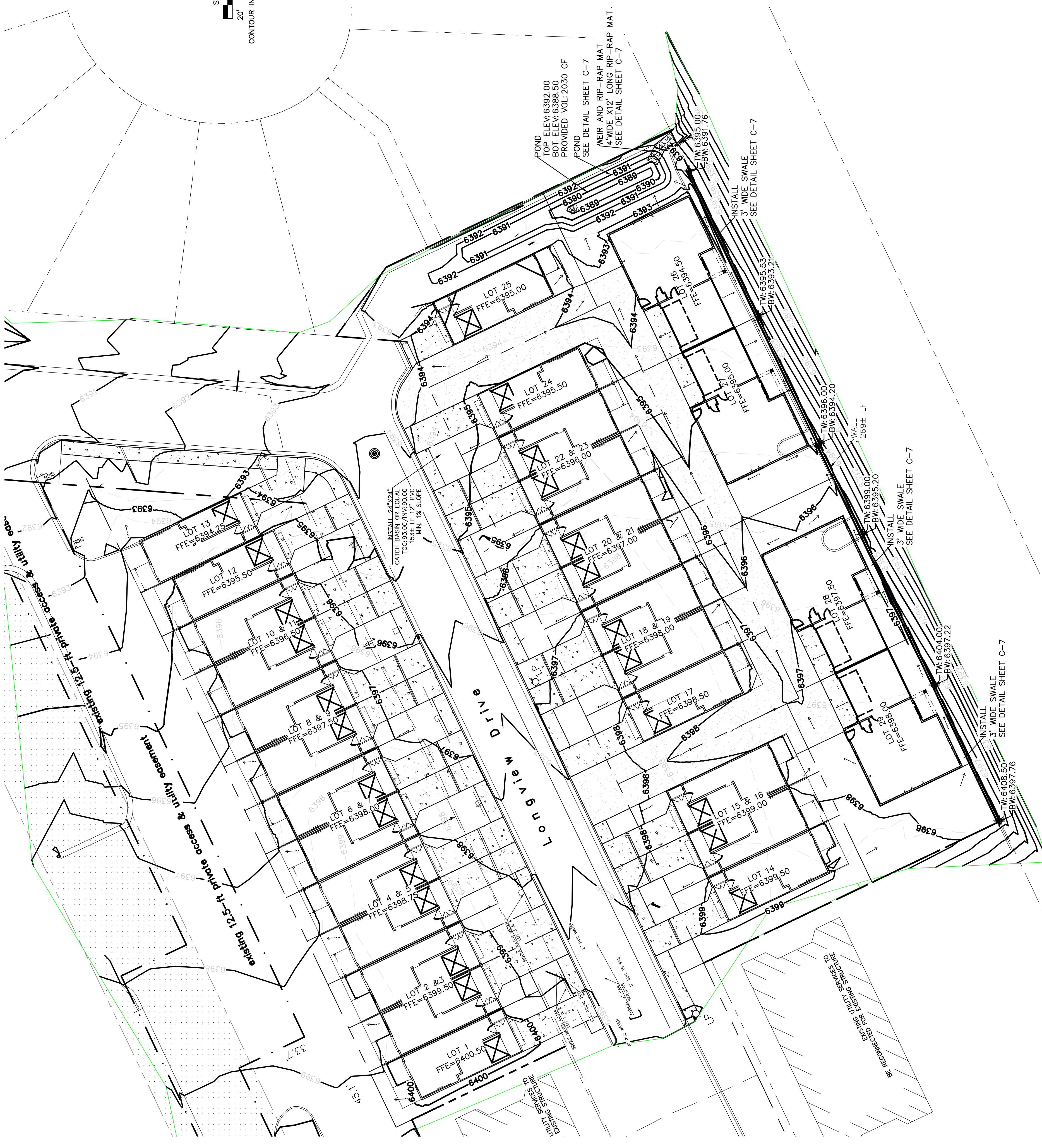
**DRAINAGE CERTIFICATION NOTE**

WALKER ENGINEERING DESIGNED AND ENGINEERED THE DRAINAGE PLAN FOR SHERWOOD ROUNDS SUBDIVISION CONTAINED ON SHEET C-1 AND C-3 OF THESE ENGINEERING PLANS. THE DRAINAGE PLAN WAS DESIGNED IN ACCORDANCE WITH DECISION OF THE LOS ALAMOS COUNTY PLANNING AND ZONING COMMISSION IN ACTION NO. SUB-0024-0016 APPROVING THE SKETCH PLAT AND PRELIMINARY DESIGN PLANS FOR SHERWOOD ROUNDS SUBDIVISION AND FURTHER, IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF LOS ALAMOS COUNTY PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS (SEPTEMBER 2008 REV) [HEREIN DESIGN STANDARDS]. THE DRAINAGE PLAN AND THE DESIGN PLAN AND DETAILS CONTAINED HEREIN MEETS THE FOLLOWING CRITERIA:

- OFFSITE DRAINAGE FROM THE PROPERTY DOES NOT EXCEED THE CURRENT OUTFLOW FROM THE PROPERTY AND PROPERTY RESIDENTS IN DRAINAGE ARE NOT IN EXCESS OF CURRENT LEVELS OF HISTORICAL FLOWS FROM THE PROPERTY AND COUNTY STANDARDS AND HISTORY CONTAINED IN THE DESIGN STANDARDS.
- THE DRAINAGE PLAN, SPECIFICALLY WITH RESPECT TO THE DRAINAGE CANALS ADJACENT TO LOTS 1 THROUGH 13 AND LOTS 14 THROUGH 25 AND THE DETENTION POND LOCATED IN THE SOUTHEAST QUADRANT OF SHERWOOD ROUNDS SUBDIVISION ARE DESIGN TO, AND WILL DETAIN, THE FLOWS FROM A 100 YEAR/24 HOUR FLOOD EVENT. THE DRAINAGE CANALS LOCATED ON THE SOUTHWESTERN BOUNDARY OF THE SUBDIVISION INTO THE EXISTING DRAINAGE CANAL LOCATED ON THE SOUTHWESTERN BOUNDARY OF THE SUBDIVISION ARE DESIGN TO, AND WILL DETAIN, THE FLOWS FROM A 100 YEAR/24 HOUR FLOOD EVENT. CALCULATIONS OF FLOW THROUGH THE DRAINAGE PLAN IN THE EVENT OF A 100 YEAR/24 HOUR FLOOD EVENT ARE BASED UPON INFORMATION PROVIDED IN NOAA DATA.
- THE PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOOD PLAIN AS DESIGNATED ON THE FEMA FLOOD MAP 35028C030C. NOTHING IN THE DRAINAGE PLAN OR THE DESIGN PLAN FOR SHERWOOD ROUNDS SUBDIVISION MAP 35028C030C, INCLUDING THE DRAINAGE PLAN, SHALL BE INTERPRETED AS A GUARANTEE OF THE ELEVATION OF THE NORTHERN BOUNDARY OF THE FLOODPLAIN DESIGNATION FOR THE DRAINAGE CHANNEL LOCATED ON THE SOUTHERN BORDER OF SHERWOOD ROUNDS SUBDIVISION.

WALKER ENGINEERING

BY: \_\_\_\_\_  
LICENSE NUMBER: \_\_\_\_\_  
DATE: \_\_\_\_\_



**DRAINAGE PLAN**

**PONDING NOTE**

TOTAL PRECONSTRUCTION IMPERVIOUS AREA=18,925 SQUARE FEET  
TOTAL POSTCONSTRUCTION IMPERVIOUS AREA=37,998 SQUARE FEET  
FLOWS ARE CAPTURED IN MAIN POND TO THE SOUTHEAST OF SITE.  
REQUIRED VOLUME FOR INCREASE IN IMPERVIOUS AREA IS 1,898 CUBIC FEET.  
TOTAL INCREASED POND VOLUME PROVIDED IS 2,030 CUBIC FEET.

PROJECT:	23-178	DESIGNED BY:	JRD
FILE:	176-GRADING	DRAWN BY:	JRD
DATE:	07/01/2024	CHECKED BY:	RJM
SCALE:	AS NOTED		

**LEGEND**

- PROPOSED 4" WATER LINE
- EXISTING WATER LINE (S/CW)
- EXISTING FIRE HYDRANT
- PROPOSED WATER VALVE & BOX
- PROPOSED HOT BOX

**TOPOGRAPHY NOTE**

WALKER ENGINEERING HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS TOPOGRAPHY INFORMATION, AND MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREOF OF THIS TOPOGRAPHY. WALKER ENGINEERING'S RESPONSIBILITY IS LIMITED TO THE ENGINEERING ANALYSIS THAT UTILIZES THE TOPOGRAPHY SURVEY.

**UTILITY NOTE**

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THE DRAWING, THEY ARE SHOWN IN APPROXIMATE MANNER ONLY. UTILITY LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OR PIPELINE COMPANY, THE OWNER, OR BY OTHERS. THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING ABOVE AND UNDERGROUND UTILITIES, OR EXISTING PIPELINES. THE ENGINEER MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREOF. THE CONTRACTOR SHALL INFORM HIMSELF OF THE LOCATION OF ANY EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES, IN AND NEAR THE AREA OF THE WORK, IN ADVANCE OF ANY DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES PERTAINING TO THE LOCATION OF THESE LINES IN PLANNING AND CONDUCTING EXCAVATION WORK.

**CONSTRUCTION NOTE**

CONTRACTOR NEEDS TO FIELD VERIFY UTILITY LOCATIONS, INVERTS, SIZES, AND MATERIALS BEFORE CONSTRUCTION. ALL UTILITY INSTALLS MUST MEET CITY OF SANTA FE STANDARDS, SPECIFICATION, AND GENERAL NOTES.

**WATER SERVICE TABLE**

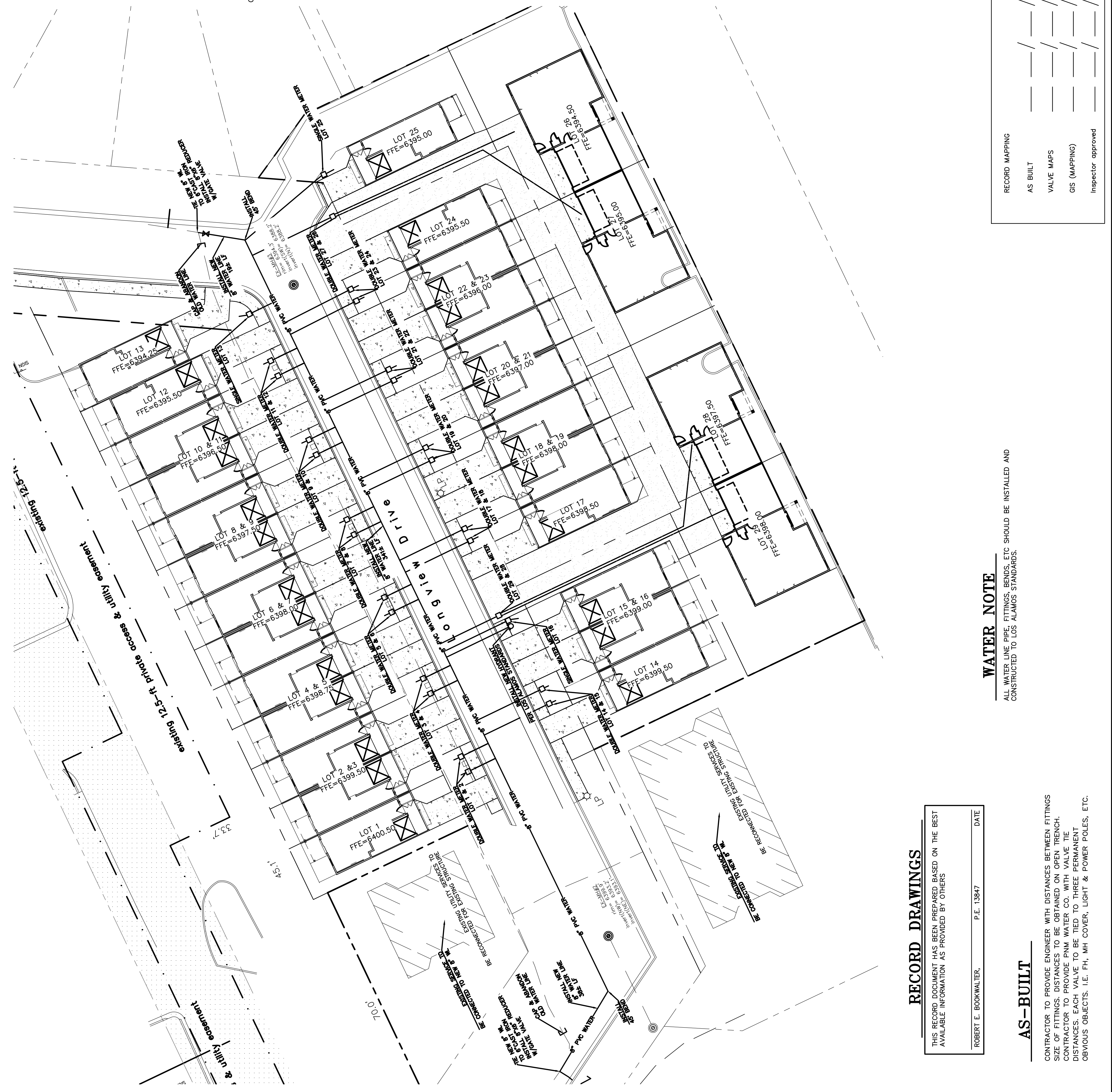
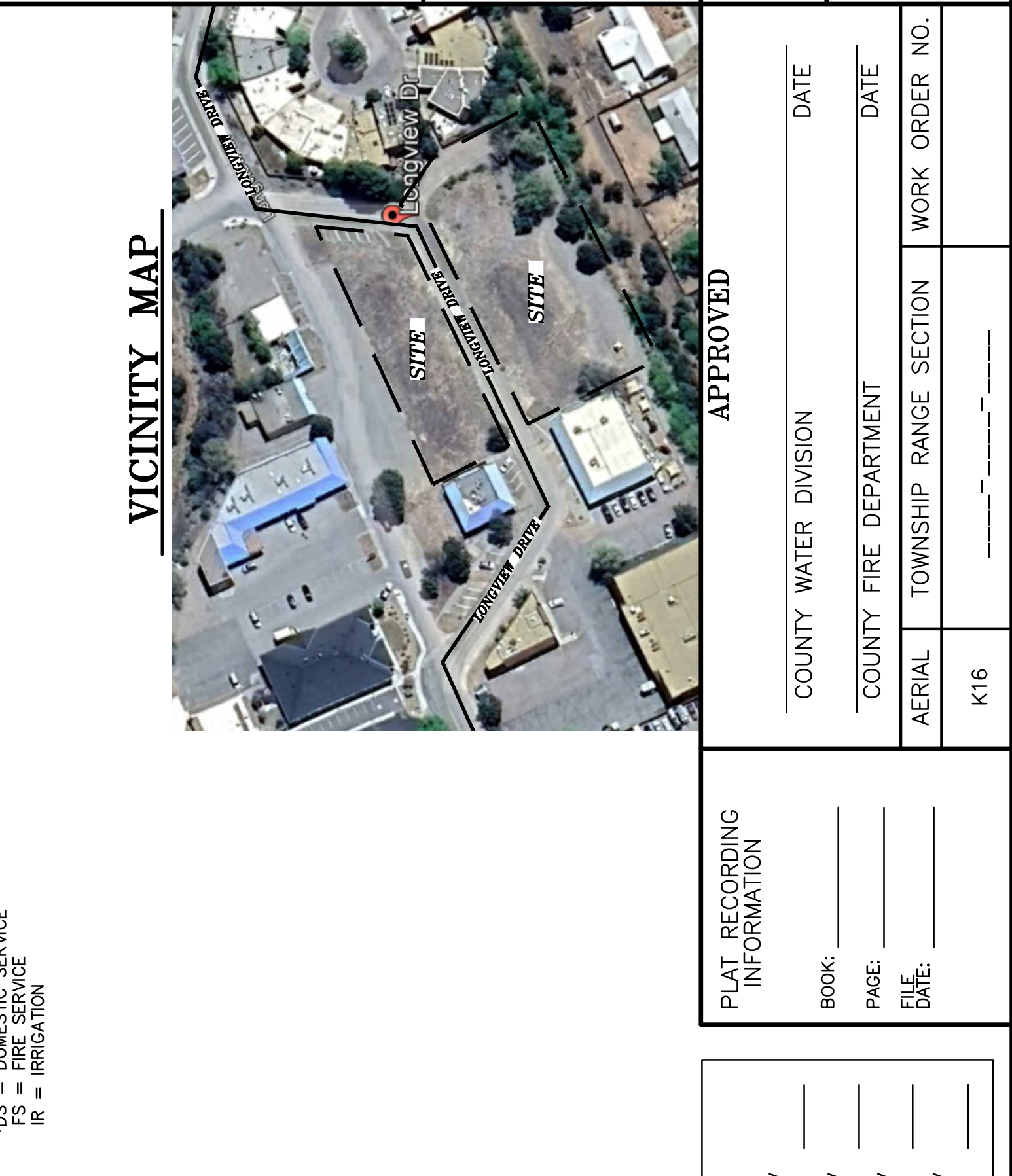
(1) SERVICE SIZE	(2) METER SIZE & TYPE DS,FS,IR	BUILDING SERVED
1 1/2"	1 1/2" DS	"LOT 1" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 2" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 3" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 4" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 5" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 6" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 7" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 8" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 9" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 10" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 11" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 12" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 13" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 14" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 15" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 16" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 17" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 18" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 19" LONGVIEW DRIVE

\*DS = DOMESTIC SERVICE  
 FS = FIRE SERVICE  
 IR = IRRIGATION

**WATER SERVICE TABLE**

(1) SERVICE SIZE	(2) METER SIZE & TYPE DS,FS,IR	BUILDING SERVED
1 1/2"	1 1/2" DS	"LOT 20" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 21" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 22" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 23" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 24" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 25" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 26" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 27" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 28" LONGVIEW DRIVE
1 1/2"	1 1/2" DS	"LOT 29" LONGVIEW DRIVE

\*DS = DOMESTIC SERVICE  
 FS = FIRE SERVICE  
 IR = IRRIGATION



**PLAT RECORDING INFORMATION**

RECORD MAPPING: \_\_\_\_\_  
 AS BUILT: \_\_\_\_\_  
 VALVE MAPS: \_\_\_\_\_  
 GIS (MAPPING): \_\_\_\_\_  
 Inspector approved: \_\_\_\_\_

**APPROVED**

COUNTY WATER DIVISION: \_\_\_\_\_ DATE: \_\_\_\_\_  
 COUNTY FIRE DEPARTMENT: \_\_\_\_\_ DATE: \_\_\_\_\_  
 AERIAL: \_\_\_\_\_ TOWNSHIP RANGE SECTION: \_\_\_\_\_ WORK ORDER NO.: \_\_\_\_\_  
 K16

**WATER NOTE**

ALL WATER LINE PIPE, FITTINGS, BENDS, ETC SHOULD BE INSTALLED AND CONSTRUCTED TO LOS ALAMOS STANDARDS.

**RECORD DRAWINGS**

THIS RECORD DOCUMENT HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION AS PROVIDED BY OTHERS

ROBERT E. BOOKWALTER, P.E. 13847 DATE: \_\_\_\_\_

**AS-BUILT**

CONTRACTOR TO PROVIDE ENGINEER WITH DISTANCES BETWEEN FITTINGS SIZE OF FITTINGS. DISTANCES TO BE OBTAINED ON OPEN TRENCH. CONTRACTOR TO PROVIDE PINK WATER CO. WITH VALVE THE DISTANCES. EACH VALVE TO BE TIED TO THREE PERMANENT OBVIOUS OBJECTS. I.E. FH, MH COVER, LIGHT & POWER POLES, ETC.

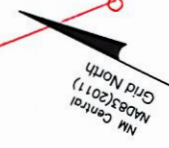
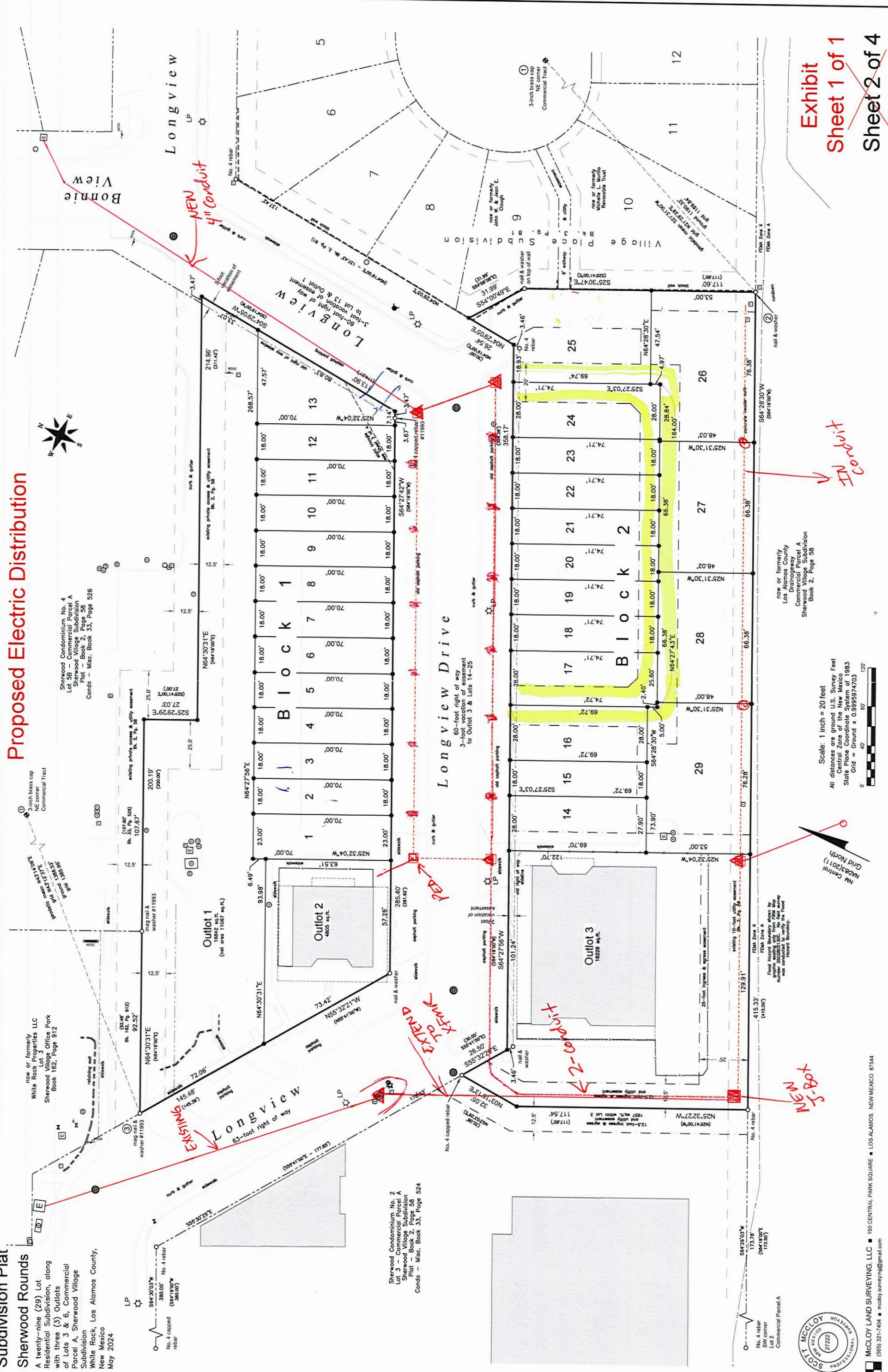






**Subdivision Plat**  
**Sherwood Rounds**  
 A twenty-nine (29) Lot Residential Subdivision, along with three (3) Outlots of Lots 3 & 6, Commercial Parcel A, Sherwood Village Subdivision White Rock, Los Alamos County, New Mexico  
 May 2024

**Proposed Electric Distribution**



Scale: 1 inch = 20 feet  
 All distances are ground U.S. Survey Feet  
 Central Zone of the New Mexico  
 State Plane Coordinate System of 1983  
 Grid = Ground x 0.9995574703



McCLOY LAND SURVEYING, LLC ■ 150 CENTRAL PARK SQUARE ■ LOS ALAMOS, NEW MEXICO 87544  
 (505) 321-7404 ■ mcsby\_surveying@gmail.com

**Exhibit**  
**Sheet 1 of 1**  
~~Sheet 2 of 4~~



ENGINEERING | SURVEYING | CONSTRUCTION SERVICES  
DEFINING QUALITY SINCE 1965



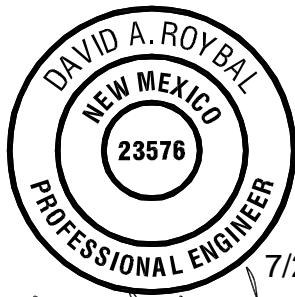
## SHERWOOD ROUNDS – INTERSECTION SIGHT DISTANCE ANALYSIS

This letter is to summarize the sight distance conditions for the proposed Sherwood Rounds Housing development as depicted in attached diagram. The proposed development includes multiple townhomes many with individual driveways proposed along Longview Drive. Longview drive is a, existing service street that has two horizontal bends within the developed area.

The attached exhibit analysis sight distance for a roadway speed of 25 miles per hour utilizing the criteria set forth in the NMODT State Access Management Manual (SAMM). Table 18.F-2 provides required sight distance for various roadway speeds and vehicles. The traffic along Lonview Drive is expected to be passenger cars for residential use and a sight distance of 250 feet was used for this analysis.

The attached exhibit shows intersection sight distance (ISD) triangles drawn to a length of 250 feet parallel to the centerline of Longview Drive at key places within the proposed development. Upon review of the ISD triangles, two possible conflicts were observed. There is an existing building on the northwest corner of the development which limits sight distance as well as the northeast corner of the proposed building. Both conflicts are identified in red in the attached.

It is recommended that the posted speed for longview drive be reduced within the project area. A posted speed of 15 miles per hour would allow for adequate stopping sight distance.



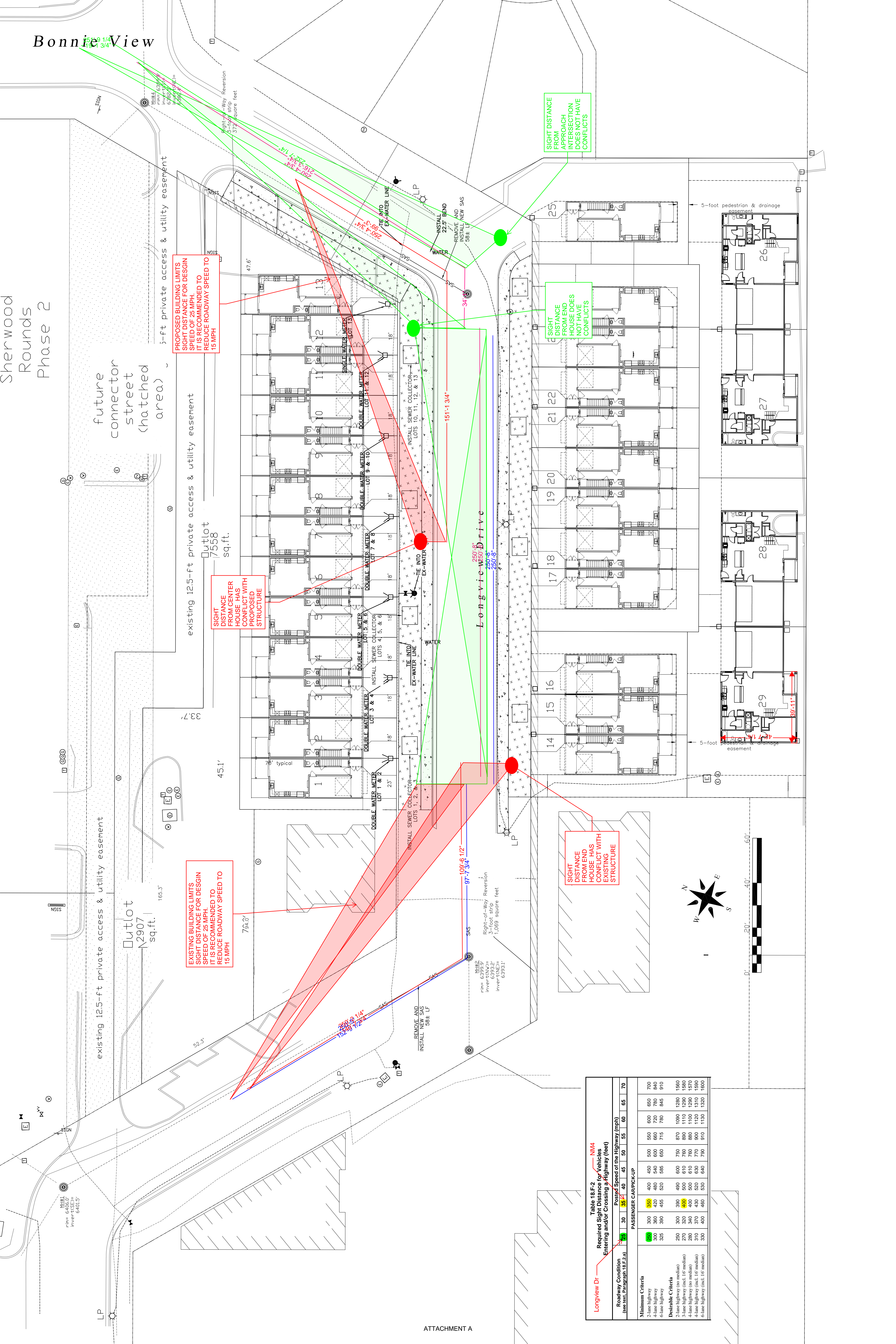
7/20/2024

David Roybal, PE #23576



# Bonnie View

## Sherwood Rounds Phase 2



**Table 18.F-2**  
Required Sight Distance for Vehicles Entering and/or Crossing a Highway (feet)

Longview Dr (see text, Paragraph 18.F.2.a) NM4

Roadway Condition (see text, Paragraph 18.F.2.a)	Passenger Car/Pick-up									
	30	35	40	45	50	55	60	65	70	
<b>Minimum Criteria</b>	250	300	350	400	450	500	550	600	650	700
2-lane highway	300	360	420	480	540	600	660	720	780	840
4-lane highway	325	390	455	520	585	650	715	780	845	910
<b>Desirable Criteria</b>	250	300	350	400	450	500	550	600	650	700
2-lane highway (no median)	270	320	370	420	470	520	570	620	670	720
3-lane highway (incl. 1, 16' median)	280	340	400	460	520	580	640	700	760	820
4-lane highway (no median)	310	370	430	490	550	610	670	730	790	850
4-lane highway (incl. 1, 16' median)	330	400	460	520	580	640	700	760	820	880
6-lane highway (incl. 1, 16' median)	330	400	460	520	580	640	700	760	820	880

