



DEVELOPMENT APPLICATION

PROJECT INFORMATION

Title:

Project Address:

Description:

Check all application types, if applicable:

- | | |
|--|---|
| <ul style="list-style-type: none"> <input type="checkbox"/> Administrative Deviation ... \$25 <input type="checkbox"/> Administrative Wireless Telecom ... \$250 <input type="checkbox"/> Encroachment Permit ... \$25 <input type="checkbox"/> Temporary Use Permit ... \$25 <input type="checkbox"/> Comprehensive Plan Adoption & Amendment*... \$250 <input type="checkbox"/> Conditional Use Permit* ... \$300 <input type="checkbox"/> County Landmark or Historic District Adoption/Amendment* ... \$250 <input type="checkbox"/> Development Plan* ... \$500 <input type="checkbox"/> Major Development Plan Amendment* ... \$500 <input type="checkbox"/> Minor Development Plan Amendment ... \$250 <input type="checkbox"/> Summary Plat... \$100 plus \$25 lot; \$10 / acre for non-residential <input type="checkbox"/> Sketch Plat, Subdivision*... \$250 plus
\$175/lot (1-10 lots)
\$125/lot (11-30 lots)
\$75/lot (30+ lots) <input type="checkbox"/> Preliminary Plat, Subdivision* ... \$250 plus
\$175/lot (1-10 lots)
\$125/lot (11-30 lots)
\$75/lot (30+ lots) <input type="checkbox"/> Final Plat, Subdivision* ... \$250 plus
\$175/lot (1-10 lots)
\$125/lot (11-30 lots)
\$75/lot (30+ lots) <input type="checkbox"/> Landscaping Plan ...\$500 <input type="checkbox"/> Lighting Plan ...\$500 | <ul style="list-style-type: none"> <input type="checkbox"/> Site Plan* ... \$500 plus
\$75 per/Million \$ estimated construction cost <p>Estimated Construction Cost: _____</p> <ul style="list-style-type: none"> <input type="checkbox"/> Major Site Plan Amendment* ... \$500 <input type="checkbox"/> Minor Site Plan Amendment ... \$250 <input type="checkbox"/> Major Zone Map Amendment* ... \$150
<i>No fee if initiated by County Council or County Manager</i> <input type="checkbox"/> Minor Zone Map Amendment* ... \$150
<i>No fee if initiated by County Council or County Manager</i> <input type="checkbox"/> Master Plans* (Major, Minor) ...\$250 <input type="checkbox"/> Text Amendment* ... \$150
<i>No fee if initiated by County Council or County Manager</i> <input type="checkbox"/> Variance ... \$250
<i>No fee if application is a part of a Site Plan review</i> <input type="checkbox"/> Administrative Wireless Telecommunication Facility ... \$250 <input type="checkbox"/> Discretionary Wireless Telecommunication Facility* ... \$500 <input type="checkbox"/> Small Wireless Facility ...\$250 <input type="checkbox"/> Major Historic Demolition* ... \$250 <input type="checkbox"/> Major Historic Property Alteration Certification* ... \$250 <input type="checkbox"/> Minor Historic Property Alteration Certificate ... \$250 |
|--|---|

*** Application reviews require a pre-application meeting.**

PROPERTY & OWNER INFORMATION

Property

Address: _____
Address City State ZIP

Zoning District:

Lot Size - Acres / Sq. Ft.:

Existing Structure(s) Sq. Ft.:

Lot Coverage:

Property Owner(s) Name:

Owner(s) Email:

Owner(s) Phone(s)#:

 Owner's Address same as Property Address

Owner(s)

Address: _____
Address City State ZIP**APPLICANT / OWNER'S AGENT INFORMATION** Applicant is same as Owner

Applicant Name:

Applicant

Address: _____
Address City State ZIP

Applicant Email:

Applicant Phone(s)#:

ASSOCIATED APPLICATONS

Application Type:

Case Number:

I hereby certify and affirm, under penalty of perjury, that the information I have provide in this application is true and accurate to the best of my knowledge, information, and belief. [NMSA 1978, §30-25-1]

Signature:

Scott Hopper

Date:

STAFF USE ONLY

Date Received:

Staff:

Case No.#:

Meeting Date:

SUBMITTALS Proof of Ownership or

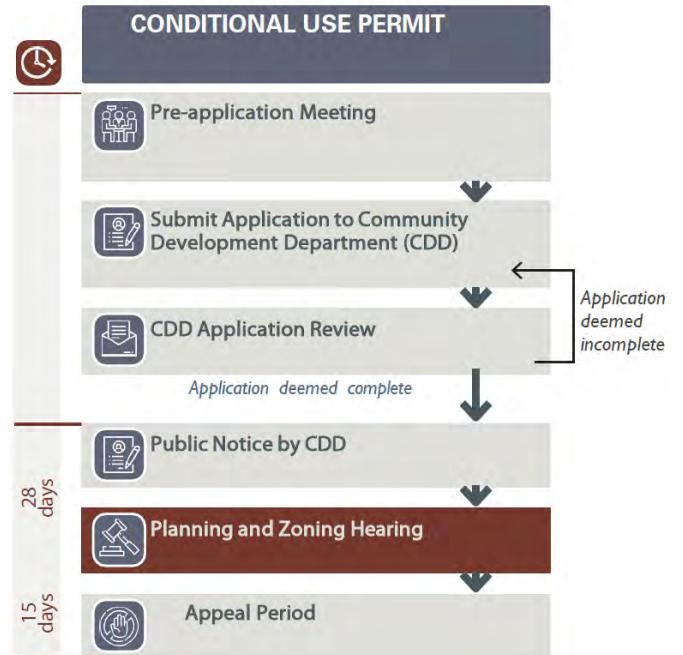
Letter of Authorization from Owner

 Items from associated Application Checklist Complete Application - Date: _____ Payment - Accepted upon verification of a complete application - Date: _____

CONDITIONAL USE CHECKLIST

Applicants for all development application reviews must complete this checklist and submit it with the Development Application. Refer to the referenced code sections for additional information. Contact the Planning Division with questions regarding these requirements: planning@lacnm.us.

PRE-APPLICATION MEETING	
Date Held:	
VICINITY MAP	
<input type="checkbox"/>	Vicinity Map showing the boundaries of the subject property and all adjacent lots within 300'.
PLANS	
Scaled plans at a minimum of 1" = 100' that illustrates the following:	
<input type="checkbox"/>	<u>Site Plan</u>
<input type="checkbox"/>	Graphic Scale and North Arrow
<input type="checkbox"/>	Property Lines according to recorded survey
<input type="checkbox"/>	Existing and proposed structures
<input type="checkbox"/>	Existing and proposed easements
<input type="checkbox"/>	Existing and proposed setbacks
<input type="checkbox"/>	Existing and proposed utility lines
<input type="checkbox"/>	Existing and proposed fencing
<input type="checkbox"/>	Existing and proposed lighting
<input type="checkbox"/>	Existing and proposed signage
<input type="checkbox"/>	<u>Parking Plan</u>
<input type="checkbox"/>	Access and parking related to site
<input type="checkbox"/>	Parking analysis based on proposed use
<input type="checkbox"/>	Width of aisle(s)
<input type="checkbox"/>	Parking stall dimensions
<input type="checkbox"/>	<u>Lighting Plan</u> , if applicable
<input type="checkbox"/>	Proposed lighting that notes the Correlated Color Temperature, Color Rendering Index, Lumens and all other attributes related to lighting to show compliance with Ch. 16, Division 6: Outdoor Lighting.
<input type="checkbox"/>	<u>Landscaping Plan</u>
<input type="checkbox"/>	Existing plant material, amount and species and size
<input type="checkbox"/>	Proposed plant material, amount and species and size
ELEVATIONS	
Elevations drawing(s) at a minimum scale of 1/8" = 1' that indicates:	
<input type="checkbox"/>	Height (above existing grade) of all four sides



See Reverse.

LOT COVERAGE

Existing (%):

Proposed (%):

ADDITIONAL SUBMITTALS

Based on staff's review and Interdepartmental Review Committee's recommendation - additional submittals may be required and will be communicated to the applicant by the assigned Case Manager.

DECISION CRITERIA 16-74-(b)(3)

a. The Conditional Use substantially conforms to the intent and policies of the Comprehensive Plan and other adopted County policies and plans. Explain.

- Staff finds that this criterion has been met*
- Staff finds that this criterion has not been met - more information is needed*

b. The Conditional Use is not detrimental to the public safety, health, or welfare. Explain.

- Staff finds that this criterion has been met*
- Staff finds that this criterion has not been met - more information is needed*

c. The Conditional Use is in conformance with all applicable provisions of this Code and other adopted County regulations. Explain.

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- Staff finds that this criterion has been met*
- Staff finds that this criterion has not been met - more information is needed*

d. The Conditional Use shall conform to all applicable regulations of the district in which it is located. Explain.

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- Staff finds that this criterion has been met*
- Staff finds that this criterion has not been met - more information is needed*

e. The Conditional Use does not cause significant adverse impacts on properties in the vicinity. Explain.

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- Staff finds that this criterion has been met*
- Staff finds that this criterion has not been met - more information is needed*

DECISION CRITERIA 16-74-(b)(3)

f. There are adequate utilities, access roads, drainage, and other necessary improvements to allow the land use, or improvements are planned to provide adequate measures. Explain.

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- Staff finds that this criterion has been met*
- Staff finds that this criterion has not been met - more information is needed*

g. The location, size, design, and operating characteristics of the Conditional Use will be compatible with the use and development of properties in the vicinity. Explain.

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- Staff finds that this criterion has been met*
- Staff finds that this criterion has not been met - more information is needed*

h. The Conditional Use is in compliance with the Site Plan procedures and requirements of Sec. 16- 74(h) and demonstrates that the site development will be compatible with properties in the vicinity. Explain.

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- Staff finds that this criterion has been met*
- Staff finds that this criterion has not been met - more information is needed*

Attach additional sheets, if needed.

c. The Conditional Use is in conformance with all applicable provisions of this Code and other adopted County regulations. Explain.

The WCF substantially complies with all the relevant rules and regulations outlined in the local zoning code and any additional county ordinances. The proposed WCF will not violate any existing laws or regulations regarding land development.

d. The Conditional Use shall conform to all applicable regulations of the district in which it is located. Explain.

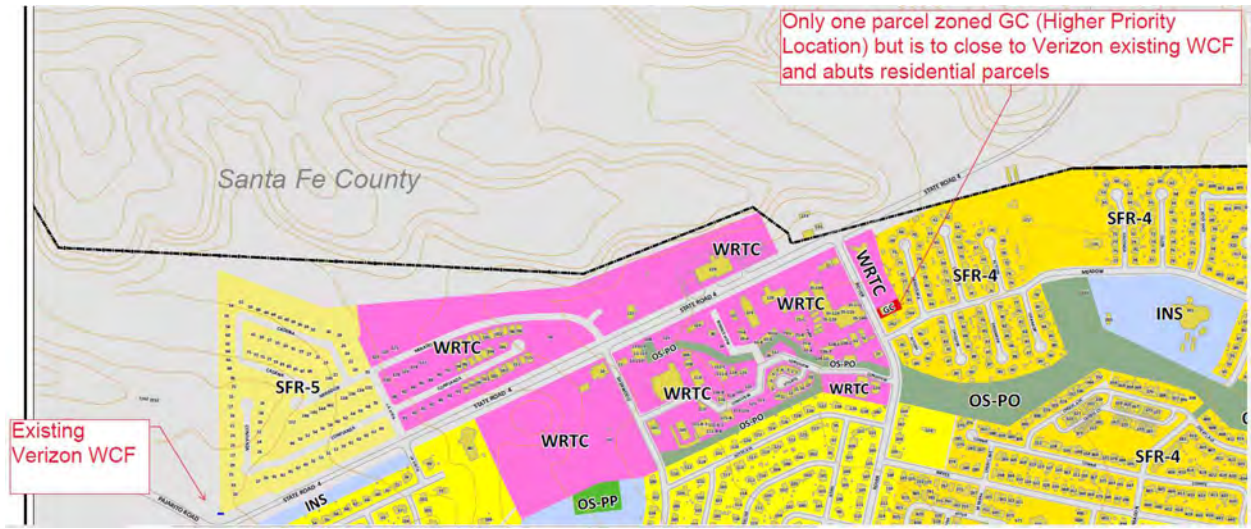
The Proposed WCF substantially conforms with applicable regulations of the district in which it is located.

Collocations and public utility collocation; a search was performed using antennaSearch.com, which lists (3) existing towers, but was only able to confirm (2) visually during a site visit on 07/07/2024. 190' Non-concealed SBA Tower (this is the location Verizon has an existing WCF that is running out of capacity) the other 360 Degrees Non-concealed 65' Tower, is too close to Verizon's existing WCF (SBA 190' Tower) to meet Verizon Capacity objectives. The distance between Verizon's existing WCF and the proposed Sun State proposed concealed WCF is approximately two (2) miles (Please see snippets below).



Sun State / Verizon considered the existing 80' light poles owned by Los Almos County at Overlook Park, but due to interference / shadowing issues that can be caused by the antennas, the separation requirements would be approximately 20' or more below the bottom of the light fixtures, therefore, would not meet Verizon height requirement (76') for Capacity / coverage objective and would limit Sun State's ability to add additional carriers. (Please see Alternative Site & Height Analysis)

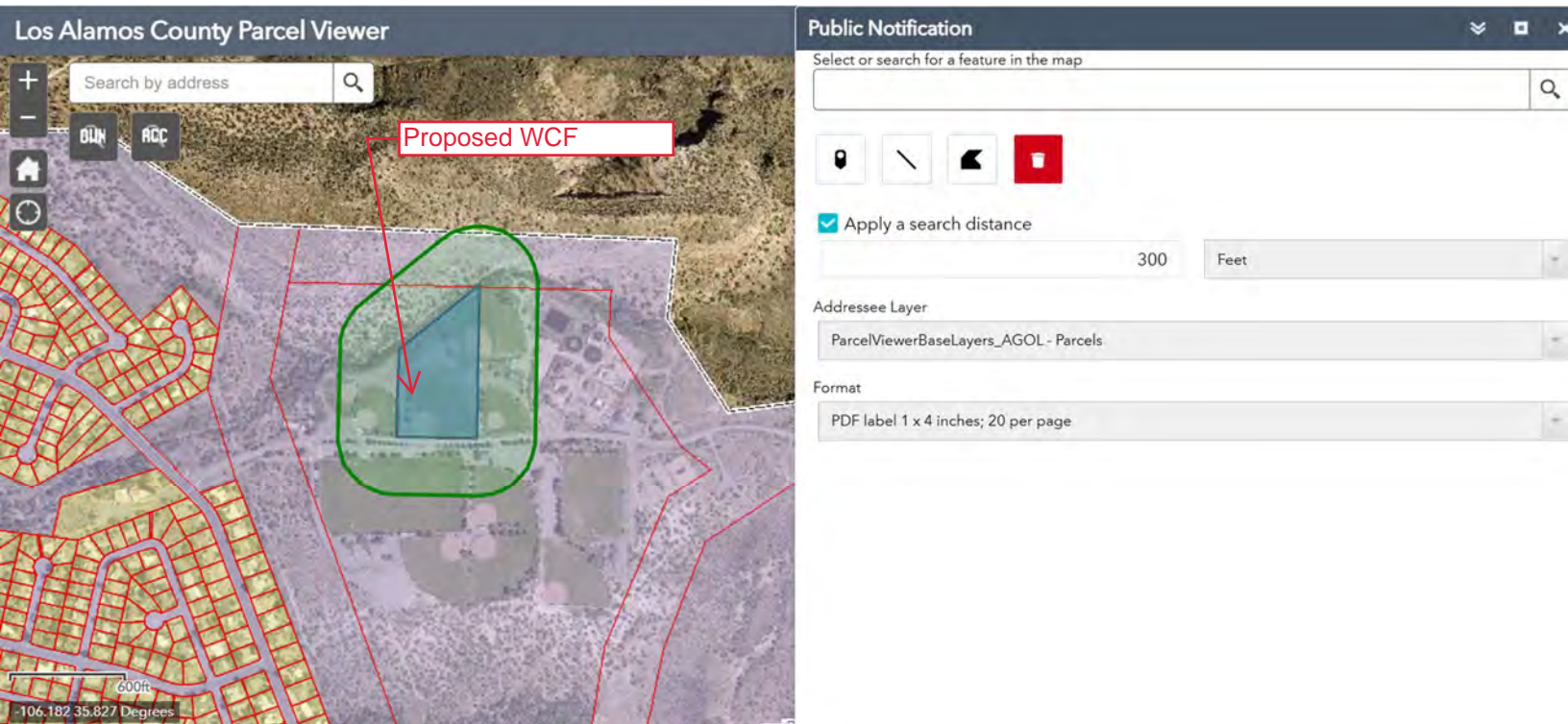
Higher priority locations; The locations zoned WRTC & GC are too close to Verizon's existing WCF to meet Verizon Capacity objectives. (Please see snippets below)



Least intrusive means; The Proposed concealed 80' WCF (Antennas will be housed in a stealth canister shroud), meets and or exceeds all setback requirements, is approximately 1,000 feet from existing residential properties (Please refer to Photo Sims)

Height; 50' is insufficient for reasonable collocation for Verizon and or future carriers to resolve the capacity/coverage objectives in this area. A height Variance application will be submitted with the CUP, requesting a height increase to 80' that will match several existing Ballfield light poles near the WCF. (Please refer to Alternative Site & Height Analysis)

Vicinity Map showing the boundaries of the subject property and all adjacent lots within 300'. Adjacent lots are owned by Los Alamos County (Overlook Park). There are no residential properties within the 300' notification area.



Case No. _____

OWNER AFFIDAVIT

(Authorizing an agent to act on behalf of a property owner when making a land development application.)

STATE OF NEW MEXICO)
) ss.
COUNTY OF LOS ALAMOS)

I, (We) County of Los Alamos being duly sworn, depose and

say that (*I am*) (*we are*) the owner(s) of property located at:

580 OVERLOOK RD. WHITE ROCK, NM 87544 (Overlook Park), legally described as:
TRACT N, WHITE ROCK SUBDIVISION, AS SHOWN ON PLAT RECORDED
SEPTEMBER 3, 1965 IN BOOK 1, PAGE 62, AND AFFIDAVIT OF CORRECTION
RECORDED ON AUGUST 30, 1966 IN BOOK 7, PAGE 141, RECORDS OF LOS ALAMOS
COUNTY, NEW MEXICO, for which (*I am*) (*we are*) requesting a:

Telecommunication Facility (*conditional use permits; sketch, preliminary and final plats; site plan;
variance; zone change; subdivision; summary plat; temporary use permit; telecommunication facility;
historic property; or development plans*) through the County of Los Alamos, New Mexico.

Furthermore, (*I*) (*we*) hereby appoint Scott Hopper of Pinnacle Consulting as our agent to act on our
behalf in all matters pertaining to this application.

Signed: *[Signature]* Anne Laurent

Signed: _____

Address: 1000 Central Ave. Ste. 350
Los Alamos, NM 87544

Address: _____

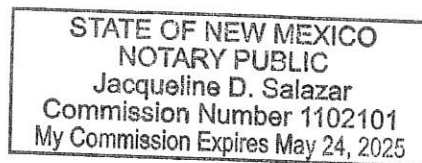
Telephone: 505-663-1750

Telephone: _____

Subscribed and sworn to before me this

26th day of August, 2024.

[Signature]
Notary Public



My Commission Expires: May 24, 2025



SUN STATE TOWERS

NM14-149 GRAND SLAM / NM4 OVERLOOK

APN: 104-01-0825-1495

580 OVERLOOK RD.

LOS ALAMOS, NM 87544

LOS ALAMOS COUNTY

PREPARED FOR
**SUN STATE
TOWERS**
1426 NORTH MARVIN STREET #101
GILBERT, AZ 85233
PHONE: 480-664-9588 - FAX 480-664-9850

CARRIER
verizon
2600 W. GERONIMO PL., CHANDLER, AZ 85224
PHONE: (480) 777-4360
FAX: (480) 777-4391

A&E CONSULTING FIRM & SITE ACQUISITION
**PINNACLE
CONSULTING, INC.**
Site Acquisition | Engineering | Construction
1426 NORTH MARVIN STREET # 101
GILBERT, AZ 85233

PROJECT NO: NM14-149 GRAND SLAM
DRAWN BY: CS
CHECKED BY: KF

REV	DATE	DESCRIPTION	BY
4	02/18/25	FINAL ZONING	CS
5	03/12/25	FINAL ZONING	CS

SITE DIRECTIONS

DEPART ALBUQUERQUE INTERNATIONAL AIRPORT. HEAD SOUTH ON YALE BLVD SE. SLIGHT LEFT TO STAY ON YALE BLVD SE. MERGE ONTO SUNPORT BLVD. SLIGHT RIGHT TO STAY ON SUNPORT BLVD. KEEP LEFT TO STAY ON SUNPORT BLVD. USE THE LEFT LANE TO MERGE ONTO SUNPORT LOOP SE. KEEP LEFT TO CONTINUE ON SUNPORT BLVD. USE THE RIGHT 2 LANES TO MERGE ONTO I-25 N VIA THE RAMP TO I-40 N/DOWNTOWN/SANTA FE. MERGE ONTO I-25 N. TAKE EXIT 276 FOR NM-599 S TOWARD MADRID. USE THE LEFT 2 LANES TO TURN LEFT ONTO NM-599 N. TAKE THE US-84 N/US-285 EXIT ON THE LEFT TOWARD ESPAÑOLA. MERGE ONTO US-285 N/US-84 W. TAKE THE NM-502 W/LOS ALAMOS EXIT. MERGE ONTO LOS ALAMOS HWY. CONTINUE ONTO NM-502. USE THE RIGHT 2 LANES TO TAKE THE NM-4 RAMP TO WHITE ROCK/BANDELIER NATL MON. CONTINUE ONTO NM-4 W. TURN LEFT ONTO ROVER BLVD. TURN LEFT ONTO MEADOW LN. TURN LEFT ONTO OVERLOOK RD. DESTINATION WILL BE ON THE LEFT.

PROJECT DESCRIPTION

SCOPE OF WORK

- INSTALL PROPOSED 80'-0" SUN STATE TOWERS GALVANIZED STEEL MONOPOLE
- INSTALL PROPOSED 20'-0"X30'-0" SPLIT FACE CMU WALL W/ SLOPPED SECURITY TOPPER
- INSTALL PROPOSED 4'-0"X12'-0" CONCRETE PAD
- INSTALL PROPOSED BATTERY CABINET
- INSTALL PROPOSED RF CABINET
- INSTALL PROPOSED GPS ANTENNA
- INSTALL (9) PROPOSED 4" UNDERGROUND CONDUITS
- INSTALL PROPOSED ELECTRICAL SERVICE
- INSTALL PROPOSED TELCO SERVICE
- INSTALL PROPOSED ANTENNA FRAME
- INSTALL (9) PROPOSED ANTENNAS
- INSTALL (9) PROPOSED REMOTE RADIO HEADS
- INSTALL (1) PROPOSED 12-PORT OVP
- INSTALL (2) PROPOSED HYBRIFLEX CABLES

CONTACT INFORMATION

CLIENT / TOWER OWNER:
SUN STATE TOWERS
1426 N. MARVIN STREET #101
GILBERT, AZ 85233
CONTACT: CHAD WARD
PHONE: [480] 664-9588

PROPERTY OWNER:
LOS ALAMOS COUNTY
1000 CENTRAL AVE.
LOS ALAMOS, NM 87544
PHONE: [505] 662-8333

CARRIER:
VERIZON WIRELESS
6955 W MORELOS PL
CHANDLER, AZ 85226
CONTACT: JEFF DEWALT
PHONE: [505] 332-6007

SITE ACQUISITION:
PINNACLE CONSULTING, INC.
1426 N. MARVIN STREET #101
GILBERT, AZ 85233
CONTACT: MICHELLE JOHNSON
PHONE: (480) 664-9588 ext. 230

ENGINEERING FIRM:
PINNACLE CONSULTING, INC.
1426 N. MARVIN STREET #101
GILBERT, AZ 85233
ENGINEER: KYLE FORTIN, PE
PHONE: [623] 217-4235

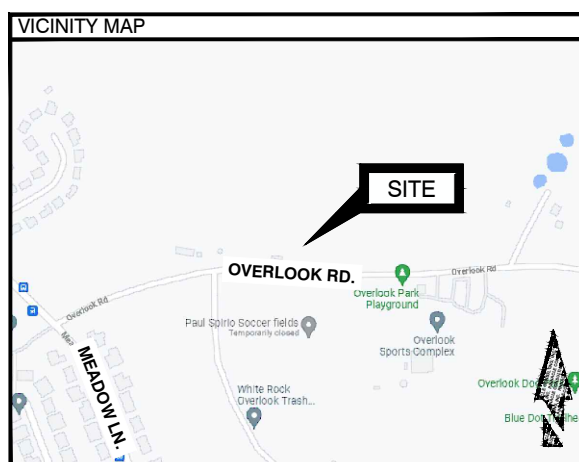
PROJECT DATA

ZONING: OS-PP
PARCEL #: 104-01-0825-1495
USE: UNMANNED COMMUNICATIONS
NEW LEASE AREA: 2200 SQ. FT
JURISDICTION: LOS ALAMOS COUNTY
GOVERNING CODES: 2021 IBC, 2021 NMBC, 2015 NFPA 1, 2020 NMEC

ALL BUILDING CODES LISTED ABOVE SHALL INCLUDE AMENDMENTS BY THE GOVERNING JURISDICTION

GENERAL NOTES

- THIS WIRELESS TELECOMMUNICATIONS FACILITY WILL MEET THE HEALTH AND SAFETY STANDARDS FOR ELECTROMAGNETIC FIELD EMISSIONS AS ESTABLISHED BY THE FEDERAL COMMUNICATIONS COMMISSION OR ANY SUCCESSOR THEREOF, AND ANY OTHER FEDERAL OR STATE AGENCY.
- THIS WIRELESS TELECOMMUNICATIONS FACILITY WILL MEET THE REGULATIONS OF THE FEDERAL COMMUNICATIONS COMMISSION REGARDING PHYSICAL AND ELECTROMAGNETIC INTERFERENCE.
- LIGHTING OR SIGNS WILL BE PROVIDED ONLY AS REQUIRED BY FEDERAL OR STATE AGENCIES.
- DEVELOPMENT AND CONSTRUCTION OF THIS PROJECT WILL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
- EXISTING PARKING IS NOT AFFECTED BY THIS PROJECT.
- THIS PROJECT DOES NOT INCLUDE WATER OR SEWER.
- THIS PROJECT INCLUDES C-BAND INSTALLATION.
- NO ABANDONMENT OF A SMALL WIRELESS FACILITY SHALL BE PERMITTED. ALL SMALL WIRELESS FACILITIES NOT IN SERVICE SHALL BE PHYSICALLY MAINTAINED AS IF IN SERVICE FOR THE PROTECTION AND SAFETY OF THE PUBLIC.



SHEET INDEX

T-1	PROJECT INFORMATION
Z-1	OVERALL SITE PLAN
Z-2	OVERALL SETBACK PLAN
Z-3	EXISTING SITE PLAN
Z-4	PROPOSED SITE PLAN
Z-5	ENLARGED SITE PLAN AND ANTENNA PLAN
Z-6	ELEVATIONS
Z-7	ELEVATIONS
Z-8	ELEVATIONS
Z-9	COMPOUND ENCLOSURE DETAIL

COORDINATES

TOWER COORDINATES:
TOWER LATITUDE 35.826752° 35° 49' 36.31" N [NAD83]
TOWER LONGITUDE -106.188301° -106° 11' 17.89" W [NAD83]
TOWER GROUND ELEVATION 6292.8' [NAVD88]

FIBER MMP (MEET ME POINT) COORDINATES:
MMP LATITUDE 35.826074° 35° 49' 33.87" N [NAD83]
MMP LONGITUDE -106.188313° -106° 11' 17.93" W [NAD83]

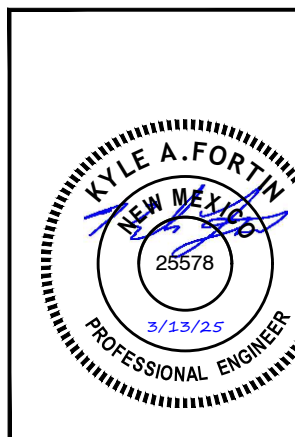
APPROVALS

[RF]: _____ DATE: _____

[CONST.]: _____ DATE: _____

[RE]: _____ DATE: _____

LANDLORD: _____ DATE: _____



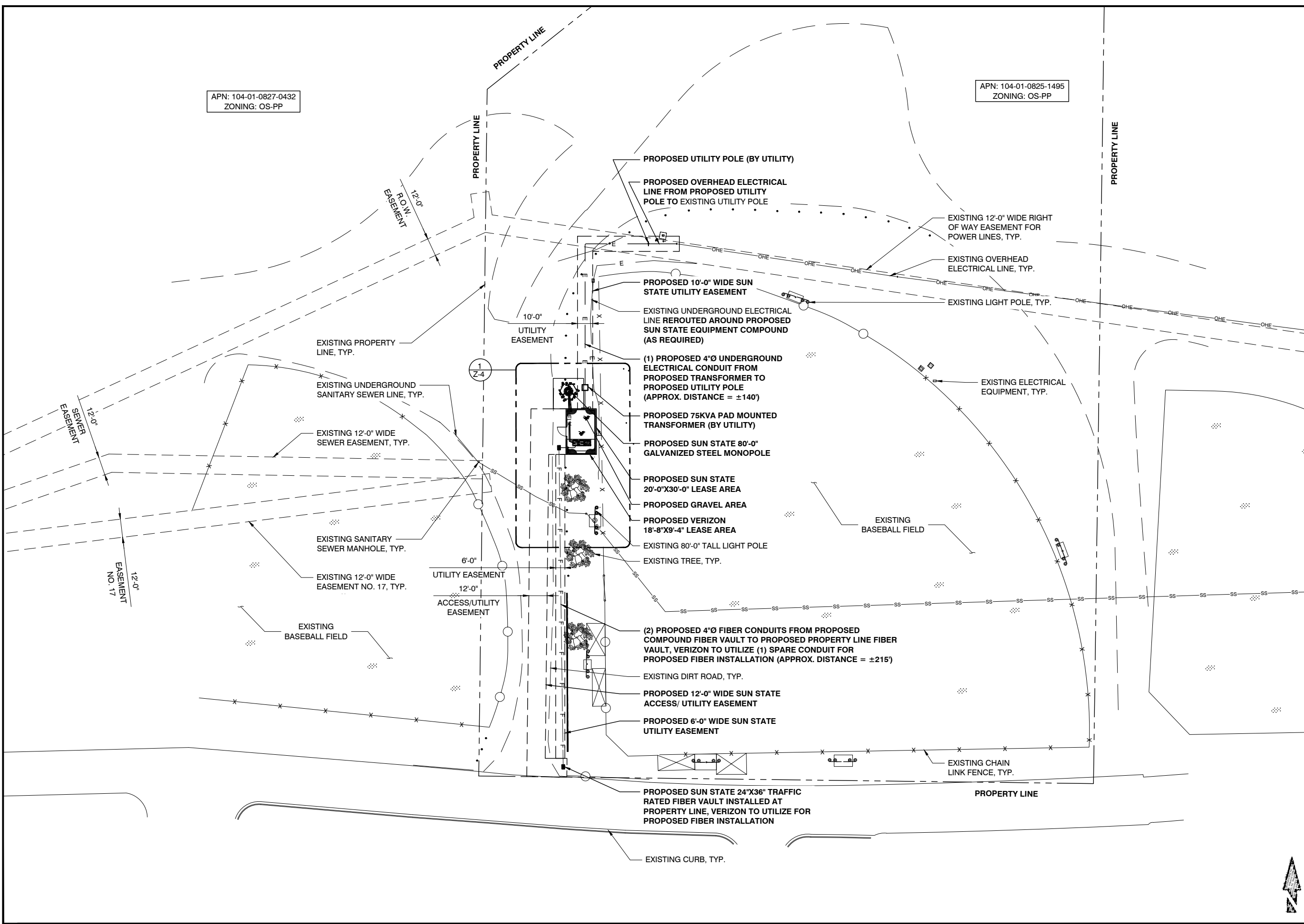
NM14-149 GRAND SLAM /
NM4 OVERLOOK
580 OVERLOOK RD.
LOS ALAMOS, NM 87544
LOS ALAMOS COUNTY

SHEET TITLE
PROJECT INFORMATION

SHEET NUMBER
T-1

APN: 104-01-0827-0432
ZONING: OS-PP

APN: 104-01-0825-1495
ZONING: OS-PP



PREPARED FOR



**SUN STATE
TOWERS**
1426 NORTH MARVIN STREET #101
GILBERT, AZ 85233
PHONE: 480-664-9588 - FAX 480-664-9850

CARRIER



2600 W. GERONIMO PL., CHANDLER, AZ 85224
PHONE: (480) 777-4360
FAX: (480) 777-4391


A&E CONSULTING FIRM & SITE ACQUISITION



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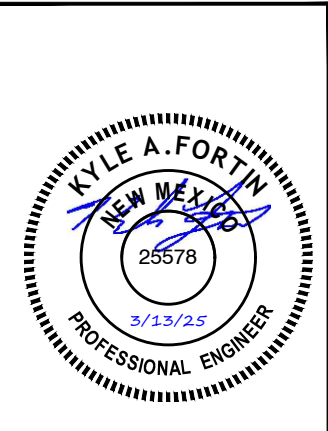
KYLE A. FORTIN
NEW MEXICO
25578
3/13/25
PROFESSIONAL ENGINEER

**NM14-149 GRAND SLAM /
NM4 OVERLOOK**
580 OVERLOOK RD.
LOS ALAMOS, NM 87544
LOS ALAMOS COUNTY

SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
Z-1

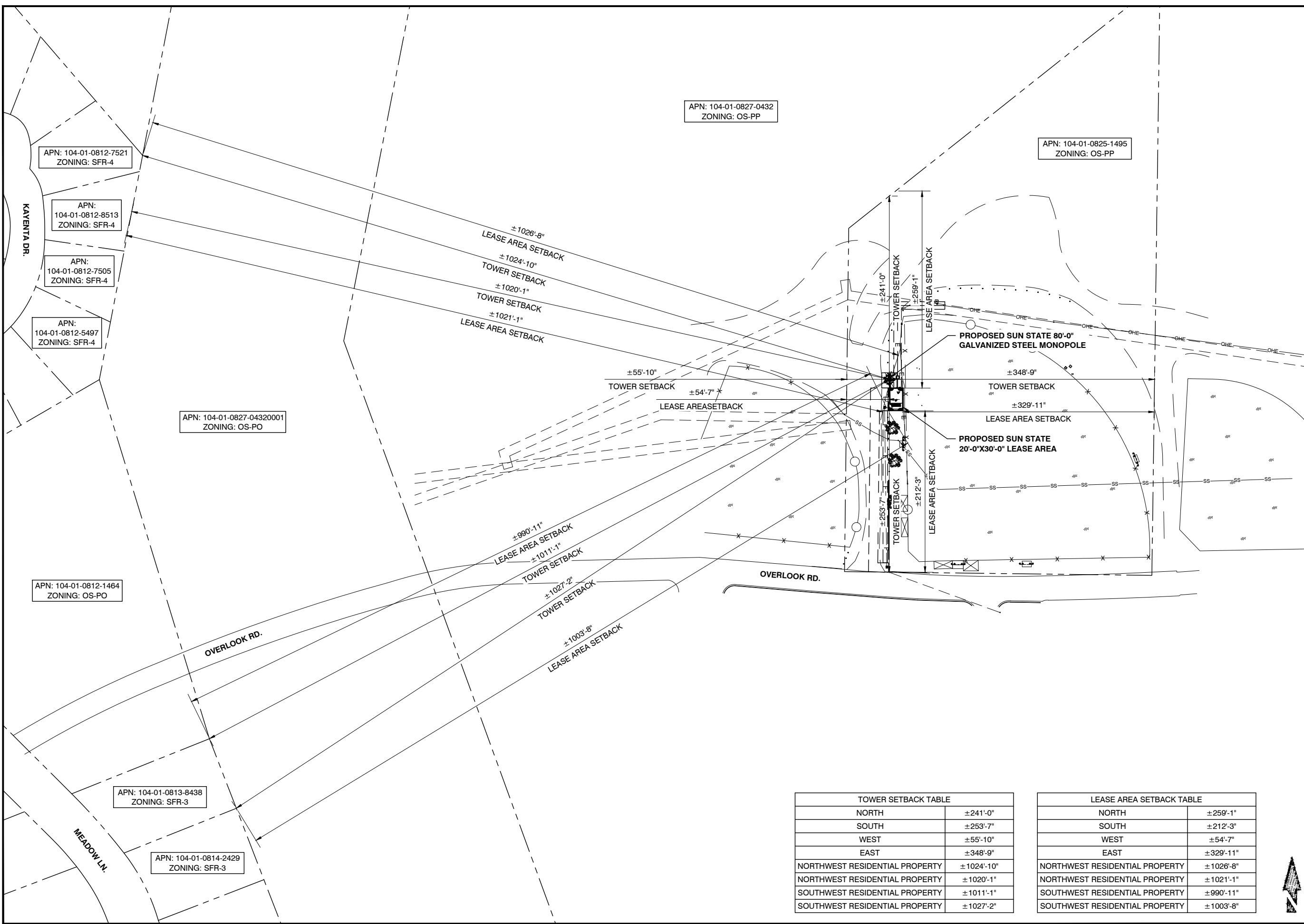
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NM14-149 GRAND SLAM /
 NM4 OVERLOOK
 580 OVERLOOK RD.
 LOS ALAMOS, NM 87544
 LOS ALAMOS COUNTY

SHEET TITLE
OVERALL SETBACK PLAN

SHEET NUMBER
Z-2



APN: 104-01-0827-0432
 ZONING: OS-PP

APN: 104-01-0825-1495
 ZONING: OS-PP

APN: 104-01-0812-7521
 ZONING: SFR-4

APN:
 104-01-0812-8513
 ZONING: SFR-4

APN:
 104-01-0812-7505
 ZONING: SFR-4

APN:
 104-01-0812-5497
 ZONING: SFR-4

APN: 104-01-0827-04320001
 ZONING: OS-PO

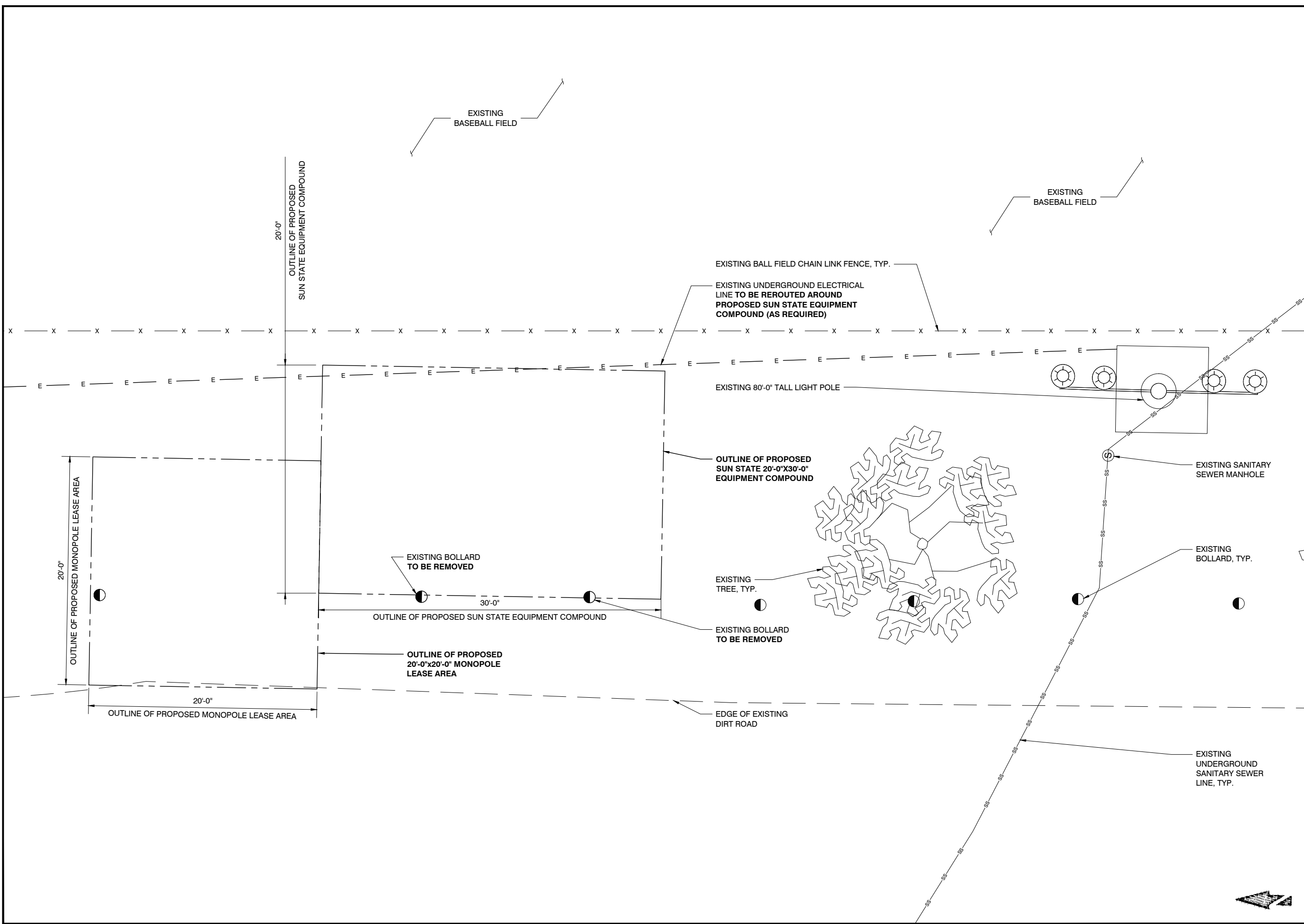
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 ZONING: OS-PO


APN: 104-01-0813-8438
 ZONING: SFR-3

APN: 104-01-0814-2429
 ZONING: SFR-3

NORTH	±241'-0"
SOUTH	±253'-7"
WEST	±55'-10"
EAST	±348'-9"
NORTHWEST RESIDENTIAL PROPERTY	±1024'-10"
NORTHWEST RESIDENTIAL PROPERTY	±1020'-1"
SOUTHWEST RESIDENTIAL PROPERTY	±1011'-1"
SOUTHWEST RESIDENTIAL PROPERTY	±1027'-2"

NORTH	±259'-1"
SOUTH	±212'-3"
WEST	±54'-7"
EAST	±329'-11"
NORTHWEST RESIDENTIAL PROPERTY	±1026'-8"
NORTHWEST RESIDENTIAL PROPERTY	±1021'-1"
SOUTHWEST RESIDENTIAL PROPERTY	±990'-11"
SOUTHWEST RESIDENTIAL PROPERTY	±1003'-8"



PREPARED FOR

SUN STATE TOWERS
 1426 NORTH MARVIN STREET #101
 GILBERT, AZ 85233
 PHONE: 480-664-9588 - FAX 480-664-9850

CARRIER

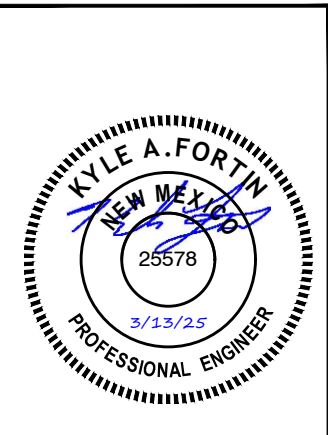
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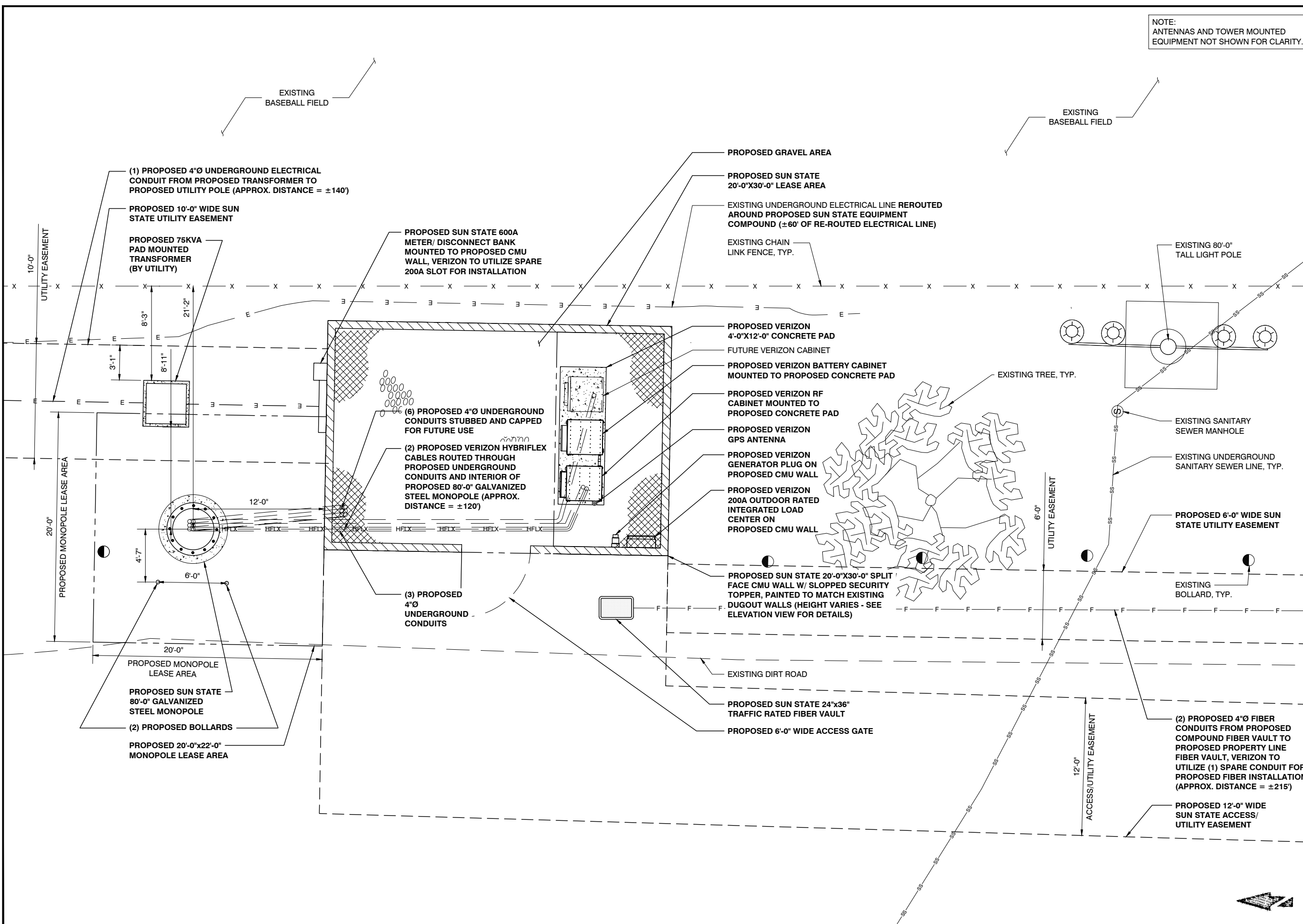


NM14-149 GRAND SLAM / NM4 OVERLOOK
 580 OVERLOOK RD.
 LOS ALAMOS, NM 87544
 LOS ALAMOS COUNTY

SHEET TITLE
EXISTING SITE PLAN

SHEET NUMBER
Z-3

NOTE:
ANTENNAS AND TOWER MOUNTED
EQUIPMENT NOT SHOWN FOR CLARITY.



PREPARED FOR

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TOWERS**
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PHONE: 480-664-9588 - FAX 480-664-9850

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5	03/12/25	FINAL ZONING	CS

NM14-149 GRAND SLAM /
NM4 OVERLOOK
580 OVERLOOK RD.
LOS ALAMOS, NM 87544
LOS ALAMOS COUNTY

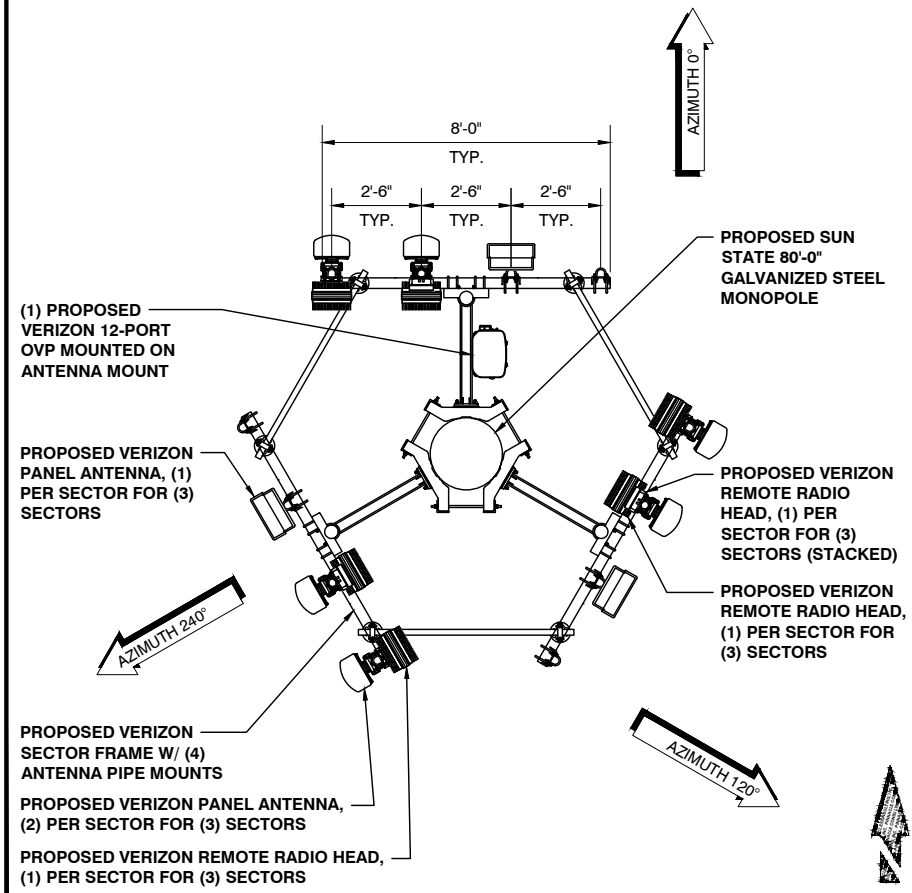
SHEET TITLE
PROPOSED SITE PLAN

SHEET NUMBER
Z-4

NEW HYBRID CABLE SCHEDULE					
SECTOR	AZIMUTH	LENGTH	QTY.	SIZE	TYPE
ALPHA	0°	±120'	2	2"Ø	6X12 HYBRIFLEX CABLE
BETA	120°	-	-	-	-
GAMMA	240°	-	-	-	-

CABLING DETAIL

1



ANTENNA PLAN

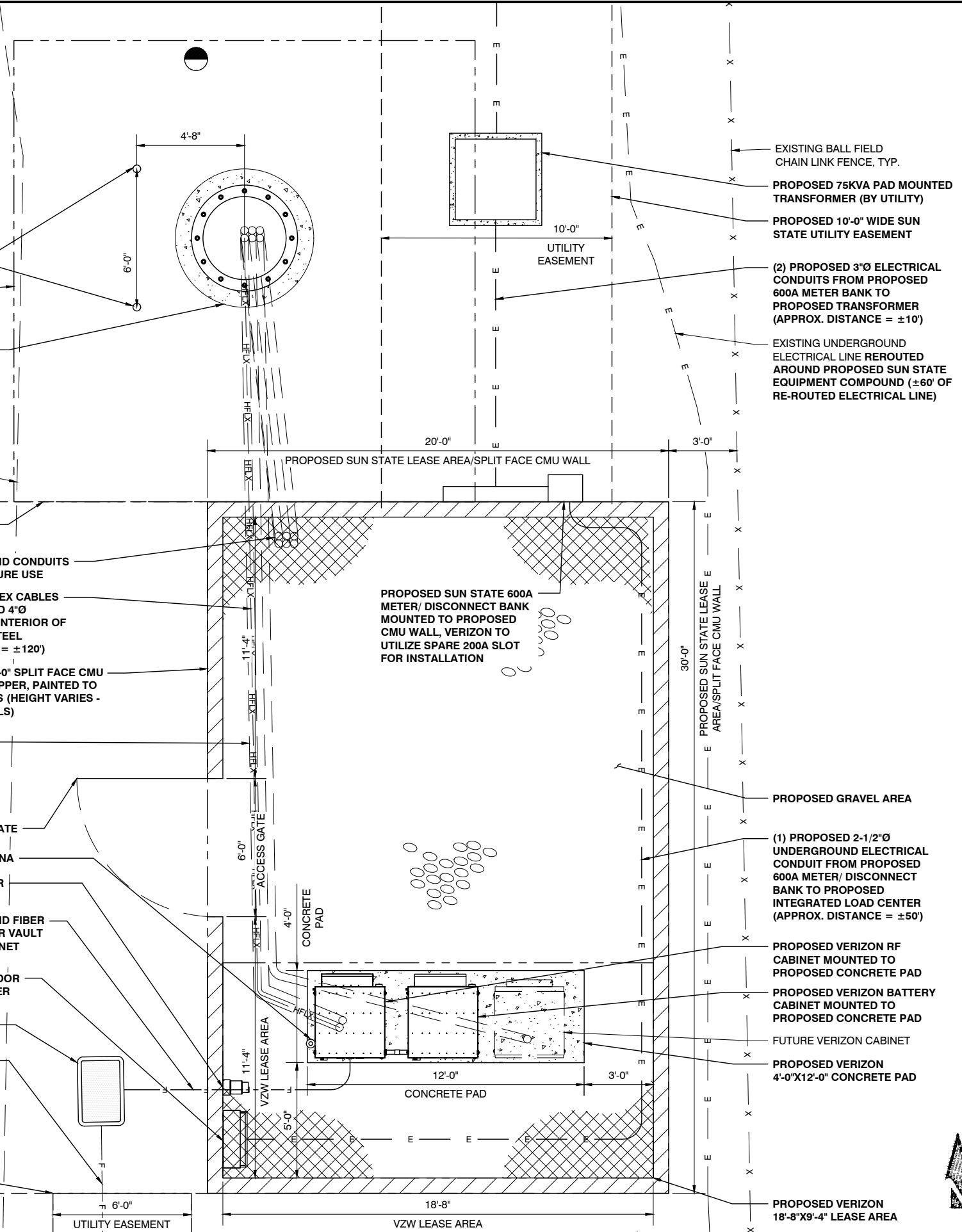
24"x36" SCALE: 3/8" = 1'-0"
11"x17" SCALE: 3/16" = 1'-0"

NOTE:
ANTENNAS AND
TOWER MOUNTED
EQUIPMENT NOT
SHOWN FOR
CLARITY.

- (2) PROPOSED BOLLARDS
- PROPOSED 20'-0"X20'-0" MONOPOLE LEASE AREA
- PROPOSED SUN STATE 80'-0" GALVANIZED STEEL MONOPOLE
- EXISTING DIRT ROAD
- PROPOSED SUN STATE ACCESS/ UTILITY EASEMENT
- (6) PROPOSED 4"Ø UNDERGROUND CONDUITS STUBBED AND CAPPED FOR FUTURE USE
- (2) PROPOSED VERIZON HYBRIFLEX CABLES ROUTED THROUGH (3) PROPOSED 4"Ø UNDERGROUND CONDUITS AND INTERIOR OF PROPOSED 80'-0" GALVANIZED STEEL MONOPOLE (APPROX. DISTANCE = ±120')
- PROPOSED SUN STATE 20'-0"X30'-0" SPLIT FACE CMU WALL W/ SLOPPED SECURITY TOPPER, PAINTED TO MATCH EXISTING DUGOUT WALLS (HEIGHT VARIES - SEE ELEVATION VIEW FOR DETAILS)
- (3) PROPOSED 4"Ø UNDERGROUND CONDUITS
- PROPOSED 6'-0" WIDE ACCESS GATE
- PROPOSED VERIZON GPS ANTENNA
- PROPOSED VERIZON GENERATOR PLUG ON PROPOSED CMU WALL
- (1) PROPOSED 4"Ø UNDERGROUND FIBER CONDUIT FROM PROPOSED FIBER VAULT TO PROPOSED VERIZON RF CABINET (APPROX. DISTANCE = ±15')
- PROPOSED VERIZON 200A OUTDOOR RATED INTEGRATED LOAD CENTER ON PROPOSED CMU WALL
- PROPOSED SUN STATE 24"X36" TRAFFIC RATED FIBER VAULT
- (2) PROPOSED 4"Ø FIBER CONDUITS FROM PROPOSED COMPOUND FIBER VAULT TO PROPOSED PROPERTY LINE FIBER VAULT, VERIZON TO UTILIZE (1) SPARE CONDUIT FOR PROPOSED FIBER INSTALLATION (APPROX. DISTANCE = ±215')
- PROPOSED SUN STATE 6'-0" WIDE UTILITY EASEMENT

ENLARGED SITE PLAN

ATTACHMENT A



- EXISTING BALL FIELD CHAIN LINK FENCE, TYP.
- PROPOSED 75KVA PAD MOUNTED TRANSFORMER (BY UTILITY)
- PROPOSED 10'-0" WIDE SUN STATE UTILITY EASEMENT
- (2) PROPOSED 3"Ø ELECTRICAL CONDUITS FROM PROPOSED 600A METER BANK TO PROPOSED TRANSFORMER (APPROX. DISTANCE = ±10')
- EXISTING UNDERGROUND ELECTRICAL LINE REROUTED AROUND PROPOSED SUN STATE EQUIPMENT COMPOUND (±60' OF RE-ROUTED ELECTRICAL LINE)
- PROPOSED SUN STATE LEASE AREA/SPLIT FACE CMU WALL
- PROPOSED SUN STATE 600A METER/ DISCONNECT BANK MOUNTED TO PROPOSED CMU WALL, VERIZON TO UTILIZE SPARE 200A SLOT FOR INSTALLATION
- PROPOSED SUN STATE LEASE AREA/SPLIT FACE CMU WALL
- PROPOSED GRAVEL AREA
- (1) PROPOSED 2-1/2"Ø UNDERGROUND ELECTRICAL CONDUIT FROM PROPOSED 600A METER/ DISCONNECT BANK TO PROPOSED INTEGRATED LOAD CENTER (APPROX. DISTANCE = ±50')
- PROPOSED VERIZON RF CABINET MOUNTED TO PROPOSED CONCRETE PAD
- PROPOSED VERIZON BATTERY CABINET MOUNTED TO PROPOSED CONCRETE PAD
- FUTURE VERIZON CABINET
- PROPOSED VERIZON 4'-0"X12'-0" CONCRETE PAD
- PROPOSED VERIZON 18'-8"X9'-4" LEASE AREA

24"x36" SCALE: 3/8" = 1'-0"
11"x17" SCALE: 3/16" = 1'-0"

3

PREPARED FOR

SUN STATE TOWERS
 1426 NORTH MARVIN STREET #101
 GILBERT, AZ 85233
 PHONE: 480-664-9588 - FAX 480-664-9850

CARRIER

 2800 W. GERONIMO PL., CHANDLER, AZ 85224
 PHONE: (480) 777-4360
 FAX: (480) 777-4391

A&E CONSULTING FIRM & SITE ACQUISITION

PINNACLE CONSULTING, INC.
 Site Acquisition | Engineering | Construction
 1426 NORTH MARVIN STREET # 101
 GILBERT, AZ 85233

PROJECT NO:	NM14-149 GRAND SLAM
DRAWN BY:	CS
CHECKED BY:	KF

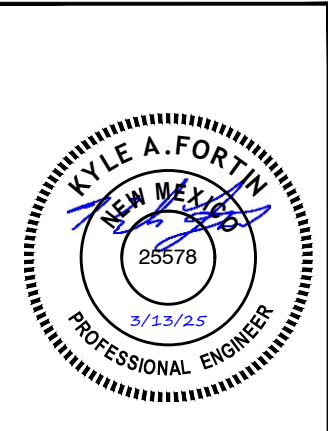
REV	DATE	DESCRIPTION	BY
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5	03/12/25	FINAL ZONING	CS

NM14-149 GRAND SLAM / NM4 OVERLOOK
 580 OVERLOOK RD.
 LOS ALAMOS, NM 87544
 LOS ALAMOS COUNTY

SHEET TITLE
ENLARGED SITE PLAN AND ANTENNA PLAN

SHEET NUMBER
Z-5

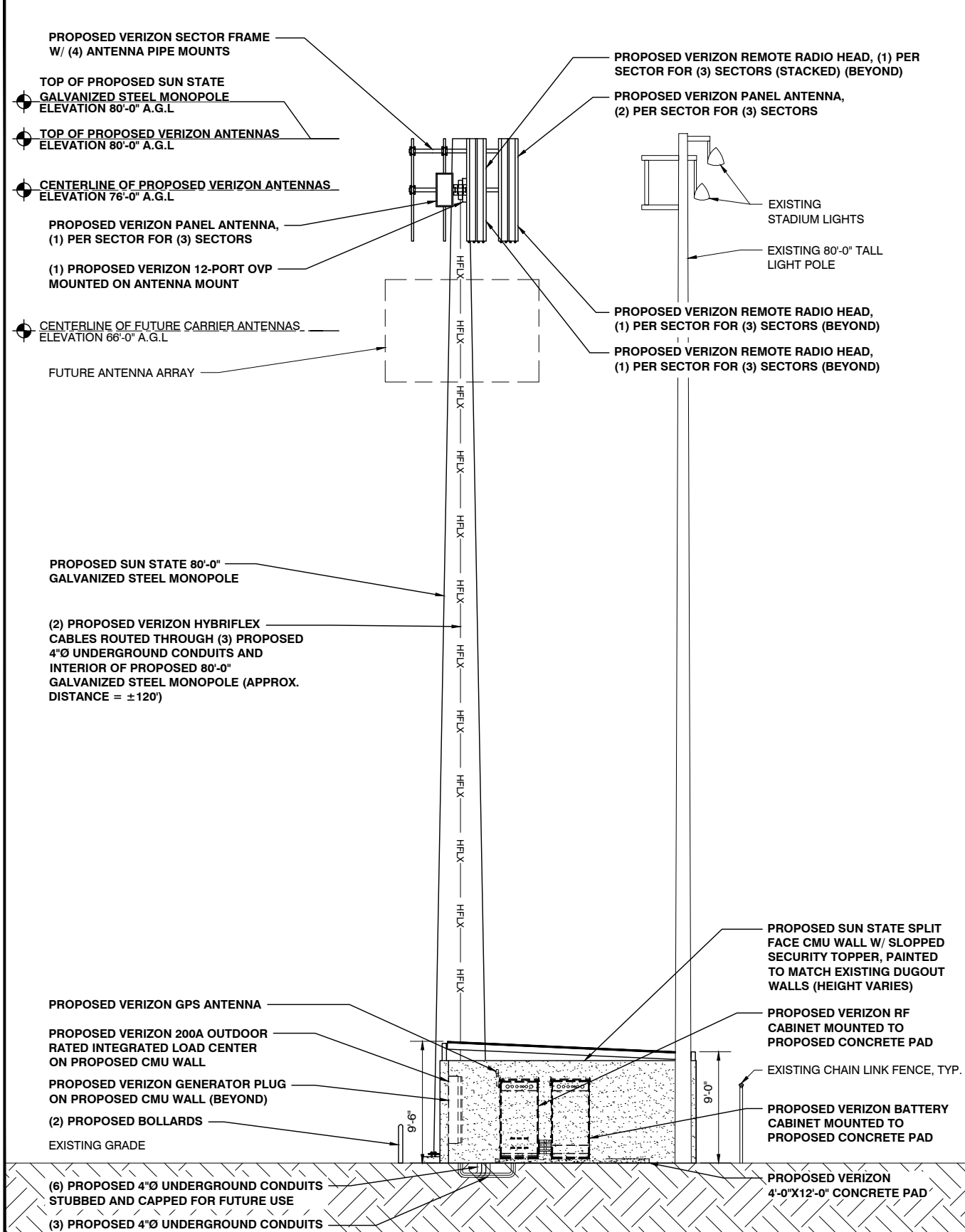
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5	03/12/25	FINAL ZONING	CS



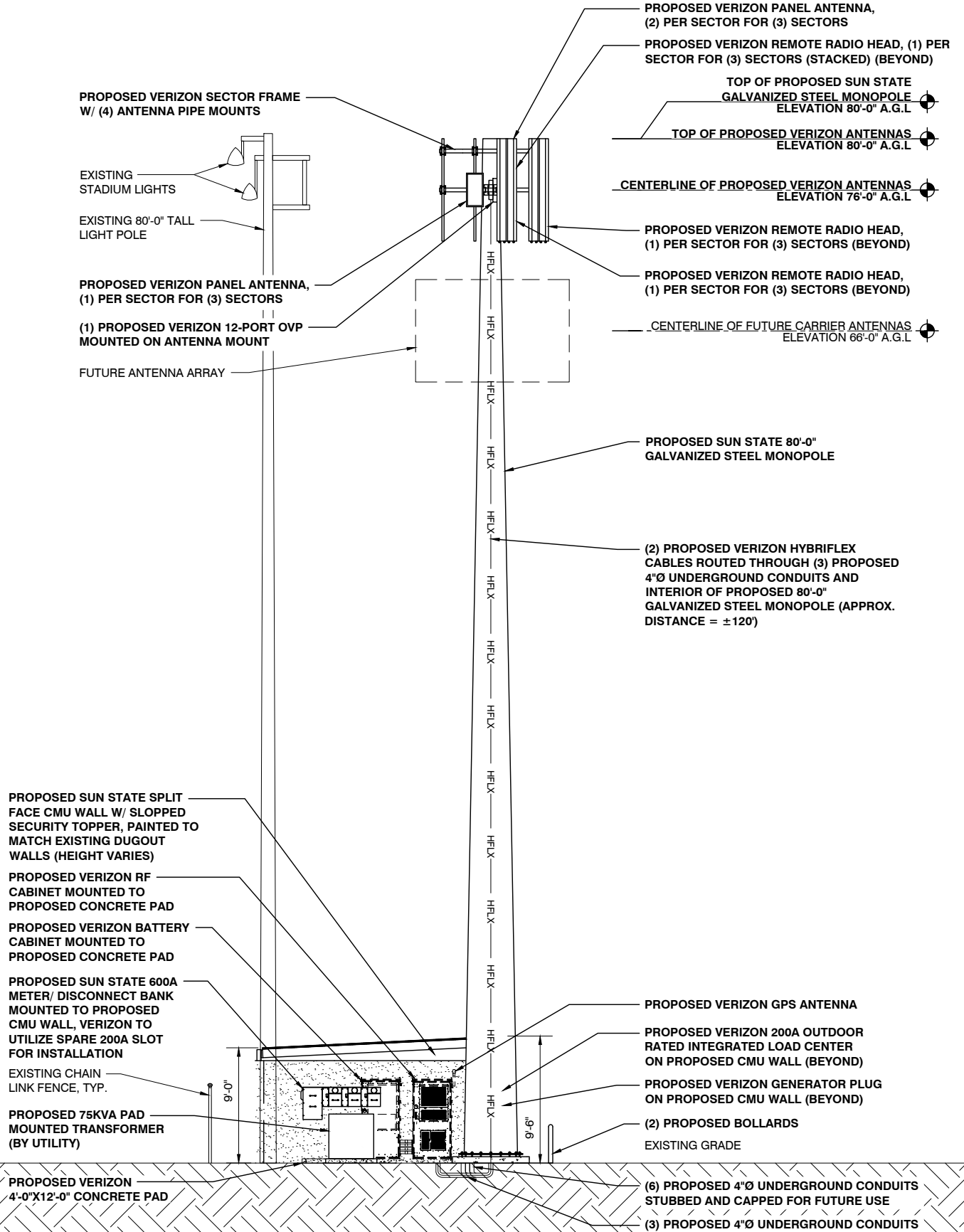
NM14-149 GRAND SLAM / NM4 OVERLOOK
 580 OVERLOOK RD.
 LOS ALAMOS, NM 87544
 LOS ALAMOS COUNTY

SHEET TITLE
ELEVATIONS

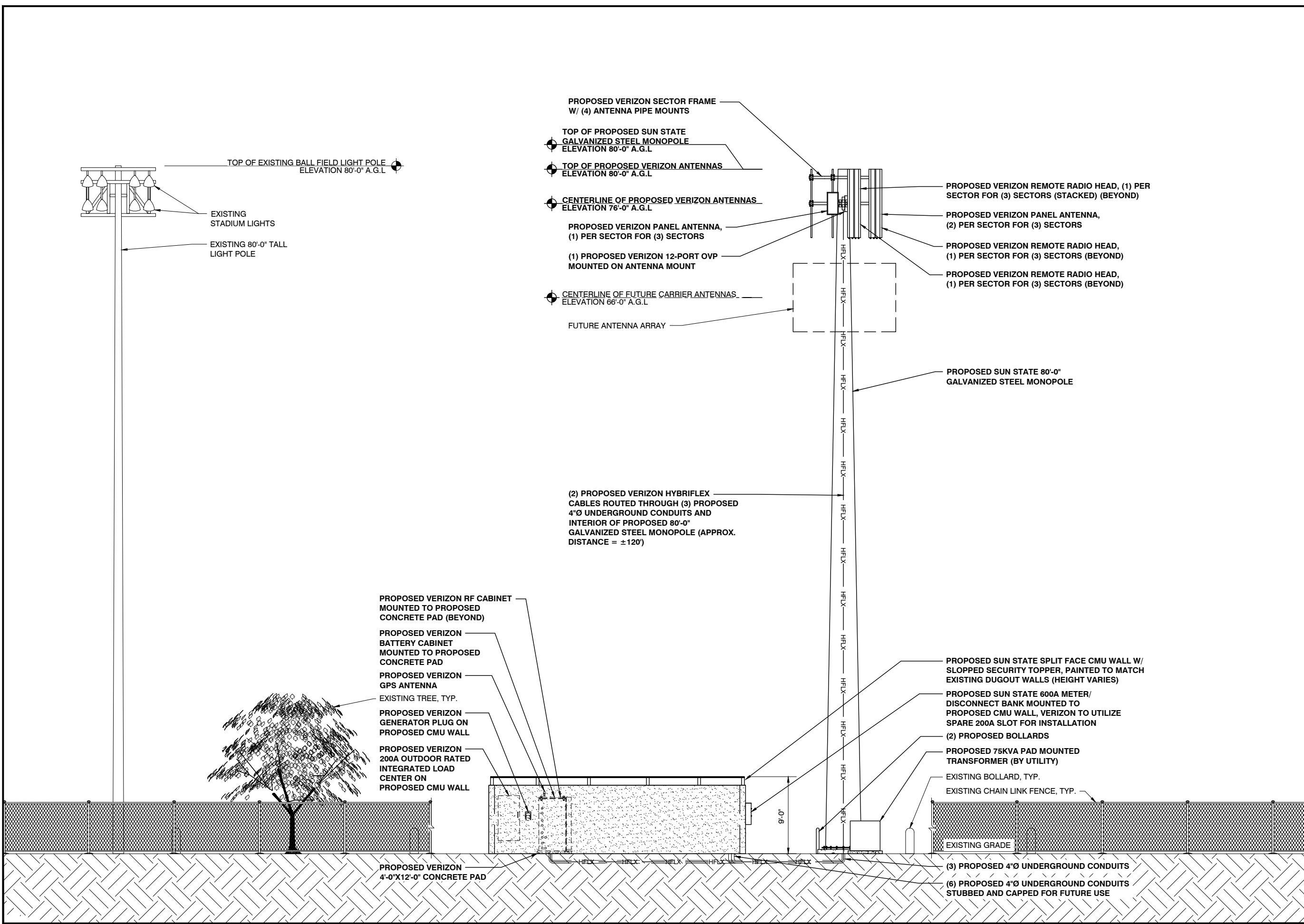
SHEET NUMBER
Z-6



PROPOSED SOUTH ELEVATION
 24"x36" SCALE: 3/16" = 1'-0"
 11"x17" SCALE: 3/32" = 1'-0"
1



PROPOSED NORTH ELEVATION
 24"x36" SCALE: 3/16" = 1'-0"
 11"x17" SCALE: 3/32" = 1'-0"
2



PROPOSED EAST ELEVATION

ATTACHMENT A

24"x36" SCALE: 3/16" = 1'-0"
 11"x17" SCALE: 3/32" = 1'-0"

PREPARED FOR

SUN STATE TOWERS
 1426 NORTH MARVIN STREET #101
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 PHONE: 480-664-9588 - FAX 480-664-9850

CARRIER

2600 W. GERONIMO PL., CHANDLER, AZ 85224
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A&E CONSULTING FIRM & SITE ACQUISITION

PINNACLE CONSULTING, INC.
 Site Acquisition | Engineering | Construction
 1426 NORTH MARVIN STREET # 101
 GILBERT, AZ 85233

PROJECT NO:	NM14-149 GRAND SLAM
DRAWN BY:	CS
CHECKED BY:	KF

REV	DATE	DESCRIPTION	BY
4	02/18/25	FINAL ZONING	CS
5	03/12/25	FINAL ZONING	CS

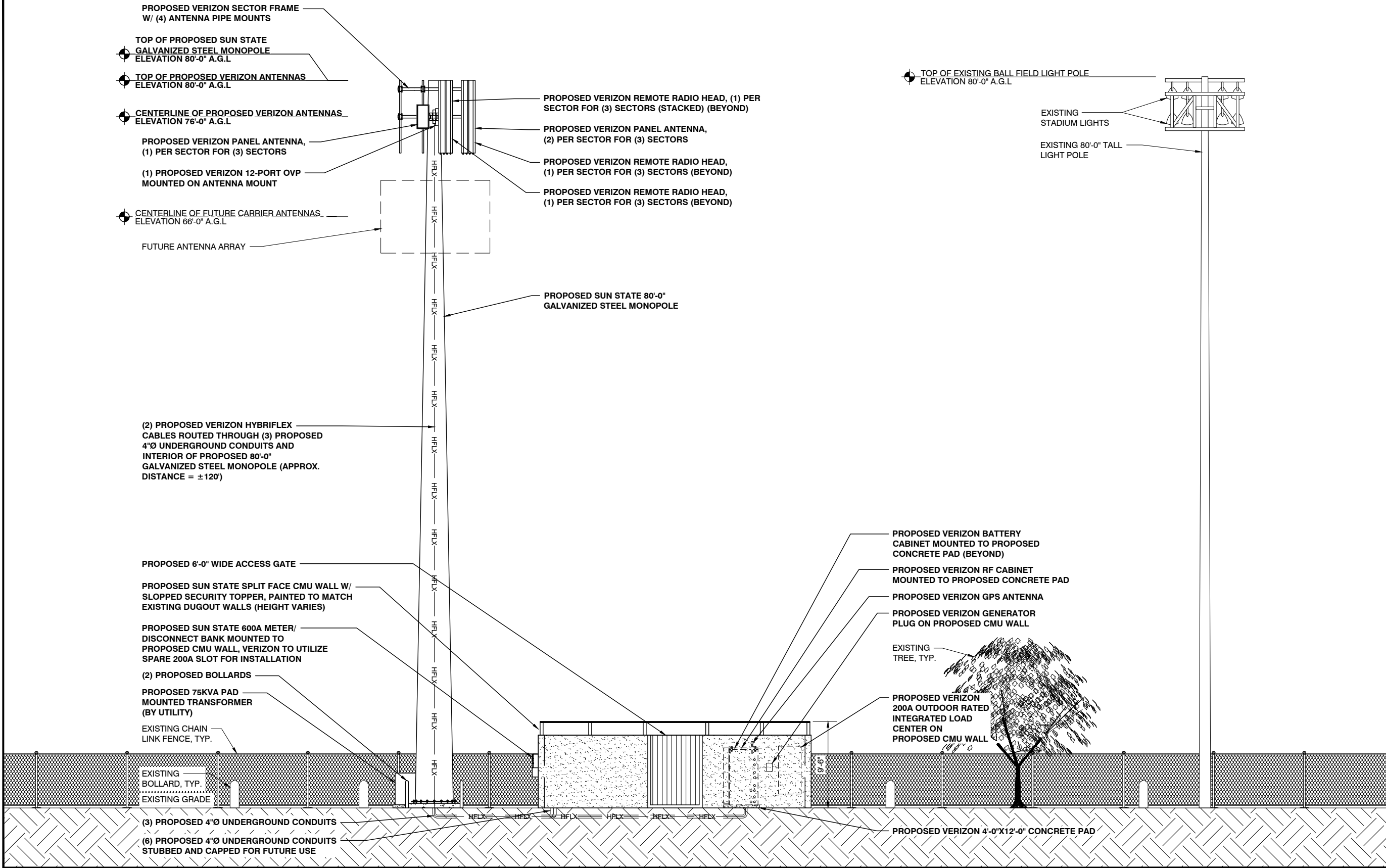
KYLE A. FORTIN
 NEW MEXICO
 25578
 3/13/25
 PROFESSIONAL ENGINEER

NM14-149 GRAND SLAM / NM4 OVERLOOK
 580 OVERLOOK RD.
 LOS ALAMOS, NM 87544
 LOS ALAMOS COUNTY

SHEET TITLE
ELEVATIONS

SHEET NUMBER
Z-7

REV	DATE	DESCRIPTION	BY
4	02/18/25	FINAL ZONING	CS
5	03/12/25	FINAL ZONING	CS



MASONRY NOTES:

MASONRY WALL GENERAL NOTES

CODE:
2021 NEW MEXICO COMMERCIAL BUILDING CODE

WIND:
104 MPH ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II)
EXPOSURE C

SEISMIC:
RISK CATEGORY II
SITE CLASS: C
SEISMIC DESIGN CATEGORY C
S_s = 0.495
S₁ = 0.161

GEOTECHNICAL:
FOUNDATION DESIGN IN ACCORDANCE WITH RECOMMENDATIONS PROVIDED IN GEOTECHNICAL REPORT NO. :2022130.36
BY GDP GROUP
DATED JANUARY 24, 2023
ALLOWABLE BEARING PRESSURE = 3000PSF
AT 2'-6" BELOW LOWEST ADJACENT FINISHED GRADE. REFER TO SOILS REPORT FOR ADDITIONAL INFORMATION.

CONCRETE:
CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 318. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS. VIBRATE REINFORCED CONCRETE DURING PLACEMENT.

DEFORMED REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. ALL REINFORCING SHALL BE SECURELY TIED TO PREVENT MOVEMENT WHILE PLACING CONCRETE. WELDING OF REINFORCING IS NOT ALLOWED. LAP REINFORCING 48 BAR DIAMETERS (30" FOR #5, 24" FOR #4). BEND REINFORCING OR PROVIDE CORNER BARS WHERE FOOTING CHANGES DIRECTION.

MINIMUM CONCRETE COVER FOR REINFORCING STEEL CAST IN CONCRETE (UNO):
CAST AGAINST EARTH: 3"
PERMANENTLY EXPOSED TO EARTH OR WEATHER: 1 1/2" (#5 AND SMALLER)
2" (#6 AND LARGER)

MASONRY:
CONCRETE MASONRY UNITS (CMU) SHALL CONFORM TO ASTM C90, LOAD BEARING WITH A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI (NET AREA).

MORTAR SHALL CONFORM TO ASTM C-270, TYPE S.

FILL ALL REINFORCED CELLS WITH 2000 PSI GROUT OR GROUT CONFORMING TO ASTM C476. MAXIMUM GROUT POUR IS 5'-4" WITHOUT CLEANOUTS. MECHANICALLY CONSOLIDATE GROUT AFTER PLACEMENT AND RECONSOLIDATE AFTER APPROXIMATELY 5 MINUTES. SOLID GROUT ALL CELLS BELOW FINISHED GRADE

PROVIDE MASONRY CONTROL JOINTS AT 24' O.C. MAXIMUM WITH A MINIMUM WALL SEGMENT LENGTH OF 8'.

DEFORMED BAR REINFORCING SHALL CONFORM TO ASTM A615, GRADE 60. LAP 48 BAR DIAMETERS (30" FOR #5, 24" FOR #4).

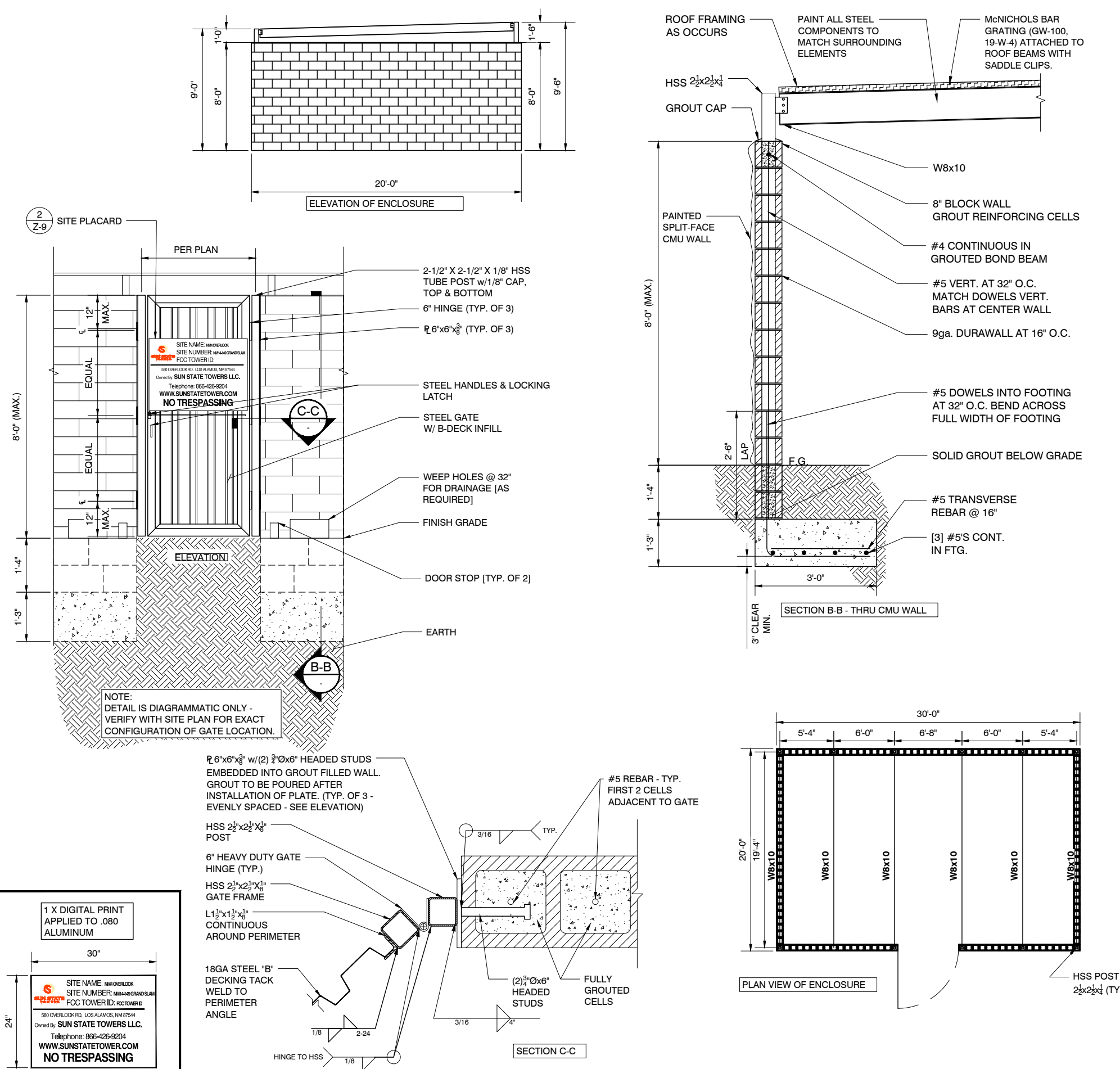
VERTICAL REINFORCING SHALL BE #5, CENTERED IN CELL AT SPACING NOTED ON DRAWING OR AT 48" O.C. MINIMUM. PROVIDE VERTICAL BARS AT ALL WALL ENDS, CORNERS, INTERSECTIONS AND EACH SIDE OF CONTROL JOINTS. ALL VERTICAL BARS SHALL BE DOWELED INTO CONCRETE FOOTING WITH A MINIMUM 30" PROJECTION ABOVE TOP OF FOOTING.

HORIZONTALLY REINFORCE WALLS WITH (1) #5 IN 8" DEEP SOLID GROUTED BOND BEAM AT TOP OF WALL. PROVIDE BENT CORNER BARS TO MATCH BOND BEAM REINFORCING AT ALL CORNERS. PROVIDE 9 GAUGE (W1.7) GALVANIZED LADDER TYPE HORIZONTAL JOINT REINFORCING CONFORMING TO ASTM A951 AT 16" O.C. VERTICALLY MAXIMUM.

SPECIAL INSPECTIONS:
SPECIAL INSPECTIONS REQUIRED PER IBC CHAPTER 17 FOR THE FOLLOWING ITEMS:

- CONCRETE:**
- PERIODIC INSPECTION TO VERIFY FOUNDATION SIZE AND REINFORCING SIZE & PLACEMENT

- MASONRY:**
- PERIODIC INSPECTION TO VERIFY CMU CONSTRUCTION AND REINFORCING SIZE & PLACEMENT
 - CONTINUOUS INSPECTION DURING PLACEMENT OF GROUT



PREPARED FOR
SUN STATE TOWERS
1426 NORTH MARVIN STREET #101
GILBERT, AZ 85233
PHONE: 480-664-9588 - FAX 480-664-9850

CARRIER
verizon
2600 W. GERONIMO PL., CHANDLER, AZ 85224
PHONE: (480) 777-4360
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A&E CONSULTING FIRM & SITE ACQUISITION
PINNACLE CONSULTING, INC
Site Acquisition | Engineering | Construction
1426 NORTH MARVIN STREET # 101
GILBERT, AZ 85233

PROJECT NO: NM14-149 GRAND SLAM
DRAWN BY: CS
CHECKED BY: KF

REV	DATE	DESCRIPTION	BY
4	02/18/25	FINAL ZONING	CS
5	03/12/25	FINAL ZONING	CS

KYLE A. FORTIN
NEW MEXICO
25578
3/13/25
PROFESSIONAL ENGINEER

NM14-149 GRAND SLAM / NM4 OVERLOOK
580 OVERLOOK RD.
LOS ALAMOS, NM 87544
LOS ALAMOS COUNTY

SHEET TITLE
COMPOUND ENCLOSURE DETAIL

SHEET NUMBER
Z-9

WIRELESS NETWORK CONSULTING



NM14-149 Grand Slam / Verizon NM4_OVERLOOK
Capacity Cell Split

ALTERNATIVE SITE & HEIGHT ANALYSIS

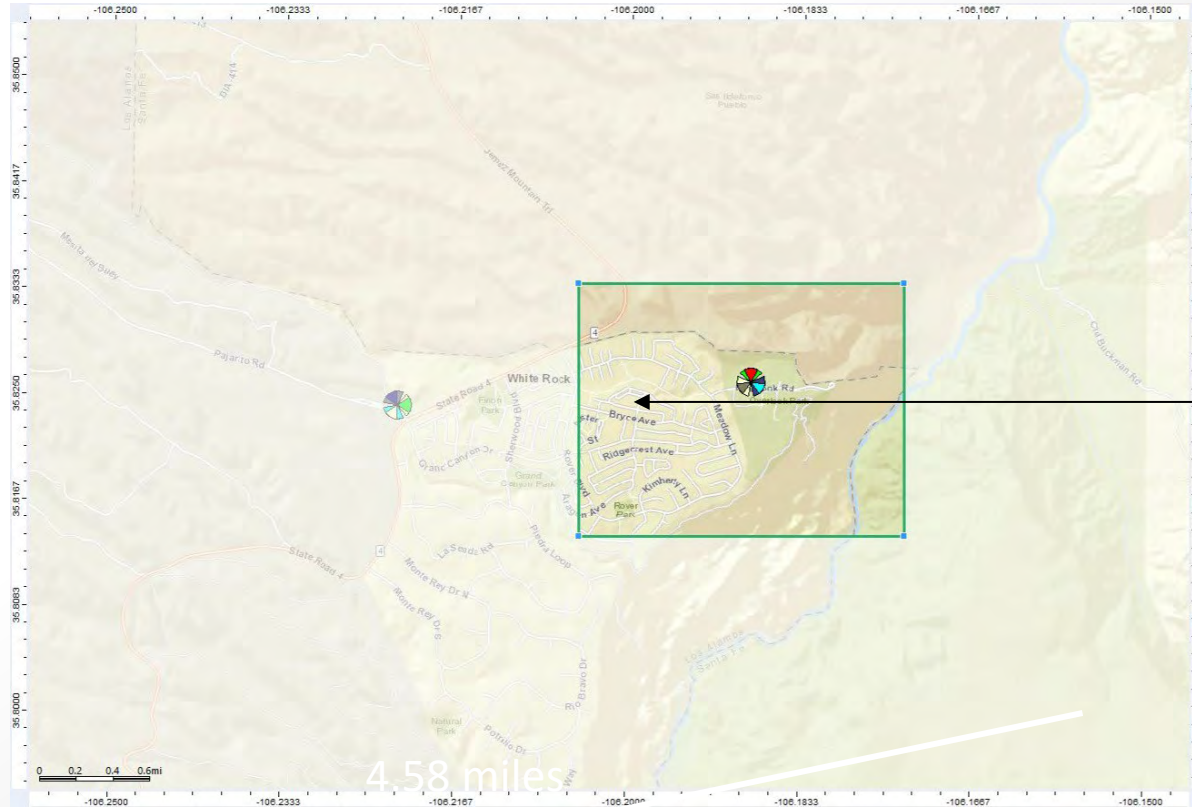
Alternate Site & Height Analysis

- † Pinnacle requested a review of alternate site locations and alternative heights
- † Existing structures within 1000' of proposed
- † Analysis of lower heights compared to the proposed height
- † The sites modeled are as follows:
- † Alt 1 - Approx 80' AGL Light Standard
 - 35.826512 Latitude
 - -106.188241 Longitude
- † The alternate site analysis will consider the available height on the towers

Proposed and Alternates



Focus Zone



Proposed Site

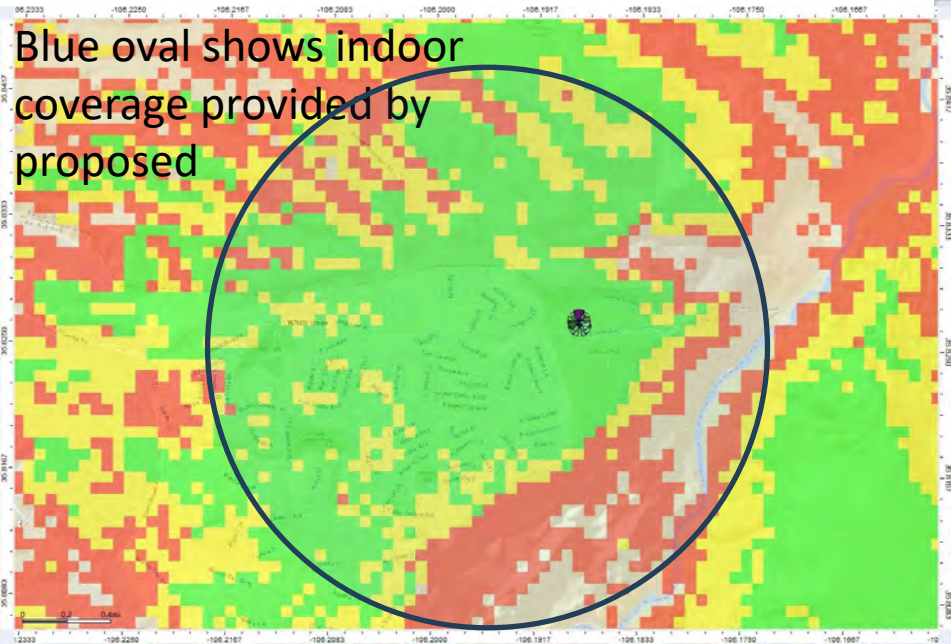
Focus Zone (Inside Green Line) is set up to analyze difference in coverage between the proposed and alternate sites requested by jurisdiction

ALTERNATIVE SITE

ATTACHMENT A

RSRP Coverage - Low Band Proposed vs Alternate 1

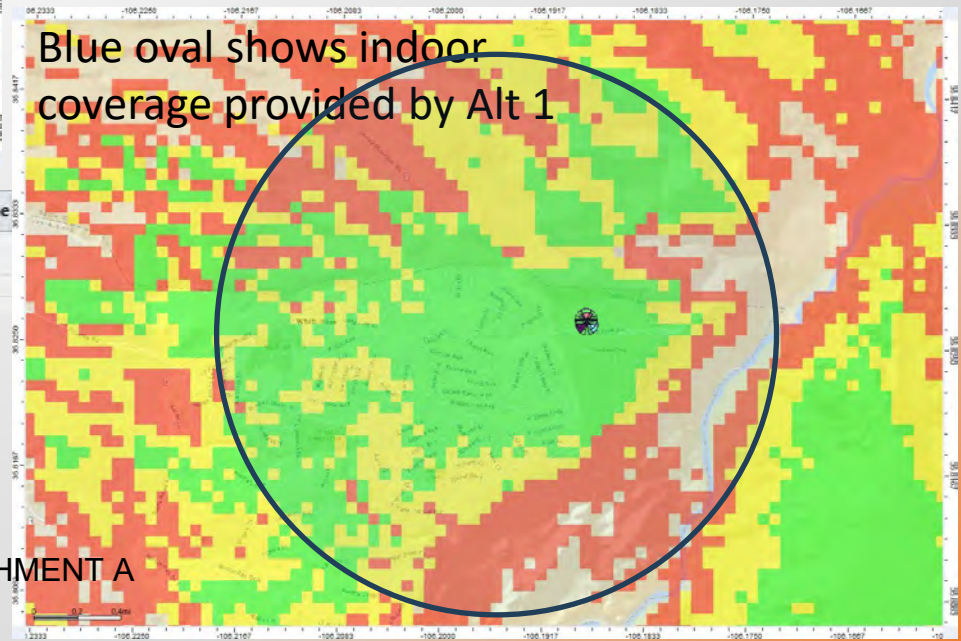
LEGEND	
	Indoor \geq -85 dbm
	In-Vehicle \geq -95 dbm
	On-Street \geq -106 dbm



Zone	Prediction	Legend	Zone Surface (km ²)	Surface (km ²)	% of Covered Area	% Focus Zone
Focus Zone	Low Band RSRP - 86'		8.722513	7.954493	100	91.2
		RSRP Level (DL) (dBm) \geq -85		5.264892	66.2	60.4
		RSRP Level (DL) (dBm) \geq -95		6.750896	84.9	77.4
		RSRP Level (DL) (dBm) \geq -106		7.954493	100	91.2

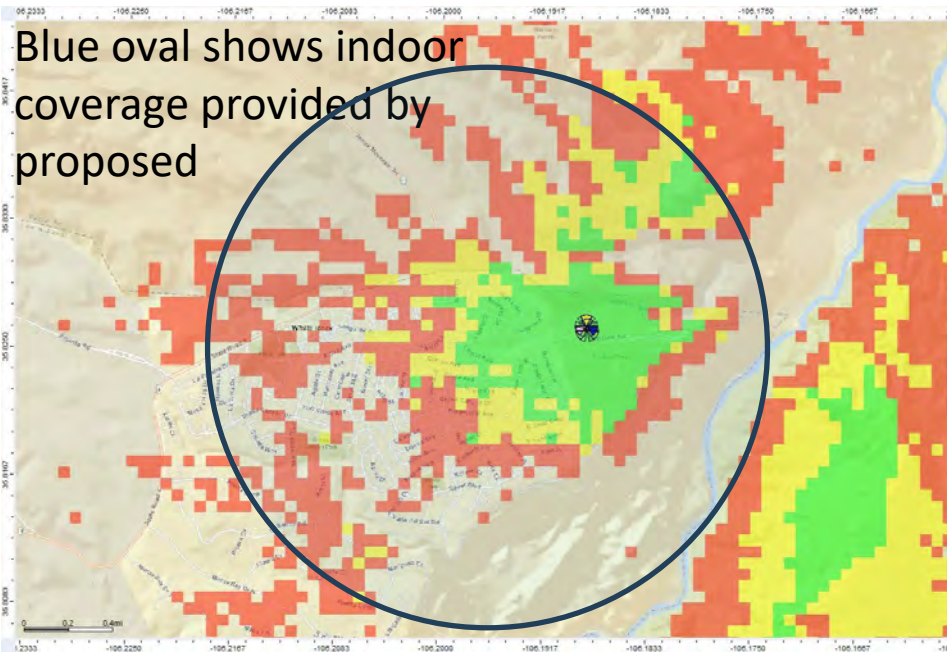
Above and left picture shows Proposed data showing 5.26 square kilometers are covered with indoor service vs Alt 1 tower data showing 4.49 square kilometers covered with indoor service. Approximately a 15% reduction in coverage for the objective.

Zone	Prediction	Legend	Zone Surface (km ²)	Surface (km ²)	% of Covered Area	% Focus Zone
Focus Zone	Low Band RSRP - 86'		8.722513	8.028457	100	92
		RSRP Level (DL) (dBm) \geq -85		4.491632	55.9	51.5
		RSRP Level (DL) (dBm) \geq -95		6.643312	82.7	76.2
		RSRP Level (DL) (dBm) \geq -106		8.028457	100	92



RSRP Coverage - Mid Band Proposed vs Alternate 1

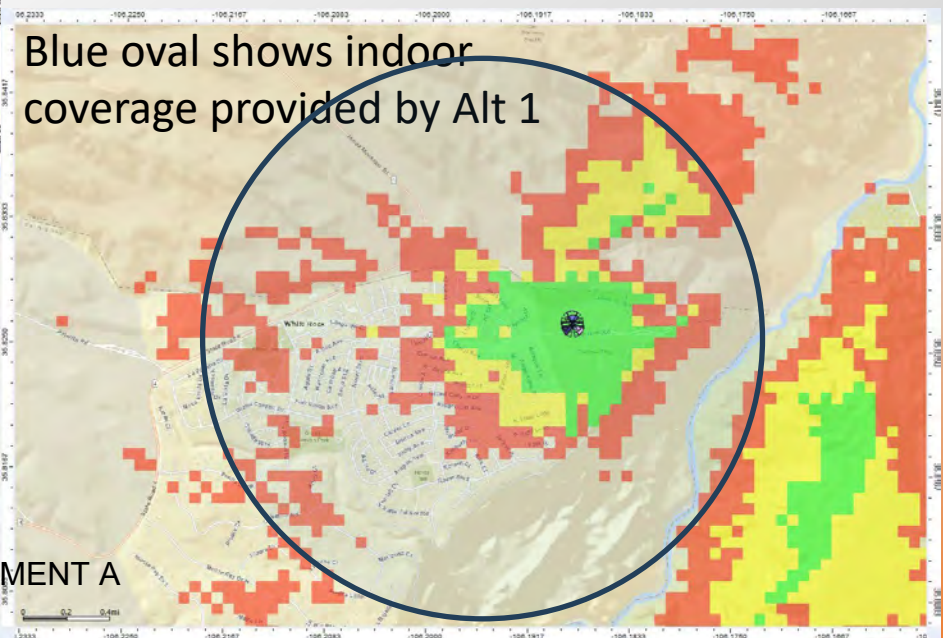
LEGEND	
	Indoor >= -85 dbm
	In-Vehicle >= -95 dbm
	On-Street >= -106 dbm



Zone	Prediction	Legend	Zone Surface (km ²)	Surface (km ²)	% of Covered Area	% Focus Zone
Focus Zone	Low Band RSRP - 86 ⁺		8.722513	3.980608	100	45.6
		RSRP Level (DL) (dBm) >= -85		1.04222	26.2	11.9
		RSRP Level (DL) (dBm) >= -95		1.660828	41.7	19
		RSRP Level (DL) (dBm) >= -106		3.980608	100	45.6

Zone	Prediction	Legend	Zone Surface (km ²)	Surface (km ²)	% of Covered Area	% Focus Zone
Focus Zone	Low Band RSRP - 86 ⁺		8.722513	4.895072	100	56.1
		RSRP Level (DL) (dBm) >= -85		1.385144	28.3	15.9
		RSRP Level (DL) (dBm) >= -95		2.313056	47.3	26.5
		RSRP Level (DL) (dBm) >= -106		4.895072	100	56.1

Above and left picture shows Proposed data showing **1.38** square kilometers are covered with indoor service vs T-Mobile tower data showing **1.04** square kilometers covered with indoor service. Approximately a **25%** reduction in coverage for the objective.



Analysis

- † Reviewing the modeling the alternate site do not provide the same level of service of the proposed
- † Locating the antennas on lower heights on the alternate site would provide less coverage than the proposed
- † The alternate sites were analyzed against the primary objective

ALTERNATIVE HEIGHT

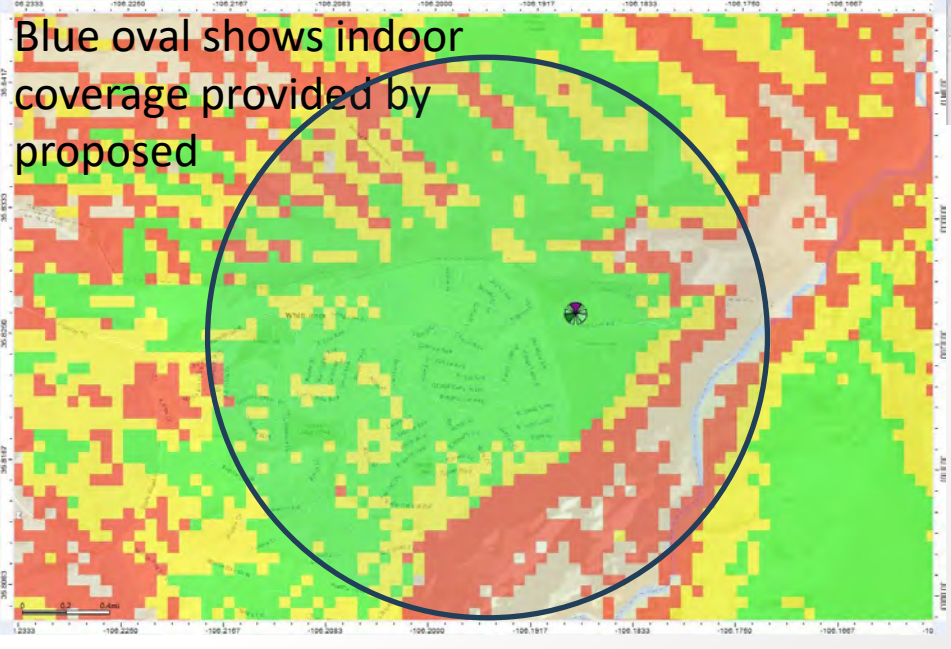
ATTACHMENT A

RSRP Coverage Low Band

76' vs 56' C/L

(tower height 80' vs 60' AGL)

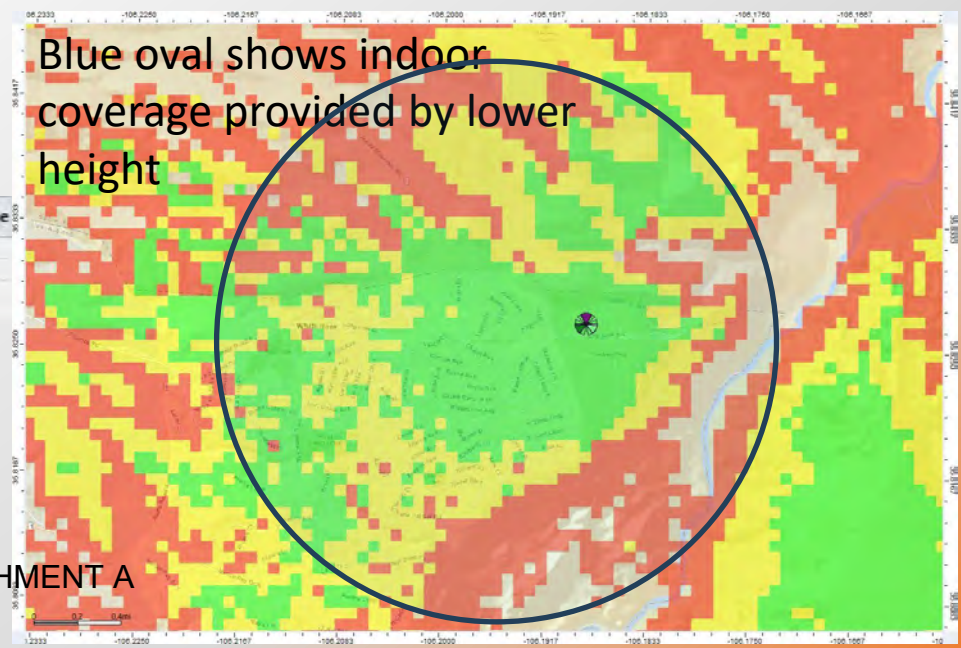
LEGEND	
	Indoor >= -85 dbm
	In-Vehicle >= -95 dbm
	On-Street >= -106 dbm



Zone	Prediction	Legend	Zone Surface (km ²)	Surface (km ²)	% of Covered Area	% Focus Zone
Focus Zone	Low Band RSRP - 86'		8.722513	8.102421	100	92.9
		RSRP Level (DL) (dBm) >= -85		3.980608	49.1	45.6
		RSRP Level (DL) (dBm) >= -95		6.542452	80.7	75
		RSRP Level (DL) (dBm) >= -106		8.102421	100	92.9

Zone	Prediction	Legend	Zone Surface (km ²)	Surface (km ²)	% of Covered Area	% Focus Zone
Focus Zone	Low Band RSRP - 86'		8.722513	7.954493	100	91.2
		RSRP Level (DL) (dBm) >= -85		5.264892	66.2	60.4
		RSRP Level (DL) (dBm) >= -95		6.750896	84.9	77.4
		RSRP Level (DL) (dBm) >= -106		7.954493	100	91.2

Above and left picture shows Proposed data showing 5.26 square kilometers are covered with indoor service vs lower height data showing 3.98 square kilometers covered with indoor service. Approximately a 25% reduction in coverage for the objective.



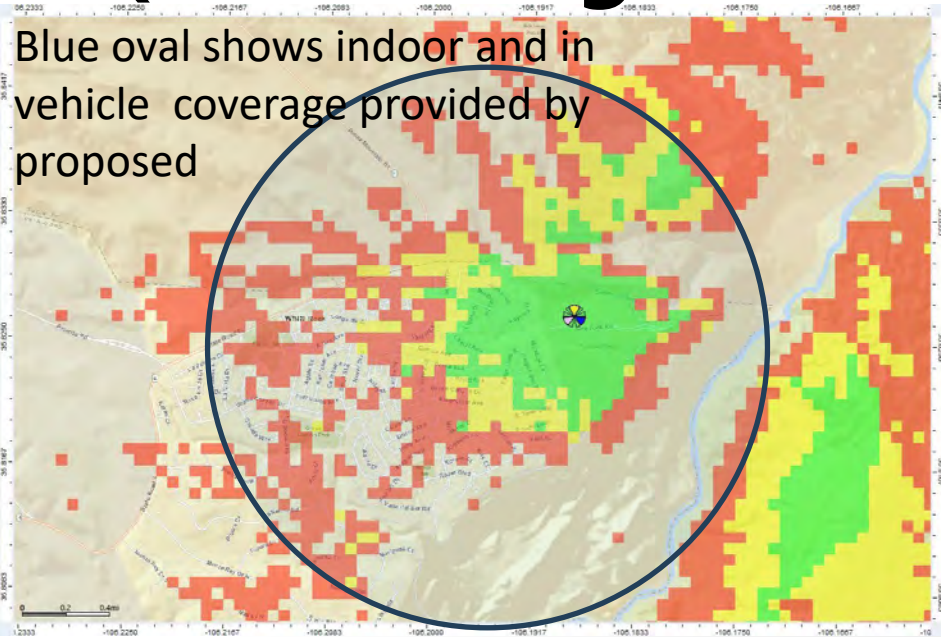
RSRP Coverage Mid Band

76' vs 56' C/L

(tower height 80' vs 60' AGL)

LEGEND	
	Indoor >= -85 dbm
	In-Vehicle >= -95 dbm
	On-Street >= -106 dbm

Blue oval shows indoor and in vehicle coverage provided by proposed

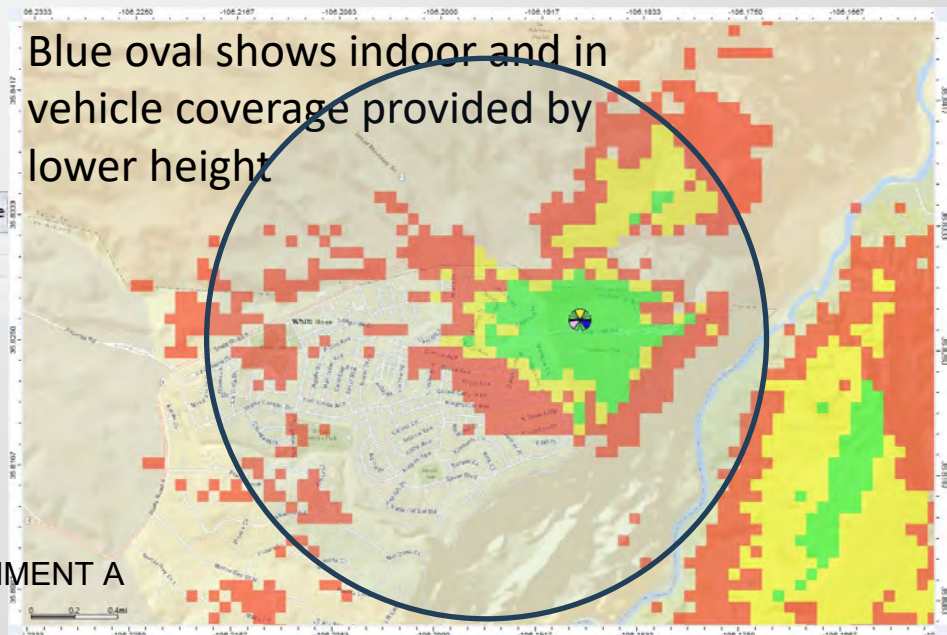


Zone	Prediction	Legend	Zone Surface (km ²)	Surface (km ²)	% of Covered Area	% Focus Zone
Focus Zone	Low Band RSRP - 86'		8.722513	4.895072	100	56.1
		RSRP Level (DL) (dBm) >= -85		1.385144	28.3	15.9
		RSRP Level (DL) (dBm) >= -95		2.313056	47.3	26.5
		RSRP Level (DL) (dBm) >= -106		4.895072	100	56.1

Above and left picture shows Proposed data showing 1.38 square kilometers are covered with indoor service vs lower height data showing .84 square kilometers covered with indoor service. Approximately a 40% reduction in coverage for the objective.

Blue oval shows indoor and in vehicle coverage provided by lower height

Zone	Prediction	Legend	Zone Surface (km ²)	Surface (km ²)	% of Covered Area	% Focus Zone
Focus Zone	Low Band RSRP - 86'		8.722513	3.49648	100	40.1
		RSRP Level (DL) (dBm) >= -85		0.8405	24	9.6
		RSRP Level (DL) (dBm) >= -95		1.37842	39.4	15.8
		RSRP Level (DL) (dBm) >= -106		3.49648	100	40.1



Analysis

- † Reviewing the lower height shows that coverage will be impacted as well as the ability to have colocations on the proposed
- † All (3) major carriers are lacking in quality service in the area, which means with the shorter height may mean more towers in the future
- † The lower heights were analyzed against the primary objective

Recommendation

- † Arbitrary height restrictions can cause decreases in coverage for tower sites
- † This impacts the number of towers in an area and what they provide coverage to
- † It increases the chances for more towers as the towers are not able to accommodate more than 1 carrier
- † Recommend approval of the proposed at the height requested for Verizon to provide high quality service to the area