

# APPLICATION INDEX

- 01 Application
- 02 Owner Authorization
- 03 Justification Letter
- 04 Plans

# 01 APPLICATION



## DEVELOPMENT APPLICATION

### PROJECT INFORMATION

Title:

Project Address:

Description:

Check all application types, if applicable:

- |  |   |
|--|---|
| <ul style="list-style-type: none"> <li><input type="checkbox"/> Administrative Deviation ... \$25</li> <li><input type="checkbox"/> Administrative Wireless Telecom ... \$250</li> <li><input type="checkbox"/> Encroachment Permit ... \$25</li> <li><input type="checkbox"/> Temporary Use Permit ... \$25</li> <li><input type="checkbox"/> Comprehensive Plan Adoption &amp; Amendment*... \$250</li> <li><input type="checkbox"/> Conditional Use Permit* ... \$300</li> <li><input type="checkbox"/> County Landmark or Historic District Adoption/Amendment* ... \$250</li> <li><input type="checkbox"/> Development Plan* ... \$500</li> <li><input type="checkbox"/> Major Development Plan Amendment* ... \$500</li> <li><input type="checkbox"/> Minor Development Plan Amendment ... \$250</li> <li><input type="checkbox"/> Summary Plat... \$100 plus \$25 lot; \$10 / acre for non-residential</li> <li><input type="checkbox"/> Sketch Plat, Subdivision*... \$250 plus<br/>\$175/lot (1-10 lots)<br/>\$125/lot (11-30 lots)<br/>\$75/lot (30+ lots)</li> <li><input type="checkbox"/> Preliminary Plat, Subdivision* ... \$250 plus<br/>\$175/lot (1-10 lots)<br/>\$125/lot (11-30 lots)<br/>\$75/lot (30+ lots)</li> <li><input type="checkbox"/> Final Plat, Subdivision* ... \$250 plus<br/>\$175/lot (1-10 lots)<br/>\$125/lot (11-30 lots)<br/>\$75/lot (30+ lots)</li> <li><input type="checkbox"/> Landscaping Plan ...\$500</li> <li><input type="checkbox"/> Lighting Plan ...\$500</li> </ul> | <ul style="list-style-type: none"> <li><input type="checkbox"/> Site Plan* ... \$500 plus<br/>\$75 per/Million \$ estimated construction cost</li> </ul> <p><b>Estimated Construction Cost:</b> _____</p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Major Site Plan Amendment* ... \$500</li> <li><input type="checkbox"/> Minor Site Plan Amendment ... \$250</li> <li><input type="checkbox"/> Major Zone Map Amendment* ... \$150<br/><i>No fee if initiated by County Council or County Manager</i></li> <li><input type="checkbox"/> Minor Zone Map Amendment* ... \$150<br/><i>No fee if initiated by County Council or County Manager</i></li> <li><input type="checkbox"/> Master Plans* (Major, Minor) ...\$250</li> <li><input type="checkbox"/> Text Amendment* ... \$150<br/><i>No fee if initiated by County Council or County Manager</i></li> <li><input type="checkbox"/> Variance ... \$250<br/><i>No fee if application is a part of a Site Plan review</i></li> <li><input type="checkbox"/> Administrative Wireless Telecommunication Facility ... \$250</li> <li><input type="checkbox"/> Discretionary Wireless Telecommunication Facility* ... \$500</li> <li><input type="checkbox"/> Small Wireless Facility ...\$250</li> <li><input type="checkbox"/> Major Historic Demolition* ... \$250</li> <li><input type="checkbox"/> Major Historic Property Alteration Certification* ... \$250</li> <li><input type="checkbox"/> Minor Historic Property Alteration Certificate ... \$250</li> </ul> |
|--|---|

**\* Application reviews require a pre-application meeting.**

**PROPERTY & OWNER INFORMATION**

Property

Address: \_\_\_\_\_  
Address City State ZIP

Zoning District:

Lot Size - Acres / Sq. Ft.:

Existing Structure(s) Sq. Ft.:

Lot Coverage: %

Property Owner(s) Name:

Owner(s) Email:

Owner(s) Phone(s)#:

 Owner's Address same as Property Address

Owner(s)

Address: \_\_\_\_\_  
Address City State ZIP**APPLICANT / OWNER'S AGENT INFORMATION** Applicant is same as Owner

Applicant Name:

Applicant

Address: \_\_\_\_\_  
Address City State ZIP

Applicant Email:

Applicant Phone(s)#:

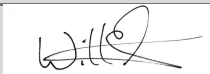
**ASSOCIATED APPLICATONS**

Application Type:

Case Number:

*I hereby certify and affirm, under penalty of perjury, that the information I have provide in this application is true and accurate to the best of my knowledge, information, and belief. [NMSA 1978, §30-25-1]*

Signature:



Date:

**STAFF USE ONLY**

Date Received:

Staff:

Case No.#:

Meeting Date:

**SUBMITTALS** Proof of Ownership or

Letter of Authorization from Owner

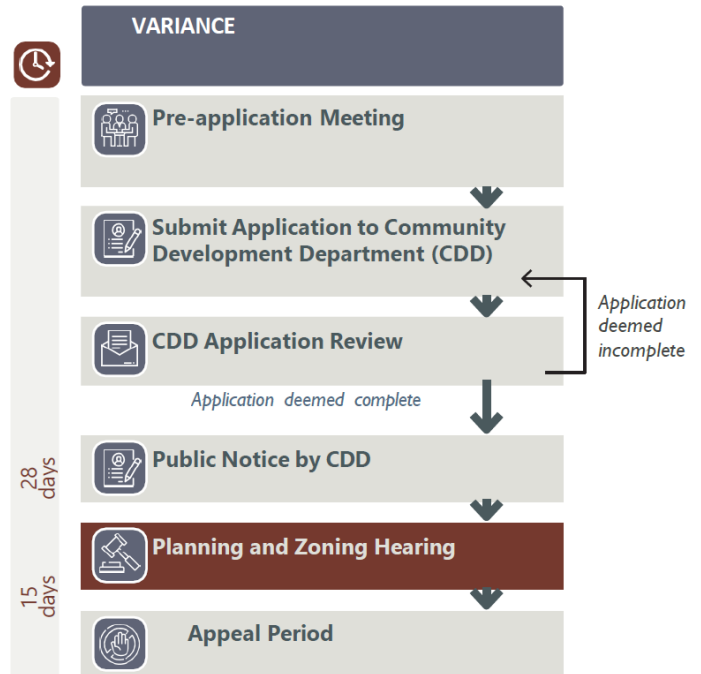
 Items from associated Application Checklist Complete Application - Date: \_\_\_\_\_ Payment - Accepted upon verification of a complete application - Date: \_\_\_\_\_



## VARIANCE CHECKLIST

Applicants for all development application reviews must complete this checklist and submit it with the Development Application. Refer to the referenced code sections for additional information. Contact the Planning Division with questions regarding these requirements: [planning@lacnm.us](mailto:planning@lacnm.us).

<b>PRE-APPLICATION MEETING</b>
Date Held:
<b>SITE PLAN</b>
Scaled site plan at a minimum of 1" = 100' that illustrates the following:
<input type="checkbox"/> Graphic Scale and North Arrow <input type="checkbox"/> Property Lines according to recorded survey <input type="checkbox"/> Existing and proposed structures <input type="checkbox"/> Existing and proposed easements <input type="checkbox"/> Existing and proposed setbacks <input type="checkbox"/> Existing and proposed utility lines
<b>ELEVATIONS</b>
Elevation drawing(s) at a minimum scale of 1/8" = 1' that indicates:
<input type="checkbox"/> Height (above existing grade) of all four sides
<b>LOT COVERAGE</b>
Existing (%):
Proposed (%):
<b>ADDITIONAL SUBMITTALS</b>
Based on staff's review and Interdepartmental Review Committee's recommendation – additional submittals may be required and will be communicated to the applicant by the assigned Case Manager.



See Reverse.

**DECISION CRITERIA 16-74-(g)(3)**

a. The variance will not be contrary to the public safety, health, or welfare. Explain.

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- Staff finds that this criterion has been met*
- Staff finds that this criterion has not been met - more information is needed*

b. The variance request will not undermine the intent of the Development Code, the applicable zone district, other County adopted policies or plans, or violate the Building Code. Explain.

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- Staff finds that this criterion has been met*
- Staff finds that this criterion has not been met - more information is needed*

c. Granting of the variance will not cause an intrusion into any utility or other easements unless approved by the owner of the easement. Explain.

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- Staff finds that this criterion has been met*
- Staff finds that this criterion has not been met - more information is needed*

**DECISION CRITERIA 16-74-(g)(3)**

d. The variance request is caused by an unusual physical characteristic or hardship inherent in the lot or lot improvements and that the peculiarity or hardship is not self-imposed. Explain.

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- Staff finds that this criterion has been met*
- Staff finds that this criterion has not been met - more information is needed*

e. The variance will not create any significant adverse impacts on properties within the vicinity. Explain.

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- Staff finds that this criterion has been met*
- Staff finds that this criterion has not been met - more information is needed*

f. Granting of the approved variance is the minimum necessary easing of the Code requirements making possible the reasonable use of the land, structure, or building. Explain.

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- Staff finds that this criterion has been met*
- Staff finds that this criterion has not been met - more information is needed*

**Attach additional sheets, if needed.**

# **02** OWNER AUTHORIZATION

October 31, 2024

Desirae Lujan  
Senior Planner  
Los Alamos County Community Development  
1000 Central Ave Suite 150  
Los Alamos, NM 87544

Re: **UC Guest House Application Submittal – Authorization Letter**  
400 Trinity  
Los Alamos, New Mexico 87544

Dear Desirae Lujan,

The purpose of this letter is to authorize Dekker to act as our Agent on the submittal to the County for Site Plan approval for UC Guest House in Los Alamos, NM. If you have any questions or need clarification of anything contained herein, please contact me via email at [tsharp@oceanrockcp.com](mailto:tsharp@oceanrockcp.com) or by phone at 310.854.2771.

Sincerely,



D. Tucker Sharp  
Managing Member  
Grand Mesa Partners 400 Trinity  
Drive Hilltop Owners LLC

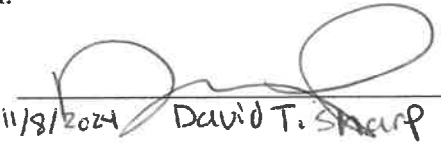
Case No. \_\_\_\_\_

**OWNER AFFIDAVIT**

*(Authorizing an agent to act on behalf of a property owner when making a land development application.)*

**STATE OF NEW MEXICO** )  
 ) **ss.**  
**COUNTY OF LOS ALAMOS** )

I, (We) Grand Mesa Partners 400 Trinity Drive Hilltop Owners LLC being duly sworn, depose and say that *(I am) (we are)* the owner(s) of property located at 400 Trinity Drive, Los Alamos New Mexico, legally described as see attached legal description of property, for which *(I am) (we are)* requesting a site plan approval (*conditional use permits; sketch, preliminary and final plats; site plan; variance; zone change; subdivision; summary plat; temporary use permit; telecommunication facility; historic property; or development plans*) through the County of Los Alamos, New Mexico. Furthermore, *(I) (we)* hereby appoint Rebecca Shank and Will Gleason of Dekker as our agent to act on our behalf in all matters pertaining to this application.

Signed:   
Address: 23823 Malibu Rd. Suite 343  
Malibu CA, 90265  
Telephone: 310.854.2771

Signed: \_\_\_\_\_  
Address: \_\_\_\_\_  
Telephone: \_\_\_\_\_

***Subscribed and sworn to before me this***

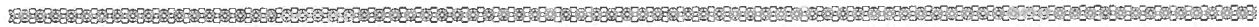
8<sup>th</sup> day of November, 2024.

Please see attached  
***Notary Public***

***My Commission Expires:*** \_\_\_\_\_

**CALIFORNIA JURAT**

**GOVERNMENT CODE § 8202**



A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

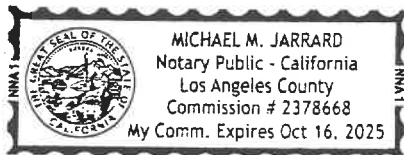
Subscribed and sworn to (or affirmed) before me on this 8th day of November, 2024, by  
*Date Month Year*

(1) David T. Sharp

(and (2) \_\_\_\_\_),  
*Name(s) of Signer(s)*

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

Signature   
*Signature of Notary Public*



Place Notary Seal and/or Stamp Above

**OPTIONAL**

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

**Description of Attached Document**

Title or Type of Document: Owner Affidavit

Document Date: November 8th, 2024 Number of Pages: \_\_\_\_\_

Signer(s) Other Than Named Above: \_\_\_\_\_



**LEGAL DESCRIPTION OF PROPERTY**

Street Address: 400 Trinity Drive, Los Alamos, New Mexico 87544

Legal Description:

Consolidated Tract S, Eastern Area 2, as shown on plat entitled "#400 Trinity Drive Boundary and Class A ALTA/ ACSM Land Title Survey Prepared for the Hilltop House, LLC...", recorded on September 23, 2005, in Book 131, page 810, as Document No. 185925.



# 03 JUSTIFICATION LETTER

January 29, 2025

To: Desirae Lujan, Community Development Senior Planner  
Los Alamos County Community Development Department  
1000 Central Ave Suite 150  
Los Alamos, NM 87544

Re: ***The Guest House Hotel - Variance Request***  
400 Trinity Rd, Los Alamos, NM 87544

Dear Ms. Lujan,

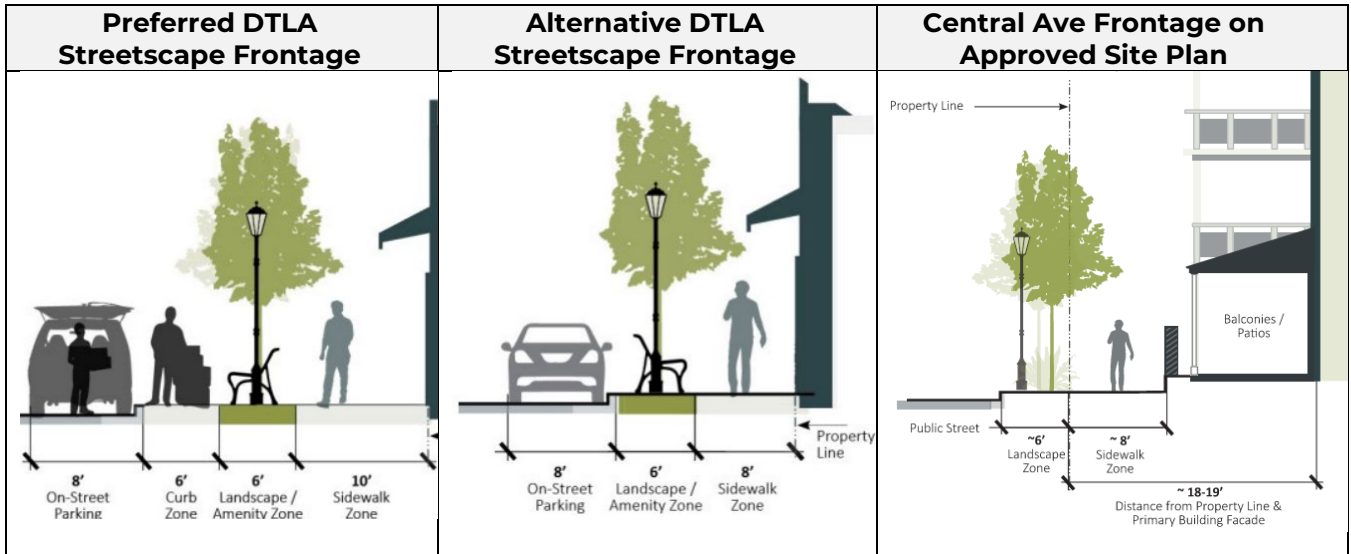
Dekker, as the agent for the owners of 400 Trinity Drive in Los Alamos, is requesting a Variance and an Administrative Site Plan Amendment to alter the streetscape configuration of the DTLA district along Central Avenue to facilitate the development of The Guest House Hotel at 400 Trinity Road.

The Guest House Hotel serves as a welcoming gateway to the Los Alamos Downtown district, located on an approximate 1.8-acre lot at the juncture of Central Avenue and Trinity Drive. This thoughtfully designed three-story, 60-unit hotel -offering short and extended stay options – transforms a blighted parcel at the forefront of downtown Los Alamos into a vibrant space. By revitalizing this key location, the project creates a welcoming sense of arrival for visitors, professionals, and residents alike.

The Guest House Hotel will showcase the unique aesthetic of northern New Mexico, with a design that complements the character of Los Alamos. The Guest House is tailored to meet a diverse array of visitors' needs with private suite with kitchenettes to shared kitchenettes, a guest amenity including a 3<sup>rd</sup> floor terrace with scenic views, bocce ball court, fire pit, and inviting outdoor seating and gathering areas fostering the essence of community and relaxation. A conference space just under 1,000 square feet located on the first floor is available for booking to the public and residents. The conference space is an ideal venue for local events and gatherings, enhancing its role in the community. As a new destination for short and long-term stay visitors, The Guest House Hotel aims to create a vibrant sense of arrival into downtown Los Alamos.

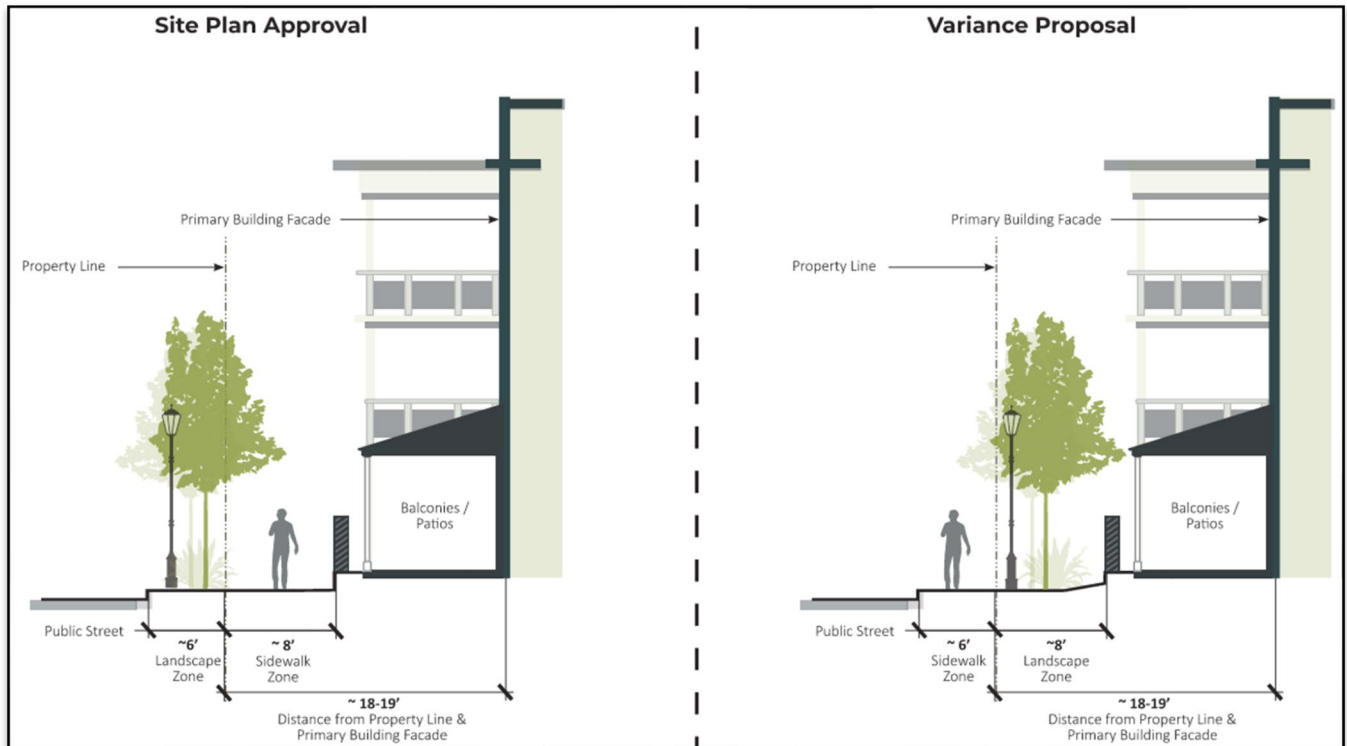
The subject site is located within the Downtown Los Alamos (DTLA) Zone District. The DTLA zone district lays out a variety of district development standards including streetscape standards. Streetscape frontage design standards of §16-6(c)(3) of the County's Development Code call, to the greatest extent feasible, for conditions to mimic the layout further west along Central Avenue with on-street parking, a curb zone directly adjacent to the back of curb, landscape / amenity zone, and a sidewalk zone directly adjacent to the property line that is intended to interact with adjacent commercial frontage. The Site Plan for The Guest House Hotel, approved by the Planning and Zoning Commission on January 8, 2025, contains a condition similar to the alternative DTLA Streetscape Frontage featuring a 6-foot landscape strip along Central Avenue and an 8-foot sidewalk within the property line adjacent to the building facades, depicted in Figure 1 of this letter.

Figure 1 DTLA Street Frontage



The applicant is seeking a variance to the streetscape design requirements of the DTLA zone district; we propose to flip the landscape and sidewalk, with a 6-foot sidewalk adjacent to the curb and an 8-foot landscape zone adjacent to the hotel patios walls, as illustrated below in Figure 2.

Figure 2 Variance Proposed Central Ave Frontage



The requested variance is needed to accommodate several site constraints, including the property's small lot size, irregular shape, and corner location at the intersection of Central Avenue and Trinity Drive near the roundabout, and guest privacy concerns. The requested variance would also help align this segment of Central Avenue streetscape with the sidewalk improvements directly east of the site that are associated with the roundabout.

The site's unique characteristics and position at a busy intersection limit the flexibility needed to comply with DTLA streetscape frontage design standards along Central Avenue. As a corner lot at the intersection of two major roads, adjacent to a roundabout, the property faces spatial constraints that challenge adherence to required streetscape elements. Specifically, the limited lot depth and width prevent the incorporation of necessary building setbacks, grade changes, , and other streetscape features while maintaining functional site circulation, emergency access, and guest privacy.

Adding to the complexity, there is an approximately 4-foot grade change between the northeastern property line and the building's main frontage. This elevation difference requires a retaining wall for a portion of the northern property line between the Site Plan approved sidewalk and the building, which conflicts with the prescribed DTLA streetscape design. Combined with the site's size, irregular shape, and proximity to the roundabout, these factors make full compliance with the streetscape frontage requirements along Central Avenue unachievable.

If implemented as prescribed by the DTLA zone district, the streetscape design would position the sidewalk directly adjacent to ground-level patios, creating privacy concerns for hotel guests. While the DTLA district's streetscape frontage Central Avenue design standards seek to extend the design eastward, the proposed hotel serves a fundamentally different purpose than the ground-floor retail spaces west of 15th Street, which the standards were designed to support. Those retail spaces are intentionally positioned to abut the street and promote pedestrian interaction and activation. In contrast, the hotel requires greater separation to provide guests with the privacy and residential-like atmosphere essential to its use.

Despite these challenges, the requested variance upholds the intent of the DTLA zoning district standards by prioritizing a functional and inviting pedestrian environment while accommodating the unique requirements of the site constraints. The following outlines how the proposal aligns with the decision criteria for variances as defined in Los Alamos County Code of Ordinances §16-74-(g)(3).

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**a. The variance will not be contrary to the public safety, health, or welfare.**

**Applicant Response:** *The proposed development does not compromise public safety, health, or welfare. The adjustments to the street frontage design maintain a safe and accessible pedestrian environment while accommodating the unique needs of The Guest House Hotel. The revised design preserves clear and unobstructed pedestrian pathways and ensures emergency access to and from the property. Additionally, the new design eliminates the need for a harsh line of a retaining wall, allowing a sloped grade with aesthetically pleasing landscaping. The revised landscaping improvements within the landscape buffer zone adjacent to the sidewalk will further enhance the area by creating a more pleasant and shaded condition than currently exists, contributing to a more comfortable and welcoming pedestrian experience. Moreover, by addressing privacy concerns for hotel guests, the variance enhances the overall well-being of residents and visitors without introducing risks or hazards to the public realm. These adjustments strike a balance between maintaining pedestrian functionality and meeting the operational needs of a hospitality-focused development, ensuring that both safety and aesthetic improvements are prioritized.*

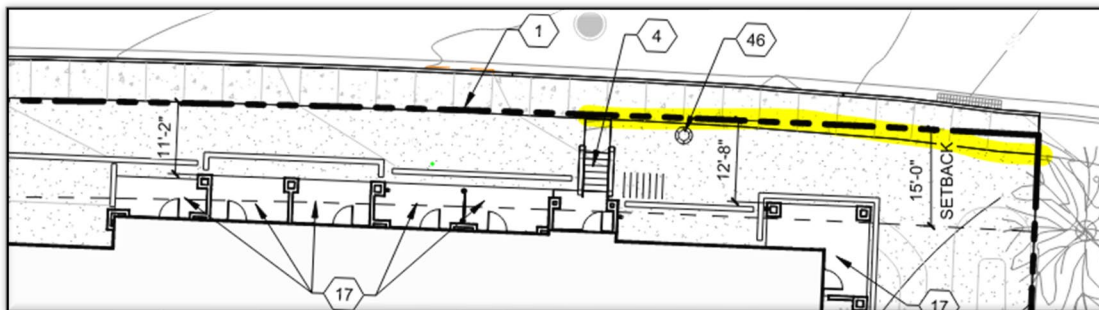
**b. The variance request will not undermine the intent of the Development Code, the applicable zone district, other County adopted policies or plans, or violate the Building Code.**

**Applicant Response:** *The variance request will not undermine the intent of the Development Code, the DTLA zone district, or other County adopted policies or plans, and does not violate the Building Code. The DTLA district streetscape requirements are designed to create a pedestrian-oriented experience that enhances the urban environment. The proposed development, while incorporating adjustments, continues to meet the primary intent of these streetscape standards by maintaining a functional and inviting pedestrian realm. The requested variance accommodates the unique constraints of the site, including its proximity to the roundabout, which limits the ability to fully comply with the street frontage requirements. Despite these challenges, the variance ensures that the streetscape will still provide a safe, accessible, and pleasant environment for pedestrians, aligning with the overarching goal of the DTLA district to create vibrant, walkable, urban spaces. Furthermore, the proposed landscaping buffer adjacent to the sidewalk will enhance the pedestrian experience by providing shaded areas and a visually appealing environment, thus continuing to support the intent of the streetscape standards. Additionally, the project complies with the County Public Works Design and Construction Standards Code §3.9, which requires 6-foot-wide sidewalks, ensuring that the proposal adheres to the required sidewalk width while accommodating the necessary design adjustments. This approach strikes a balance between the regulatory standards and the unique circumstances of the site, ensuring that public safety, comfort, and aesthetic quality are preserved.*

**c. Granting of the variance will not cause an intrusion into any utility or other easements unless approved by the owner of the easement.**

**Applicant Response:** *Granting of the variance will not cause an intrusion into any utility or other easements. The approved Site Plan required a Condition of Approval that any portions of the sidewalk located on private property be dedicated to the County. The proposed variance, which moves the sidewalk closer to the street, significantly reduces the need for a County dedication or easement. The only exception is a small portion on the northeastern side of the sidewalk, where the property line intersects with newly constructed curb and sidewalk built as part of the roundabout project. For this small area, the property owner would establish an easement, ensuring compliance with all relevant easement and utility regulations. This adjustment has been carefully designed to avoid any adverse impacts on existing easements, and no encroachment into utility or other easement areas will occur without the necessary approvals from the easement owner. The proposed changes ensure that utility access, pedestrian flow, and public infrastructure will remain unaffected, while also complying with all necessary easement requirements. Please see the graphic below of Figure 3 for a detailed view of the location.*

Figure 2 Variance Proposed Central Ave Frontage



**d. The variance request is caused by an unusual physical characteristic or hardship inherent in the lot or lot improvements and that the peculiarity or hardship is not self-imposed.**

**Applicant Response:** *The variance request arises from the unique challenges posed by the subject parcel's small size, irregular shape, location near a roundabout and significant grade changes, which create inherent difficulties in meeting the strict requirements of the DTLA zone district. The property is only 1.8 acres, which places limitations on how the site can be developed while meeting the full range of zoning requirements, including sidewalk, landscaping, and parking standards. The property's location at the inter§ of Central Avenue and Trinity Drive further exacerbates these constraints, as its corner placement creates additional spatial challenges that limit design flexibility.*

*Additionally, the site is impacted by grade changes that complicate the placement of infrastructure such as sidewalks and landscaping that meet typical streetscape standards, which do not account for parcels with varying grade levels. The combination of a small parcel size, irregular shape, and challenging topography leaves little room for flexibility in meeting the required setbacks and streetscape frontage conditions without compromising the functionality of the site or the quality of the development.*

*The property is further constrained when landscape coverage and parking requirements are factored in, while also providing guests with on-site amenities to the maximum extent feasible, as described in §16-6(c)(3)(b), Site Design. The requested variance ensures that these operational needs are met without compromising the intent of the Development Code or the overall quality of the urban environment. The hardship is not self-imposed but is rather a consequence of the site's unique configuration and location within the DTLA zone.*

**e. The variance will not create any significant adverse impacts on properties within the vicinity.**

**Applicant Response:** *The variance will not create any significant adverse impacts on properties within the vicinity. The proposed alignment makes a better connection of the streetscape to the east associated with the roundabout improvements. The proposed streetscape will also transition on the west side to coordinate with proposed streetscape improvements on the approved Mari Mac site. There are no anticipated adverse effects on pedestrian safety, property access, or the overall functionality of the surrounding area. Additionally, the variance aligns with the broader goals of the area's development framework, ensuring harmony with adjacent properties.*

**f. Granting of the approved variance is the minimum necessary easing of the Code requirements making possible the reasonable use of the land, structure, or building.**

**Applicant Response:** *Granting the requested variance is the minimum necessary adjustment to ease the Development Code requirements and allow for the reasonable use of the land, structure, or building. Specifically, the variance would address the owner's constraints tied to the Site Plan Condition of Approval, which currently requires a sidewalk dedication prior to obtaining a building permit. Eliminating this requirement will streamline the construction timeline for The Guest House Hotel, enabling the project to move forward efficiently.*

*The variance is a necessary tool to address the unique challenges of this smaller corner lot which is oddly shaped and in close proximity to the roundabout between Central Avenue and Trinity Drive. Despite these constraints, the project has been designed to meet the DTLA zone district standards to the greatest extent feasible. Additionally, as a corner lot infill development with two access points, the property requires thoughtful design solutions to balance functionality with the*

*goal of creating a welcoming gateway feature for downtown Los Alamos. This variance provides the flexibility needed to achieve those objectives while adhering to the broader intent of the Development Code.*

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Based upon the rationale presented in this letter, we respectfully request approval of this variance request for The Guest House Hotel and subsequent Site Plan Administrative Amendment to vary the streetscape frontage design along Central Avenue. As stated above, this request is necessary due to the hardships ownership faces due to small site size, multiple access points, topography, and location constraints. Upon completion, we feel that this project will contribute to the successful growth of Los Alamos County and further the goals stated in the Comprehensive Plan and the DTLA Master Plan. If you have any questions or need clarification of anything contained herein, please contact me at (505)761-9700 or willg@dekkerdesign.org.

Sincerely,

A handwritten signature in black ink, appearing to read 'Will', with a stylized flourish extending to the right.

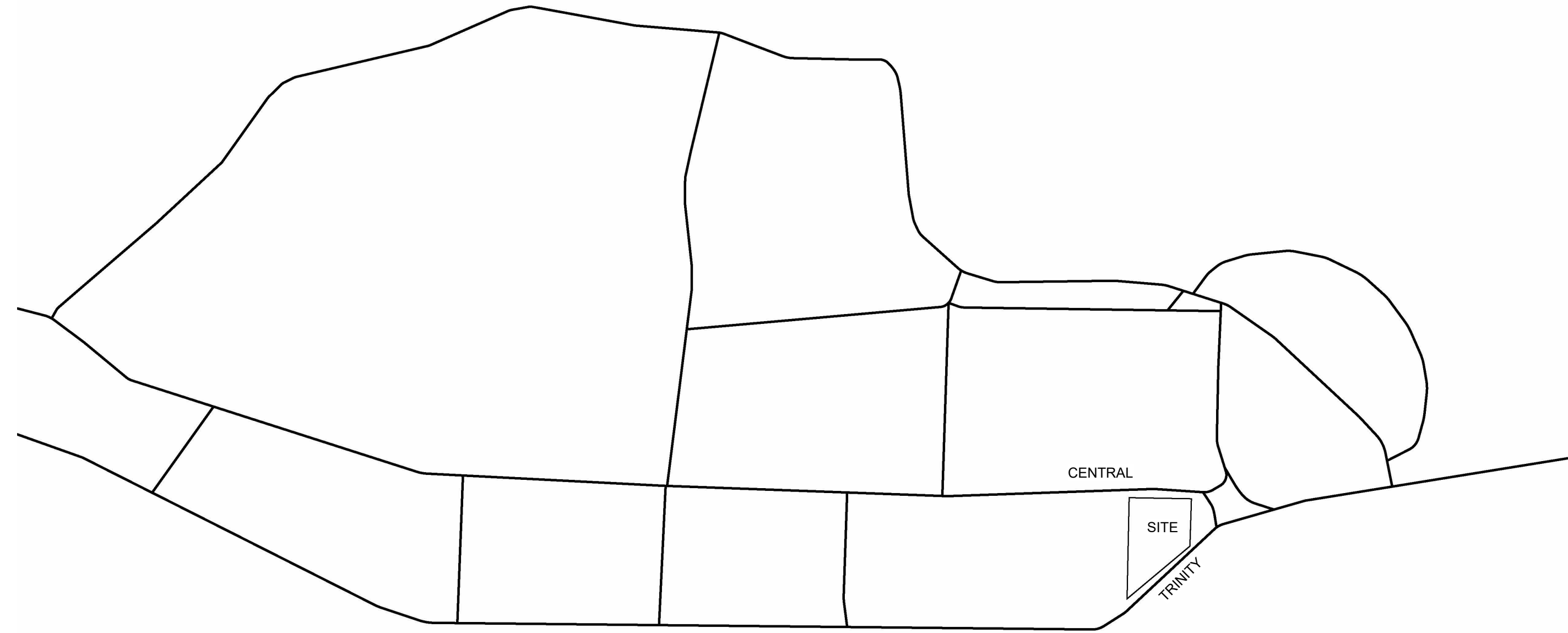
William Gleason, AICP, LEED AP

**Principal, Dekker**

Agent for Ocean Rock Capital Partners and Grand Mesa Partners 400 Trinity Drive Hilltop Owners LLC

# 04 PLANS





**DRAWING INDEX**

CV	COVER SHEET
ASP 1	SITE PLAN
FIRE 1.	FIRE HYDRANT LOCATION & ACCESS PLAN
CG-101.	GRADING & DRAINAGE
CG-102.	GRADING & DRAINAGE
CU-100.	UTILITY PLAN
CP-100.	PAVING PLAN
LP 1	LANDSCAPE PLAN
EP100	ELECTRICAL SITE LIGHTING PLAN
EP101	ELECTRICAL SITE LIGHTING PLAN WITH LIGHTING LEVELS
EP102	ELECTRICAL SITE LIGHTING SCHEDULES AND STATISTICS
AEL 1	EXTERIOR ELEVATIONS
AEL 2	EXTERIOR ELEVATIONS

NOT FOR CONSTRUCTION

ARCHITECT

PROJECT



NOTE: IMAGE IS CONCEPTUAL IN NATURE AND MAY NOT REFLECT THE REQUIREMENTS OF THESE PLANS

GUEST HOUSE  
400 TRINITY DRIVE  
LOS ALAMOS, NM 87544

# GUEST HOUSE

LAC  
SUBMITTAL

**PROJECT TEAM**

**OWNER**  
GRAND MESA PARTNERS  
HILLTOP DEVELOPER LLC  
23823 MALIBU ROAD, SUITE  
343  
MALIBU, CA 90265

**CIVIL ENGINEER**  
ISAACSON & ARFMAN INC.  
128 MONROE ST NE  
ALBUQUERQUE, NM 87108  
(505) 268-8828

**ARCHITECT**  
DEKKER  
7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109  
(505) 761-9700

**LANDSCAPE ARCHITECT**  
DEKKER  
7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109  
(505) 761-9700

**ELECTRICAL ENGINEER**  
INDOOR ENVIRONMENTS USA  
1920 13TH STREET, SUITE B1  
BOULDER, CO 80302  
(720) 742-1587

DATE 01/28/2025  
PROJECT NO: 23-0069

ISSUE PURPOSE



**GENERAL SHEET NOTES**

- A. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS AND GUIDELINES.
- B. ALL PARKING SPACES TO BE 20'-0" 9'-0" UNLESS NOTED OTHERWISE.
- C. ALL FIRE DEPARTMENT ACCESS ROADS AND FIRE LANES SHALL HAVE A CROSS SLOPE OF LESS THAN 10% AND A LOAD CAPACITY OF 75,000 POUNDS.
- D. ALL FIRE DEPARTMENT ACCESS LANES AND FIRE LANES WILL ACCOMMODATE A 28' MINIMUM TRUCK TURNING RADIUS.
- E. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON BOTH SIDES.
- F. FDC SHALL BE WITHIN 100' OF A FIRE HYDRANT.

**SHEET KEYNOTES**

- 1. PROPERTY LINE
- 2. VEHICULAR ENTRY / EXIT
- 3. FIRE ACCESS LANE 20'-0" WIDTH STANDARD, 28' RADIUS
- 4. SITE STEPS
- 5. ASPHALT PAVED PARKING AND DRIVE
- 6. PARKING LOT STRIPING, 4" WIDE TYPICAL. COLOR: WHITE
- 7. CONCRETE ACCESSIBLE PARKING STALL, ACCESS AISLE AND CURB RAMP
- 8. VAN ACCESSIBLE PARKING STALL, ACCESS AISLE AND CURB RAMP
- 9. TANDEM PARKING STALLS
- 10. ACCESSIBLE CURB RAMP
- 11. CONCRETE SIDEWALK, WIDTH AS INDICATED
- 12. CONCRETE CURB
- 13. CONCRETE SEAT WALL
- 14. PAINTED PEDESTRIAN CROSSWALK
- 15. MONUMENT SIGN WITH APPROVED ADDRESS IDENTIFICATION AND LIGHTING
- 16. SCREENED REFUSE AND RECYCLING ENCLOSURE
- 17. PRIVATE PATIO / BALCONY
- 18. FIRE HYDRANT
- 19. FIRE RISER ROOM
- 20. COVERED ENTRY ABOVE
- 21. CMU WALL WITH INTEGRAL COLOR OR STUCCO FINISH
- 22. ELECTRICAL VEHICLE CHARGING STATION PARKING STALL
- 23. ELECTRICAL ACCESSIBLE VEHICLE CHARGING STATION PARKING STALL
- 24. BICYCLE RACKS
- 25. GRASS SOD
- 26. FABRICATED SHADE STRUCTURE
- 27. SITE FURNISHINGS/SEATING AREAS
- 28. EXISTING TREE TO REMAIN
- 29. CURB AND GUTTER
- 30. BOCCIE BALL COURT
- 31. GAS FIRE PIT
- 32. LOADING ZONE
- 33. LANDSCAPED AREA
- 34. SPLIT RAIL PERIMETER FENCE
- 35. EXISTING CMU WALL WITH CHAINLINK FENCE
- 36. WATER FEATURE OR SCULPTURE
- 37. SITE RETAINING WALL
- 38. SIDEWALK CULVERT, REF: CIVIL
- 39. VALLEY GUTTER, REF: CIVIL
- 40. FIRELANE STRIPING CURB PAINT
- 41. CONCRETE CURB AND GUTTER, REF: CIVIL
- 42. ELECTRICAL METERING EQUIPMENT
- 43. ELECTRICAL TRANSFORMERS
- 44. SITE POLE LIGHT
- 45. VISIBILITY SIGHT TRIANGLE
- 46. EXISTING STREET LIGHT POLE TO REMAIN
- 47. FDC CONNECTION
- 48. RELOCATE EXISTING STREET LIGHT POLE
- 49. POWER PEDESTAL

**PROJECT DATA**

**LOCATION:**  
400 TRINITY DRIVE, LOS ALAMOS, NEW MEXICO 87544

**ZONING:**  
DOWNTOWN LOS ALAMOS ZONE DISTRICT (DTLA)

**SITE AREA:**  
1.8 ACRES OR 78,408 SQ. FT.

**DENSITY:**  
60 SLEEPING UNITS / 1.8 ACRES = 33.33 SLEEPING UNITS/ACRE

**SETBACKS:**  
FRONT (SOUTH): 100 FT. FRONTING TRINITY MAX.  
REAR (NORTH): 15 FT. STREET SIDE MAX.  
SIDE (EAST): 0 FT. MIN.  
SIDE (WEST): 0 FT. MIN.

**BUILDING HEIGHT:**  
MAXIMUM ALLOWED: 86'-0"  
PROPOSED: 40'-0"

**PARKING DATA:**  
STANDARD PARKING DATA:  
REQUIRED:  
1 SPACE PER SLEEPING UNIT  
60 SLEEPING UNITS X 1 = 60 SPACES REQUIRED

MEETING, BANQUET OR EVENT FACILITY -  
1 SPACE PER 4 PERSONS DESIGN CAPACITY  
966 SF CONFERENCE ROOM ON THE FIRST FLOOR  
1 PERSON PER 15 NET SF CAPACITY  
65 PERSON CAPACITY / 4 = 16 SPACES REQUIRED

20% PARKING REDUCTION DUE TO PROXIMITY TO TRANSIT  
76 SPACES X 20% = 15 SPACE REDUCTION  
TOTAL PARKING REQUIRED: 61 SPACES REQUIRED

PROVIDED:  
STANDARD PARKING SPACES = 50 SPACES  
TANDEM PARKING SPACES = 1 = 2 SPACES  
ACCESSIBLE PARKING SPACES = 2 SPACES  
VAN ACCESSIBLE PARKING SPACES = 1 SPACE  
TOTAL PROVIDED PARKING = 56 SPACES

ELECTRIC VEHICLE (EV) PARKING DATA:  
REQUIRED (PER NM ENERGY CODE):  
5% OF 68 PARKING SPACES TO BE EV = 4 SPACES

\*WHEN NUMBER OF EV SPACES EXCEEDS THE REQUIRED MINIMUM, EV CAPABLE SPACES ARE NOT REQUIRED.

PROVIDED:  
EV PARKING SPACE = 4 SPACES (3 REQUIRED, 1 ADDITIONAL)  
ACCESSIBLE EV PARKING SPACE = 1 SPACE  
EV CAPABLE PARKING SPACE = 4 SPACES (NOT REQUIRED, OPTIONAL)  
TOTAL PROVIDED EV SPACES = 9 SPACES

1 EV SPACE COUNTS AS 2 PARKING SPACES = 14 SPACES  
TOTAL PARKING PROVIDED (STANDARD AND EV) = 55+14 = 69 SPACES

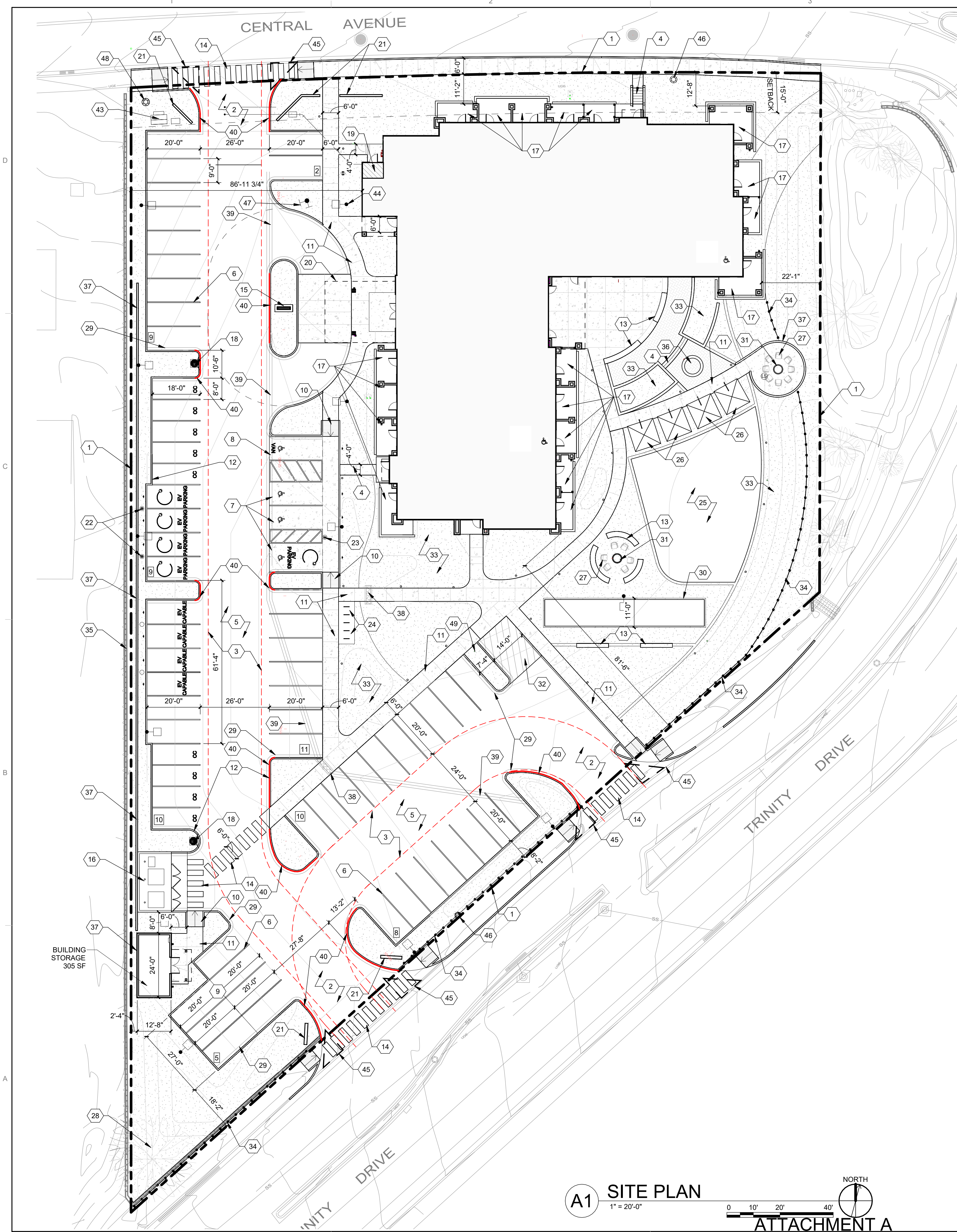
**BICYCLE PARKING:**  
REQUIRED: 51-100 PARKING SPACES = 10 BICYCLE SPACES REQUIRED  
PROVIDED: 10 BICYCLE SPACES

**LEGEND**

- PROPERTY LINE
- - - BUILDING SETBACK
- - - FIRE DEPARTMENT ACCESS LANE
- SITE FENCING
- EXTENTS OF FIRELANE STRIPING
- ▨ FIRE RISER ROOM
- ▨ LANDSCAPED AREA, SEE LANDSCAPE PLAN
- ## PARKING COUNT
- ⊙ ELECTRIC VEHICLE CHARGING SPACE
- CC COMPACT CAR PARKING
- ⊙ FIRE HYDRANT
- ⊙ BUILDING MOUNTED LIGHT
- ⊙ SITE POLE LIGHT
- ⊙ BOLLARD LIGHT
- ♿ ACCESSIBLE UNIT

**BUILDING DATA**

HOTEL									
LEVEL	GUEST ROOM	AMENITY	BOH	STORAGE	STAIR / CORRIDOR	OCCUPIED ROOFS	EXTERIOR PATIO / BALCONY	COVERED AREA	TOTAL
LEVEL 1	7,265	2,809	1,163	161	1,752	-	1,846	1,175	16,171
LEVEL 2	7,968	1,039	592	-	1,618	335	740	-	12,292
LEVEL 3	7,601	1,039	626	-	1,530	1,383	864	-	13,043
<b>TOTAL</b>	<b>22,834</b>	<b>4,887</b>	<b>2,381</b>	<b>161</b>	<b>4,900</b>	<b>1,718</b>	<b>3,450</b>	<b>1,175</b>	<b>41,506</b>



**A1 SITE PLAN**  
1" = 20'-0"  
ATTACHMENT A



NOT FOR CONSTRUCTION

GUEST HOUSE  
400 TRINITY DRIVE  
LOS ALAMOS, NM 87544

LAC  
SUBMITTAL

REVISIONS

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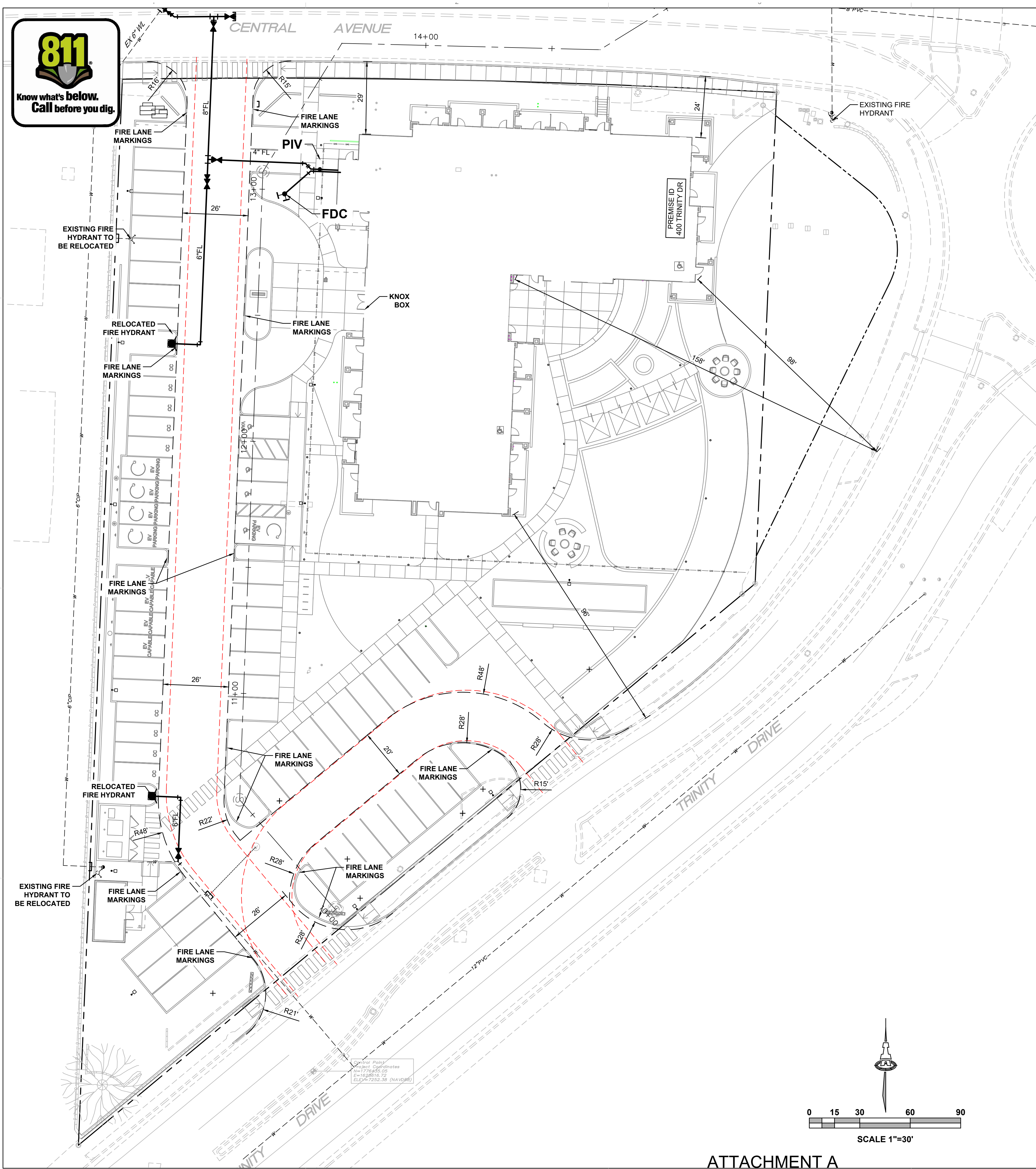
DRAWN BY	DEKKER
REVIEWED BY	DEKKER
DATE	01/28/2025
PROJECT NO	23-0069

DRAWING NAME  
**SITE PLAN**

SHEET NO  
**ASP 1**

1/28/2025 4:48:59 PM





GUEST HOUSE COMPLEX  
 OCCUPANCY GROUP R-1  
 BUILDING IS TYPE VA  
 40,365 SQ. FT.  
 BUILDING IS SPRINKLED, NFPA-13  
 MIN FIRE FLOW IS 3,500 / 4 = 875 GPM.  
 = 1 FIRE HYDRANT

2 PROPOSED RELOCATED FIRE HYDRANTS ON SITE.  
 2 EXISTING FIRE HYDRANTS NEAR SITE

- 1 EAST OF SITE (SHOWN IN PLAN VIEW)
- 1 NORTHWEST OF SITE, ACROSS OF CENTRAL AVE (NOT SHOWN IN PLAN VIEW)

MAX. BUILDING HEIGHT IS 40'-0"  
 STAND PIPE IS REQUIRED.  
 HIGHEST 3RD FLOOR LEVEL IS 33'-6"

ALL FIRE DEPARTMENT CONNECTIONS SHALL HAVE A MINIMUM DISTANCE OF 3' FROM ANY PERMANENT OBJECTS, AND ARE WITHIN 100' OF A FIRE HYDRANT.

BUILDING TO HAVE A PREMISES ID VISIBLE FROM TRINITY DR  
 BUILDING TO HAVE KNOX BOXES AT ENTRANCES.

ALL ACCESS ROADS AND FIRE LANES HAVE GRADES LESS THAN 10% AND A LOAD CAPACITY OF 75,000 POUNDS.

ALL ACCESS ROADS AND FIRE PATHS WILL ACCOMMODATE A 28' MINIMUM TRUCK TURNING RADIUS

FIRE APPARATUS ROADS SHALL HAVE AN UNOBSTRUCTED HEIGHT NOT LESS THAN 13'-6".

THERE ARE NO OVERHEAD OBSTRUCTIONS ON SITE TO PROHIBIT LADDER TRUCK OPERATIONS



SEAL

PROJECT

**GUEST HOUSE**  
 400 TRINITY DRIVE  
 LOS ALAMOS, NM 87544

LAC SUBMITTAL

REVISIONS

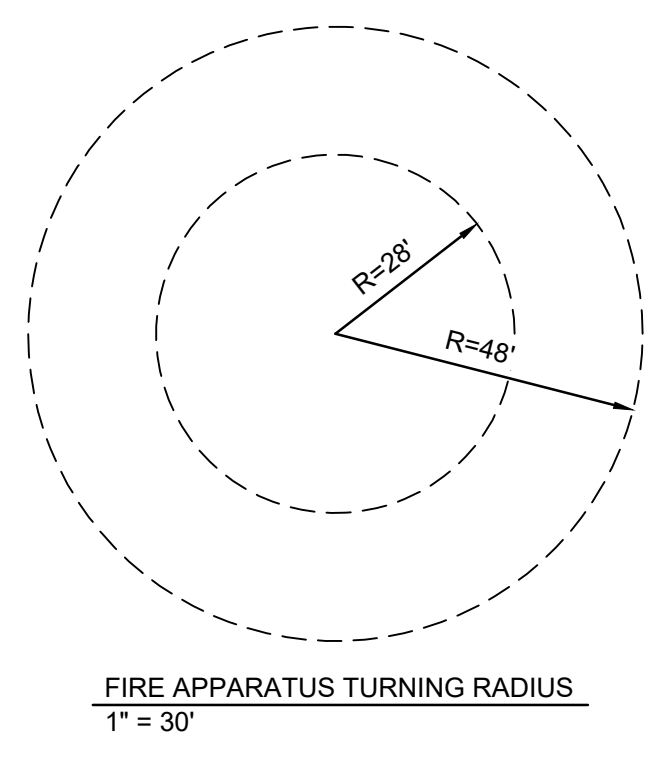
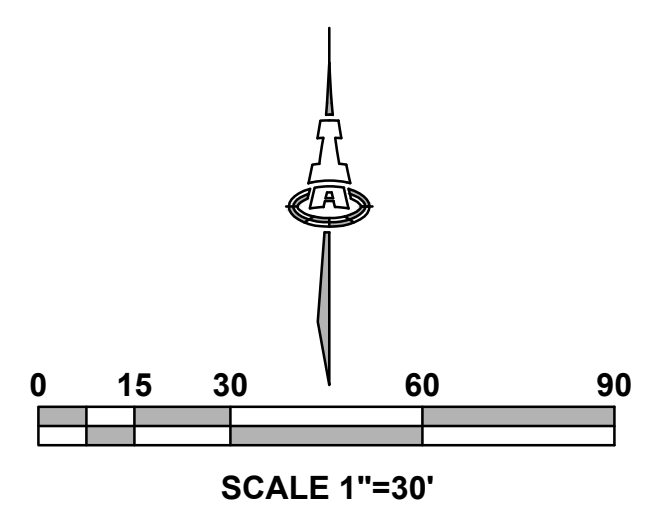
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DRAWN BY	IA
REVIEWED BY	FCA
DATE	01/28/2025
PROJECT NO	ISA #2864

DRAWING NAME  
**FIRE HYDRANT LOCATION & ACCESS PLAN**

SHEET NO

**FIRE 1**









### AHYMO DATA FILE

```

*
* 2684 - Guest House - Trinity Dr. and Central Ave.
*
*
* PRECIPITATION FROM County of Los Alamos Public Works Design and
* Construction Standards 2008
* LOS ALAMOS, NEW MEXICO
* P15 = 1.87"
* P60 = 2.35"
* P360 = 2.80"
* P1440 = 2.90"
*
* HYDROLOGIC MODEL FOR SITE EXISTING CONDITIONS
* 100-YEAR, 6-HOUR STORM
*
* 2684
* BY ISAACSON & ARFMAN PA - FRED ARFMAN, PE / bjb
*
*****
START TIME=0.0 HR PUNCH CODE=0
LOCATION NEW MEXICO
RAINFALL TYPE=5 RAIN QUARTER=1.87 RAIN ONE=2.35
RAIN SIX=2.80 RAIN DAY=2.90 DT=0.033333HR
*****
*S BASIN E1 - EXISTING
COMPUTE NM HYD ID=1 HYD NO=101 AREA= 0.002883614 SQ MI
PER A=0 PER B=5 PER C=3 PER D=92
TP=-0.1333 HR MASS RAIN=-1
PRINT HYD ID=1 CODE=5
*S BASIN P1 - PROPOSED
COMPUTE NM HYD ID=11 HYD NO=111 AREA= 0.002883614 SQ MI
PER A=0 PER B=15 PER C=15 PER D=70
TP=-0.1333 HR MASS RAIN=-1
PRINT HYD ID=11 CODE=5
*S BASIN H1 - HISTORIC
COMPUTE NM HYD ID=21 HYD NO=121 AREA= 0.002883614 SQ MI
PER A=0 PER B=100 PER C=0 PER D=0
TP=-0.1333 HR MASS RAIN=-1
PRINT HYD ID=21 CODE=5
FINISH
    
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### AHYMO OUTPUT SUMMARY

AHYMO PROGRAM SUMMARY TABLE (AHYMO-S4) - Ver. S4.01a, Rel: 01a RUN DATE (MON/DAY/YR) =11/01/2024  
 INPUT FILE = M:\PROJECTS\2600-2699\2684\CALCS\AHYMO\2684 la.dat USER NO. = AHYMO\_Temp\_User:20122010

COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1	NOTATION
*****											
START TIME= 0.00											
LOCATION NEW MEXICO											
RAINFALL TYPE= 5 RAIN24= 2.900											
*****											
*S	BASIN E1 - EXISTING										
COMPUTE NM HYD		101.00	- 1	0.00288	13.98	0.414	2.68883	6.033	7.575	PER IMP=	92.00
*S	BASIN P1 - PROPOSED										
COMPUTE NM HYD		111.00	- 11	0.00288	13.06	0.380	2.47257	6.033	7.078	PER IMP=	70.00
*S	BASIN H1 - HISTORIC										
COMPUTE NM HYD		121.00	- 21	0.00288	9.14	0.256	1.66654	6.033	4.952	PER IMP=	0.00
FINISH											

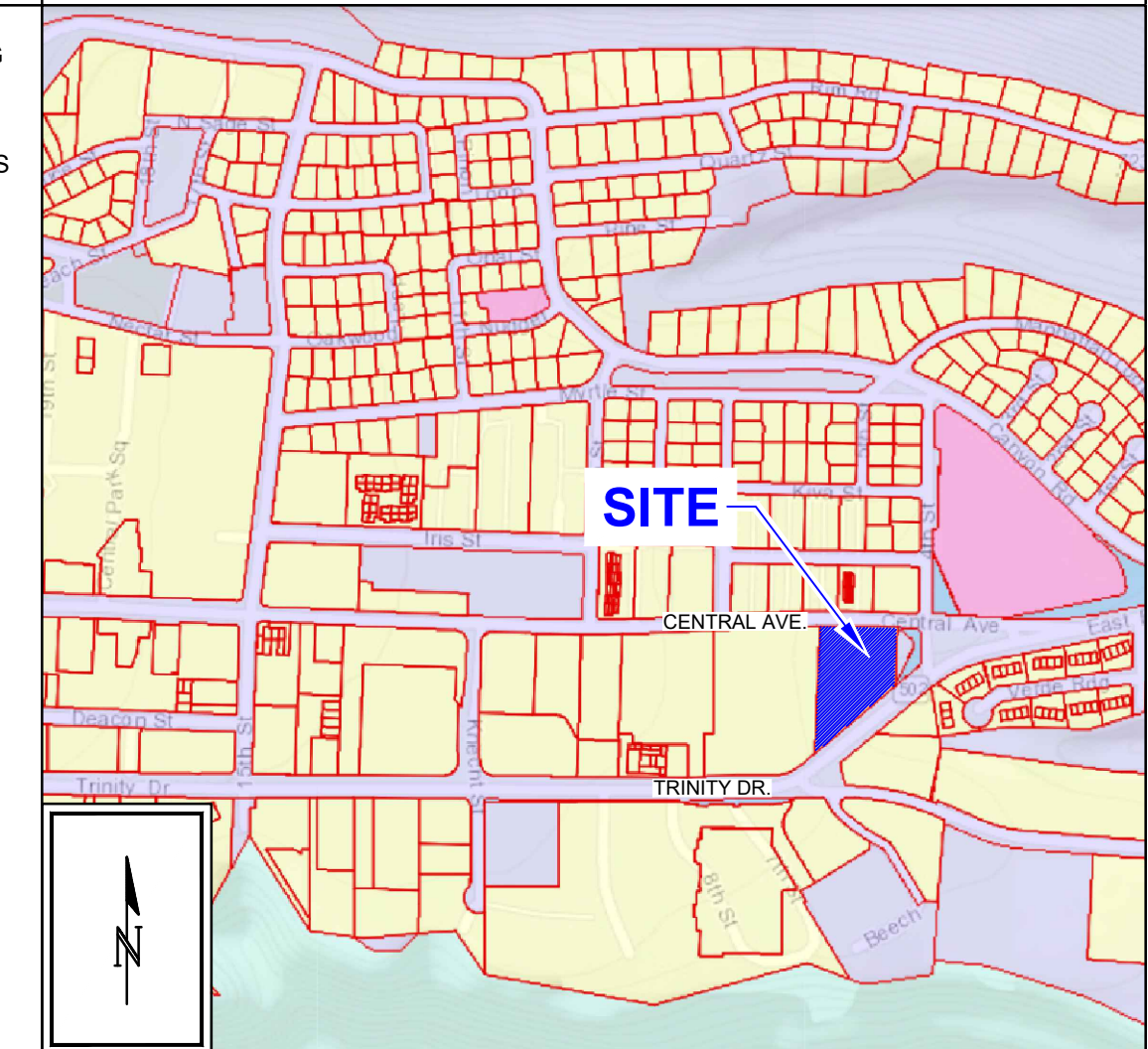
### STORMWATER QUALITY

STORMWATER QUALITY RETENTION PONDING WILL INCLUDE DEPRESSED PARKING ISLANDS AND PROPOSED SURFACE RETENTION PONDS.

THE CONCEPTUAL PLAN PROVIDED WITH THIS SUBMITTAL IDENTIFIES AREAS ALONG THE EAST PROPERTY BOUNDARY THAT WILL RETAIN VOLUME WITH EXCESS OVERFLOWING TO THE SOUTH TO EXIT THE PROPERTY. OPTION TO UTILIZE SHARED LANDSCAPE ALONG THE EAST PROPERTY LINE SHALL BE COORDINATED BETWEEN THE PROPERTY OWNERS.

AS THE SITE DEVELOPS. FINAL LOCATIONS AND DESIGN WILL BE PROVIDED AS PART OF THE BUILDING PERMIT CONSTRUCTION DOCUMENTS.

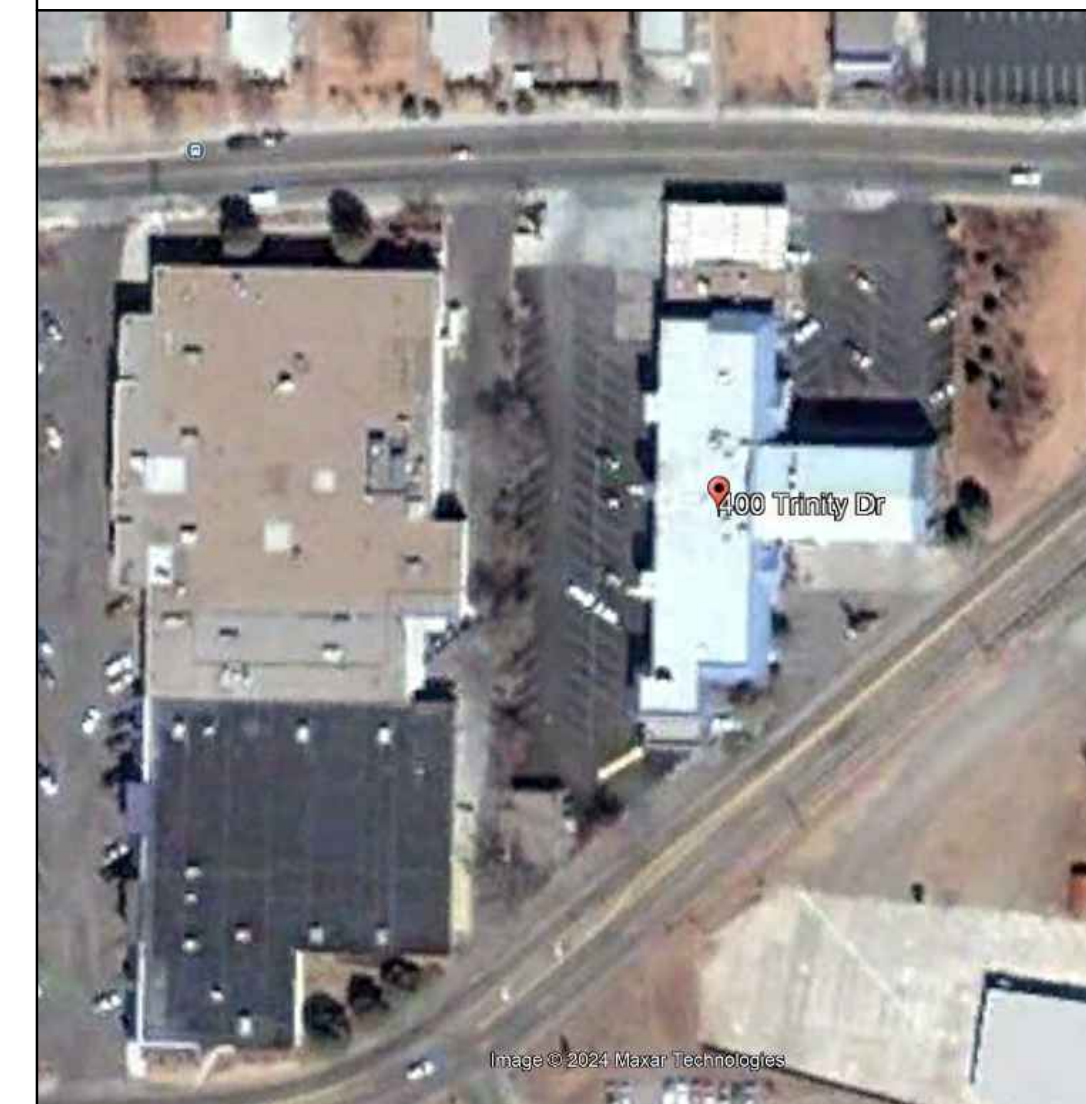
### VICINITY MAP



### FEMA MAP



### HISTORIC IMAGE



### PROJECT INFORMATION

**PROPERTY:**  
 THE SITE IS PREVIOUSLY FULLY DEVELOPED COMMERCIAL PROPERTY. THE SITE IS BOUND TO THE SOUTH BY TRINITY DR., TO THE NORTH BY CENTRAL AVE., TO THE WEST BY FULLY DEVELOPED COMMERCIAL PROPERTY, AND TO THE EAST BY COUNTY LANDSCAPE TRACT AND PUBLIC R.O.W.

**PROPOSED IMPROVEMENTS:** THE PROPOSED IMPROVEMENTS INCLUDE DEMOLITION OF THE EXISTING DEVELOPMENT, CONSTRUCTION OF A MULTI-STORY MULTI-FAMILY RESIDENTIAL BUILDING WITH ASSOCIATED PAVED ACCESS AND PARKING, AND SITE LANDSCAPING AND OUTDOOR AMENITIES.

**LEGAL:** CONSOLIDATED TRACT S EASTERN AREA NO. 2, CITY OF LOS ALAMOS, LOS ALAMOS COUNTY, NEW MEXICO

**ADDRESS:** 400 TRINITY DRIVE

**BENCHMARK:** VERTICAL DATUM SHOWN HEREON IS BASED UPON THE NATIONAL GEODETIC CONTROL SURVEY MONUMENT "D-81"  
 ELEVATION = 7331.54 FEET (NAVD 88).

**OFF-SITE:** NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

**FLOOD HAZARD:** THE SUBJECT PROPERTY (AS SHOWN HEREON) LIES WITHIN ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 35028C0045 C, EFFECTIVE DATE 7/18/2011.

**EXISTING CONDITION:**  
 THE PROPERTY HAS BEEN FULLY DEVELOPED (90%+ IMPERVIOUS) FOR THE PAST 30+ YEARS. THE PROPERTY SLOPES WEST TO EAST/SOUTHEAST AT ±3.5% (AVERAGE). THE MAJORITY OF SITE DISCHARGE EXITS THE PROPERTY ALONG THE SOUTH PROPERTY LINE TO ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM AT INLETS ADJACENT TO THE PROPERTY.

**PROPOSED CONDITION:**  
 THE MAJORITY OF THE SITE WILL CONTINUE TO DRAIN TO THE SOUTH / EAST, ENTER TRINITY DR., AND ACCESS THE EXISTING PUBLIC STORM DRAIN SYSTEM. TOTAL RUNOFF WILL BE REDUCED DUE TO AN INCREASE IN LANDSCAPE AND PERVIOUS SITE AMENITIES.

A PRIVATE STORM DRAIN STUB MAY BE DESIGNED AS PART OF THE FINAL DRAINAGE SOLUTION (IF REQUIRED TO ACCOMMODATE SITE USAGE) - TO BE COORDINATED WITH LOS ALAMOS COUNTY ENGINEERING.

NEW DEVELOPED RUNOFF IS BASED ON 70% IMPERVIOUS AREA. FREE DISCHARGE IS APPROPRIATE FOR THE SITE AS TOTAL DISCHARGE IS REDUCED.



SEAL

**CONCEPTUAL  
NOT FOR  
CONSTRUCTION**

**GUEST HOUSE  
400 TRINITY DRIVE  
LOS ALAMOS, NM 87544**

**LAC  
SUBMITTAL**

REVISIONS

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DRAWN BY IA  
 REVIEWED BY FCA  
 DATE 01/28/2025  
 PROJECT NO I&A #2684

DRAWING NAME

**GRADING &  
DRAINAGE  
NOTES AND  
CALCULATIONS**

SHEET NO

**CG-102**



## GENERAL NOTES

- INSTALL 8" SAS MAIN AT 2% SLOPE TYP.
- INSTALL SAS SERVICES WITH WYE/TEE.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE PLUMBING SITE PLAN (SHEET P 100) FOR GAS LINE LOCATIONS AND SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.
- WATERLINES 4" IN DIAMETER OR LARGER SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS.
- SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE.
- ALL SANITARY SEWER LINES ONSITE TO BE PRIVATE.
- FINAL DESIGN SHALL BE PROVIDED WITH BUILDING PERMIT REVIEW AND SHALL INCLUDE INFORMATION ON EXISTING UTILITIES THAT WILL BE REMOVED & ABANDONED IN PLACE.
- JOINT UTILITY TRENCH SHOWN TO BE FOR DRY UTILITIES, INCLUDING BUT NOT LIMITED TO GAS LINES, ELECTRIC LINES, AND COMMUNICATIONS.

## RESTRAINED JOINT LENGTHS FOR WATERLINE FITTINGS

SIZE	HORIZ. BENDS				VALVES & DEAD ENDS
	90°	45°	22 1/2°	11 1/4°	
12	29	12	6	3	78
10	24	10	5	3	66
8	20	9	4	2	55
6	16	7	4	2	42
4	11	5	3	2	30

THESE TABLES ARE BASED UPON THE FOLLOWING CRITERIA:

DEPTH OF BURY: 4.0 FT. MINIMUM  
 FACTOR OF SAFETY: 1.50  
 MATERIAL: PVC  
 SOIL TYPE: GMISM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.  
 TEST PRESSURE: 150 PSI  
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G. GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

### NOTES:

- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
- THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

## LEGEND

- WL-- EXISTING WATERLINE
- >SAS-> EXISTING SEWER LINE
- ⊕ EXISTING FIRE HYDRANT
- NEW WATERLINE
- NEW FIRE HYDRANT
- NEW WATER METER
- NEW SEWER LINE
- NEW MANHOLE
- NEW CLEAN OUT
- EX EASEMENT TO BE VACATED
- EX UTILITY TO BE DEMOLISHED AND REMOVED

## KEYED NOTES

### WATER KEYED NOTES

- INSERT 6" TEE.
- 6" GATE VALVE W/ BOX. (LT=46')
- 8"x6" REDUCER.
- 8" - 45° BEND. (LT=11')
- 8" TEE.
- 8" GATE VALVE W/ BOX (LT=60')
- 8" CAP. (LT=60')
- 8" x 4" TEE.
- 4" GATE VALVE W/ BOX. (LT=32')
- POST INDICATOR VALVE.
- FIRE DEPARTMENT CONNECTION.
- 4" - 45° BEND. (LT=4')
- 8" - 90° BEND. (LT=27')
- INSERT 6" - 45° BEND. (LT=9')
- 6" - 90° BEND. (LT=20')
- 2" METER SETTING (DOMESTIC)
- 1" METER SETTING (IRRIGATION), REFER TO LANDSCAPE SHEETS FOR CONTINUATION.
- BLDG CONNECTION POINT, REFER TO MEP PLANS FOR CONTINUATION.
- REMOVE AND RELOCATE EXISTING FIRE HYDRANT.
- 6" CAP (LT=46') AT PROPERTY LINE.
- RELOCATED FIRE HYDRANT LOCATION.
- REMOVE AND DISPOSE EXISTING 6" WATERLINE.
- REMOVE AND DISPOSE EXISTING METER ASSEMBLY AND BOX. CAP SERVICE LINE AT CORP STOP.

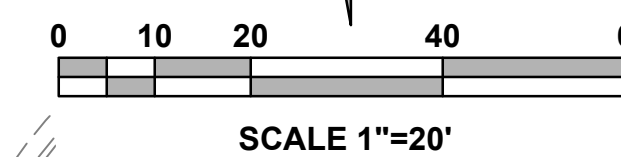
### SEWER KEYED NOTES

- INSTALL NEW 4" DIA. MANHOLE ON EXISTING 12" SEWER LINE.
- NEW 4" DIA MANHOLE.
- CONNECT NEW 12" SEWER LINE TO EXISTING MH. RESHAPE INVERT.
- NOT USED.
- NOT USED.
- NOT USED.
- SANITARY SEWER DOUBLE CLEANOUT AT BUILDING CONNECTION, REFER TO MEP SHEETS FOR CONTINUATION.
- REMOVE AND DISPOSE EXISTING SEWER LINE.
- ADJUST EXISTING MH TO NEW GRADE WITH NEW PCC COLLAR.
- REMOVE AND REPLACE EXISTING ASPHALT PAVING FOR UTILITY INSTALLATION (HATCHED AREA). MATCH EXISTING PAVEMENT SECTION.
- 8" SAS PLUG.
- NOT USED.
- NOT USED.
- EX. SAS MH TO BE DEMOLISHED AND REMOVED

### MISC. UTILITY KEYED NOTES

- PROTECT LIGHT POLE IN PLACE. CONTRACTOR TO ADJUST BASE TO FINAL ELEVATION AS NECESSARY.
- EXISTING TRAFFIC BOX TO REMAIN. CONTRACTOR TO PROTECT IN PLACE DURING EXISTING SIDEWALK REMOVAL.
- EXISTING PUBLIC STM CI TO REMAIN.
- EXISTING PUBLIC UTILITY EASEMENT TO BE VACATED (SHADED AREA)
- PROPOSED GAS SERVICE SHOWN FOR REFERENCE, CONTRACTOR TO COORDINATE WITH NM GAS FOR FINAL SERVICE ALIGNMENT

## ATTACHMENT A



SEAL

PROJECT

**GUEST HOUSE**  
 400 TRINITY DRIVE  
 LOS ALAMOS, NM 87544

LAC  
 SUBMITTAL

REVISIONS

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DRAWN BY: IA  
 REVIEWED BY: FCA  
 DATE: 01/28/2025  
 PROJECT NO: ISA #2864

DRAWING NAME

UTILITY  
 PLAN

SHEET NO

**CU-100**





## GENERAL NOTES

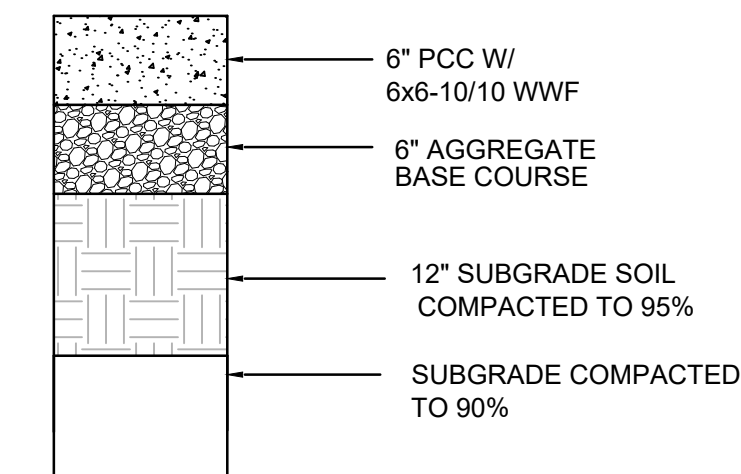
- FIVE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (505-260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- REMOVAL OF EXISTING CURB & GUTTER AND SIDEWALKS SHALL BE TO THE NEAREST JOINT.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- CURB AND GUTTER, SIDEWALKS, AND DRIVE PADS SHALL MATCH THE LINE AND GRADE OF ABUTTING EXISTING AREAS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER.
- THE SUBGRADE PREP SHALL EXTEND ONE FOOT BEYOND THE FREE EDGE OF NEW CURB AND GUTTER AND SIDEWALK.
- CONTRACTOR TO TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, REMOVE 2 FEET OF SUBGRADE MATERIAL AND IMPORT MATERIAL WITH R-VALUE GREATER THAN 50 OR CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.
- AT ALL PAVEMENT REMOVAL AND REPLACEMENTS, SAW-CUT EDGES SHALL BE STRAIGHT AND CLEAN, AND LONGITUDINAL JOINTS SHALL NOT BE PLACED WITHIN WHEEL PATHS. PATCHES SHALL BE REGULAR AND SQUARE OR RECTANGULAR, WITH FOUR STRAIGHT SIDES. FINISHED PAVEMENT SURFACE SHALL BE FLUSH WITH EXISTING PAVEMENT SURFACE, WITH NO SPILLOVER OF ASPHALT OR TACK COAT. CARE MUST BE TAKEN TO AVOID DAMAGING THE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENTS; IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.
- CONTRACTOR WILL ENSURE THE ASPHALT HAS A SMOOTH, UNIFORM EDGE WHEN REMOVING AND REPLACING CURB AND GUTTER. IF THE ASPHALT EDGE IS NOT SMOOTH AND UNIFORM, CONTRACTOR WILL SAW CUT AND REPLACE A ONE-FOOT STRIP OF ASPHALT ALONG THE FULL SECTION BEING REPLACED, REFER TO C.O.A. STANDARD DRAWING # 2465 WITH THE APPROPRIATE PAVING SECTION BASED ON ROADWAY CLASSIFICATION.

## KEYED NOTES

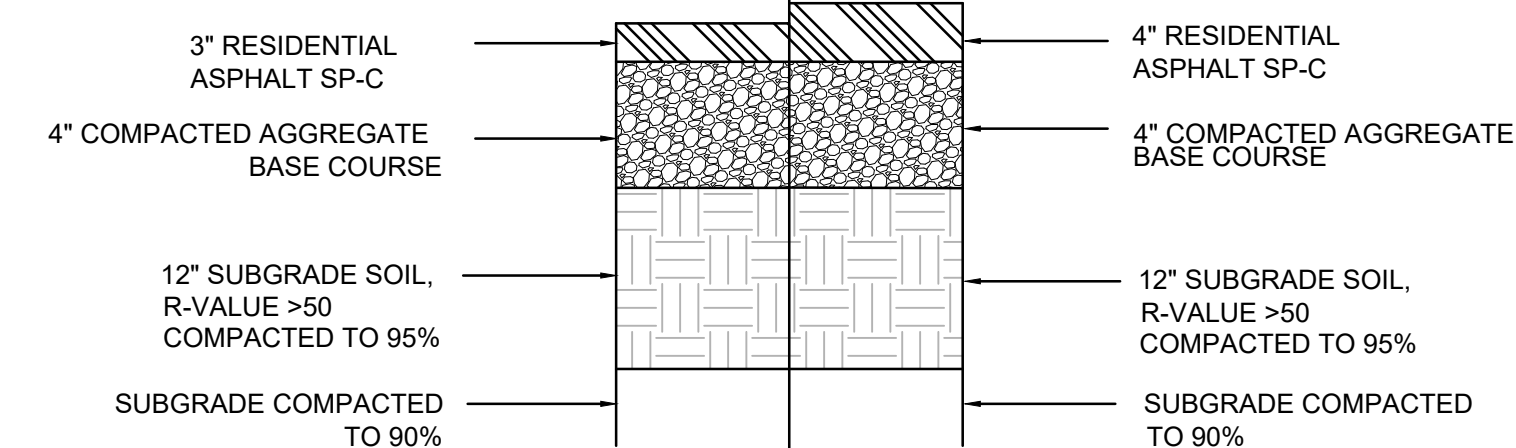
- ASPHALT PAVING.
- PCC PAVING SECTION.
- PCC MEDIAN CURB AND GUTTER.
- PCC SIDEWALK.
- ADA ACCESSIBLE RAMP.
- ADA PARKING.
- ADA SIGN.
- ADJUST VALVE BOXES, CLEAN-OUTS AND STORM INLETS TO FINISHED GRADES.
- PAINT CURB RED & RED STENCIL WHITE TEXT "FIRE LANE NO PARKING", 4" HIGH LETTERS, 1/2" STROKE.
- 4" WHITE PARKING STRIPE.
- 24" WIDE WHITE CROSSWALK STRIPE AT 4' OC.
- STOP SIGN.
- 24" x 18" PAINTED STOP BAR.
- SITE PARKING LIGHTING, SEE ELECTRICAL SITE PLAN.
- REFUSE ENCLOSURE.
- VALLEY GUTTER.
- EV PARKING PAVEMENT MARKING.
- EV PARKING SIGN.
- COMPACT CAR PAVEMENT MARKING.
- REMOVE AND DISPOSE EXISTING PCC DRIVEPAD.
- PCC STD CURB & GUTTER.
- PUBLIC ASPHALT PAVING RECONSTRUCTION. SECTION PER LOS ALAMOS COUNTY PUBLIC ROADWAY STANDARD.
- SAWCUT, REMOVE AND REPLACE EXISTING ASPHALT PAVEMENT.

## CONCRETE PAVING SECTION

PER GEOTECHNICAL REPORT PAVING DESIGN SCALE: N.T.S.



## ASPHALT PAVEMENT SECTIONS



## ASPHALT PAVEMENT SECTIONS

SCALE: N.T.S.

## LEGEND

- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- LIGHT ASPHALT PAVING SECTION
- HEAVY ASPHALT PAVING SECTION
- PCC PAVING SECTION
- ADA / STOP SIGNS

**GUEST HOUSE**  
 400 TRINITY DRIVE  
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REVISIONS

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DRAWN BY IA  
 REVIEWED BY FCA  
 DATE 01/28/2025  
 PROJECT NO I&A #2864

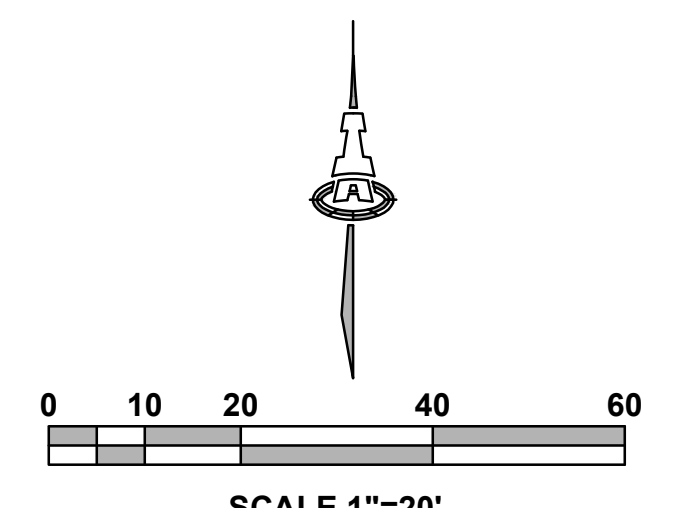
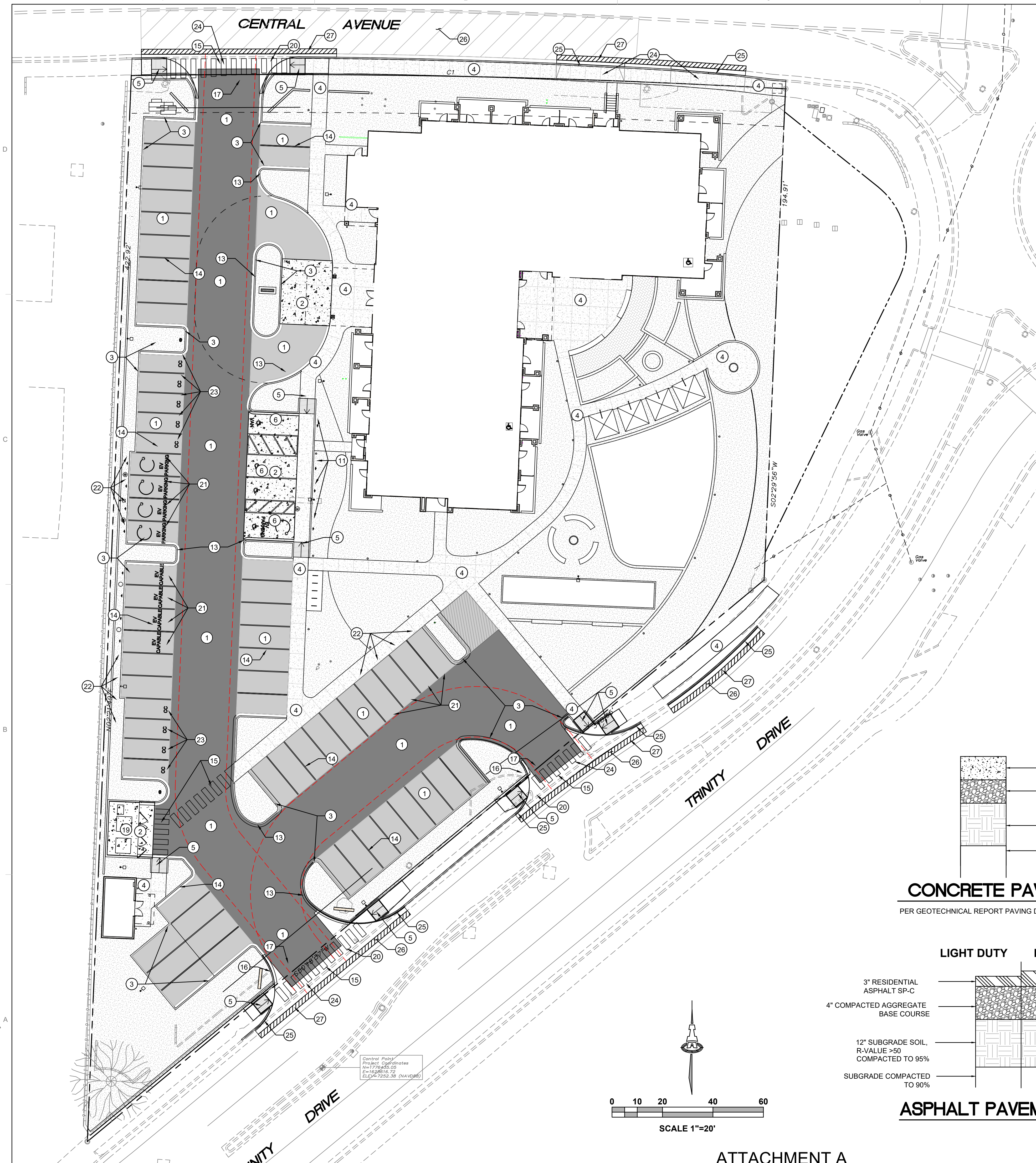
DRAWING NAME

**PAVING PLAN**

SHEET NO

**CP-100**

ATTACHMENT A



ATTACHMENT A

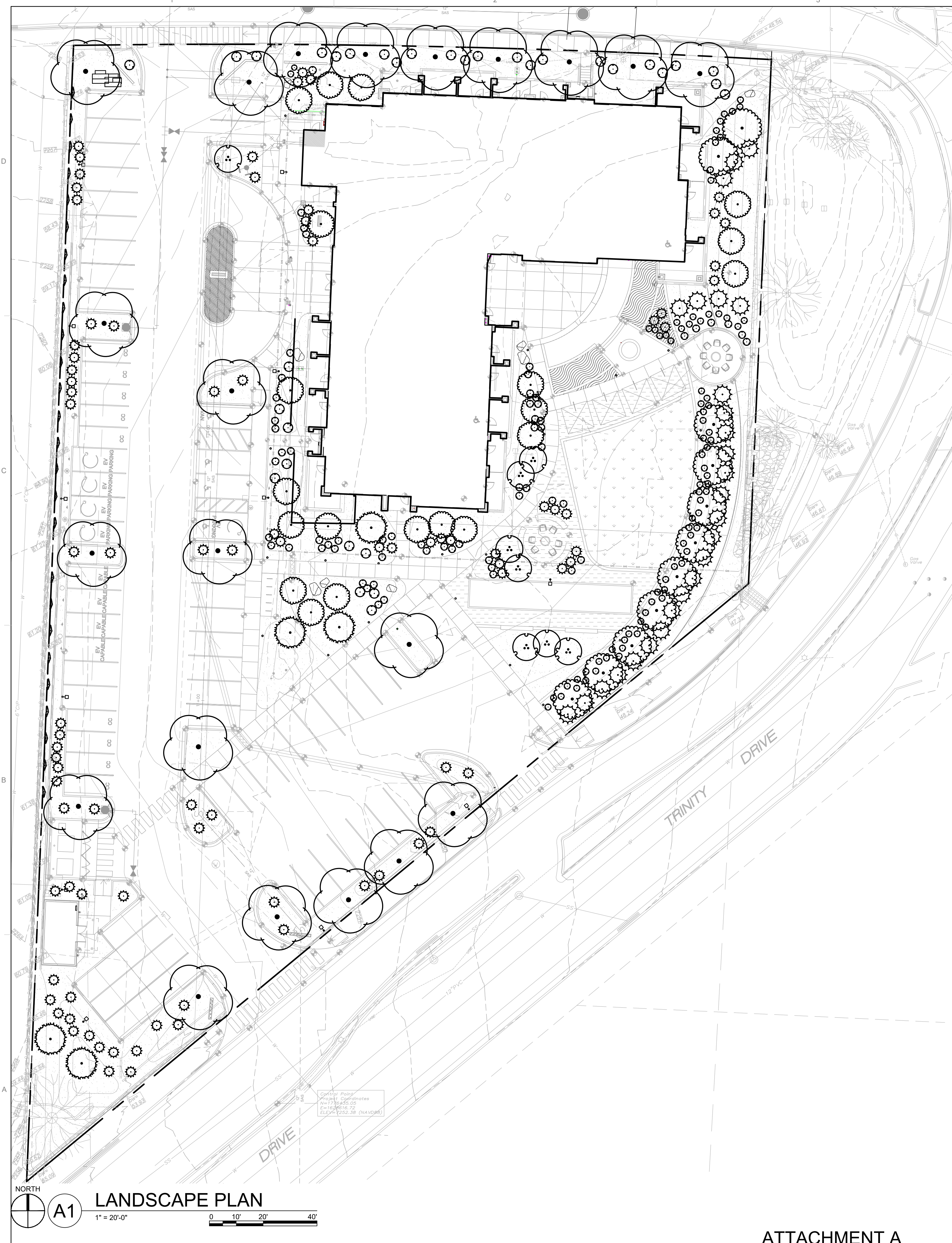
**Isaacson & Arfman, Inc.**  
 Civil Engineering Consultants  
 128 Monroe Street NE  
 Albuquerque, NM 87108  
 505-268-8828 | www.iacivil.com

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4/11/2025 10:00 AM





### CONCEPT PLANT SCHEDULE

	<b>EVERGREEN TREES</b> CURL-LEAF MOUNTAIN MAHOGANY PINYON PINE	5
	<b>ORNAMENTAL TREES</b> QUAKING ASPEN CRIMSON SPIRE OAK CANADA RED CHOKECHERRY	31
	<b>DWARF TREES</b> CURL-LEAF MOUNTAIN MAHOGANY CHASTE TREE	8
	<b>SHADE TREES</b> RAYWOOD ASH FRONTIER ELM	21
	<b>SHRUBS</b> BLUE MIST BLUEBEARD KELSEY'S DWARF REDTWIG DOGWOOD SHRUBBY CINQUEFOIL PAWNEE BUTTES SAND CHERRY AUTUMN AMBER SUMAC MOJAVE SAGE	172
	<b>EVERGREEN SHRUBS</b> PANCHITO MAZANITA LITTLE-LEAF MOUNTAIN MAHOGANY WINTERCREEPER EMERALD SPREADER JAPANESE YEW	115
	<b>VINES</b> ENGLISH IVY-EVERGREEN	26
	<b>PERENNIALS</b> GREEK YARROW THREADLEAF HYSSOP WHITE VALERIAN DWARF PLUMBAGO WALKER'S LOW CATMINT TUFTED EVENING PRIMROSE ROCKY MOUNTAIN PENSTEMON MAY NIGHT MEADOW SAGE	1,375 SF

### GENERAL SHEET NOTES

- PLANT CHOICES HAVE BEEN MADE IN CONSULTATION WITH THE LOS ALAMOS PLANT LIST.
- A PERMANENT AUTOMATICALLY CONTROLLED DRIP IRRIGATION SYSTEM SHALL BE UTILIZED TO ENSURE PLANT SURVIVAL AND GROWTH ON SITE AND IN THE PUBLIC RIGHT OF WAY. SEE IRRIGATION GUIDELINES.
- THE OWNER SHALL EXECUTE A MAINTENANCE AGREEMENT TO PERMANENTLY MAINTAIN THE LANDSCAPE INCLUDING MAINTAINING THE IRRIGATION SYSTEM.

### LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 1.8 AC = 78,408 SF  
 AREA OF LOT COVERED BY BUILDINGS = 15,418 SF  
 NET LOT AREA = 62,990 SF

**REQUIRED LANDSCAPE**  
 REQUIRED LANDSCAPE AREA (10% OF NET SITE) = 6,299 SF  
 PROVIDED LANDSCAPE AREA = 24,424 SF = 387%

**REQUIRED TREES**  
 2 TREES PER EVERY 1,000 SF OF LANDSCAPED AREA REQUIRED  
 REQUIRED TREES FOR R1 DEVELOPMENTS = 24,424/1,000 = 24.424 X 2 = 49 TREES (48,848)  
 PROVIDED TREES = 60 TREES

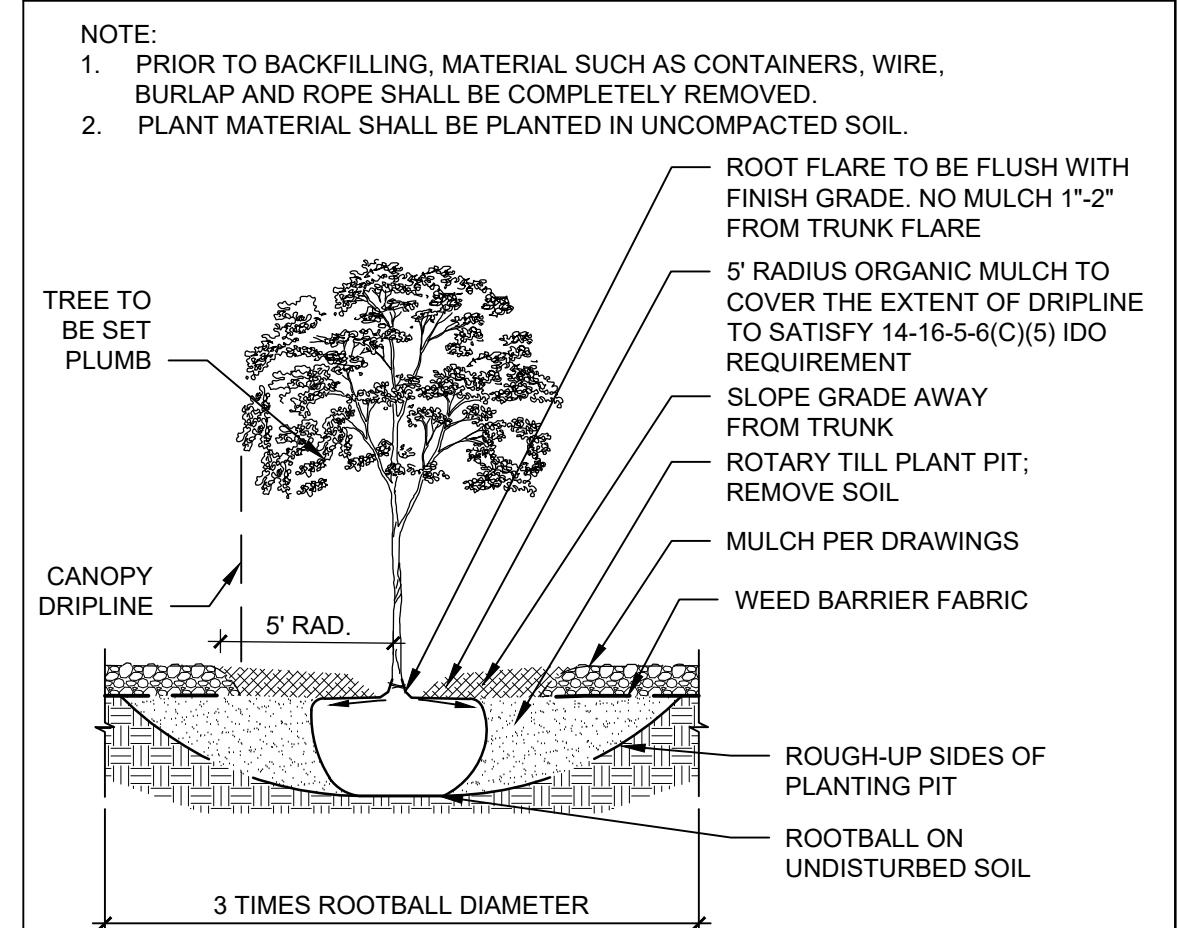
**REQUIRED SHRUBS**  
 10 SHRUBS PER 1,000 SF OF LANDSCAPED AREA REQUIRED  
 REQUIRED SHRUBS FOR DEVELOPMENT = 24,424/1,000 = 24.424 X 10 = 255 SHRUBS (244,410)  
 TOTAL SHRUBS PROVIDED = 271  
 30% OF ALL SHRUBS ARE REQUIRED TO BE EVERGREEN  
 EVERGREEN SHRUBS REQUIRED = 80 EVERGREEN SHRUBS  
 EVERGREEN SHRUBS PROVIDED = 117 = 43% OF TOTAL SHRUBS

**GROUND COVER MATERIAL**  
 GRASS AND/OR LOW LYING PLANTS MUST COVER AT LEAST 75% OF GROUND COVERAGE AT MATURITY. 24,424 SF X .75 = 18,318 SF REQUIRED FOR LANDSCAPE DESIGNS THAT INTEGRATE HARDSCAPES, THE HARDSCAPE AREAS MAY BE COUNTED TOWARD 25% OF THE OVERALL PROJECT SITE'S LANDSCAPE REQUIREMENTS. ACCEPTABLE HARDSCAPE MATERIALS INCLUDE BUT ARE NOT LIMITED TO CONCRETE, CONCRETE OR PERMEABLE PAVERS, AND BRICK.  
 GRASS COVERAGE = 1,832 SF = 10% OF REQUIRED GROUND COVER  
 PERENNIALS COVERAGE = 1,245 SF  
 LOW GROWING SHRUB COVERAGE = 4,607 SF  
 GRAVEL AND CRUSHER FINES = 4,579.5 SF = 25% OF APPLICABLE HARDSCAPE DEDICATED TO LANDSCAPE REQUIREMENTS  
 TOTAL GROUND COVERAGE = 12,263.5 SF = 50.2%

### LANDSCAPE MATERIALS

SYMBOL	NOTES
	KENTUCKY BLUEGRASS LAWN
	7/8" Ø ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC BASIS. COLOR: SANTA FE BROWN
	NATIVE TREE MULCH, 3" DEPTH.
	2.4" ROUND GRAY GRAVEL FROM ALBERT MONTANO SAND AND GRAVEL AT STORM WATER BASIN
	STABILIZED CRUSHER FINES. BASIS OF DESIGN: SANTA FE BROWN
<b>BOULDERS:</b> MARBLE BOULDER, AVAILABLE FROM JPR GRAVEL BOULDERS TO BE SELECTED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE SEE DETAIL B1/LP501	
	4"x4"x4" BOULDER 5 EA
	3"x3"x3" BOULDER 3 EA

### TREE PLANTING DETAIL



GUEST HOUSE  
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DRAWN BY: EH  
 REVIEWED BY: BG  
 DATE: 01/28/2025  
 PROJECT NO: 23-0069

DRAWING NAME  
**LANDSCAPE PLAN**

SHEET NO  
**LP1**





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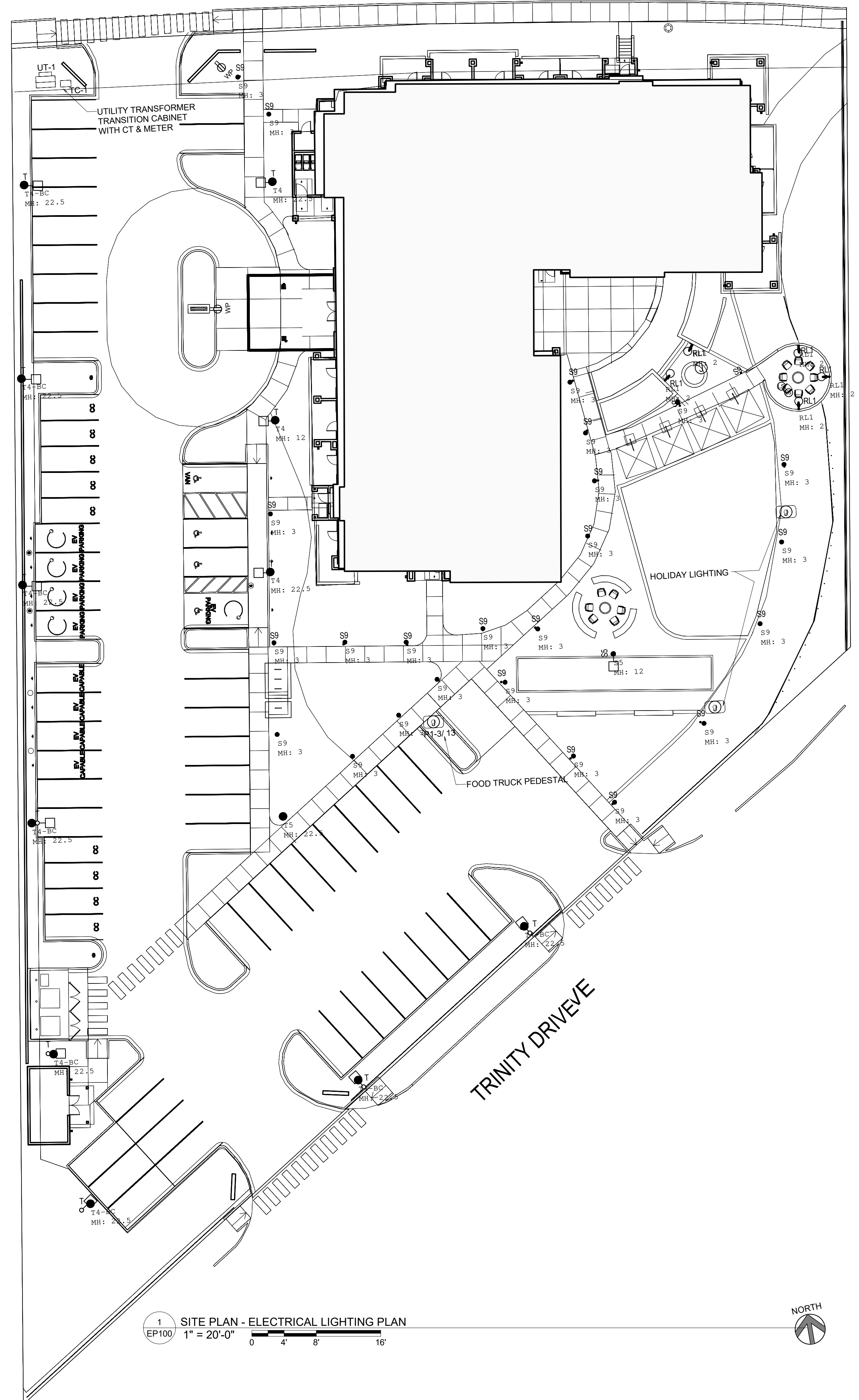
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DRAWN BY	Author
REVIEWED BY	Approver
DATE	01/28/2025
PROJECT NO	60561

DRAWING NAME  
ELECTRICAL SITE LIGHTING PLAN

SHEET NO  
EP100

CENTRAL AVENUE



1 SITE PLAN - ELECTRICAL LIGHTING PLAN  
EP100 1" = 20'-0" 0 4' 8' 16'

ATTACHMENT A

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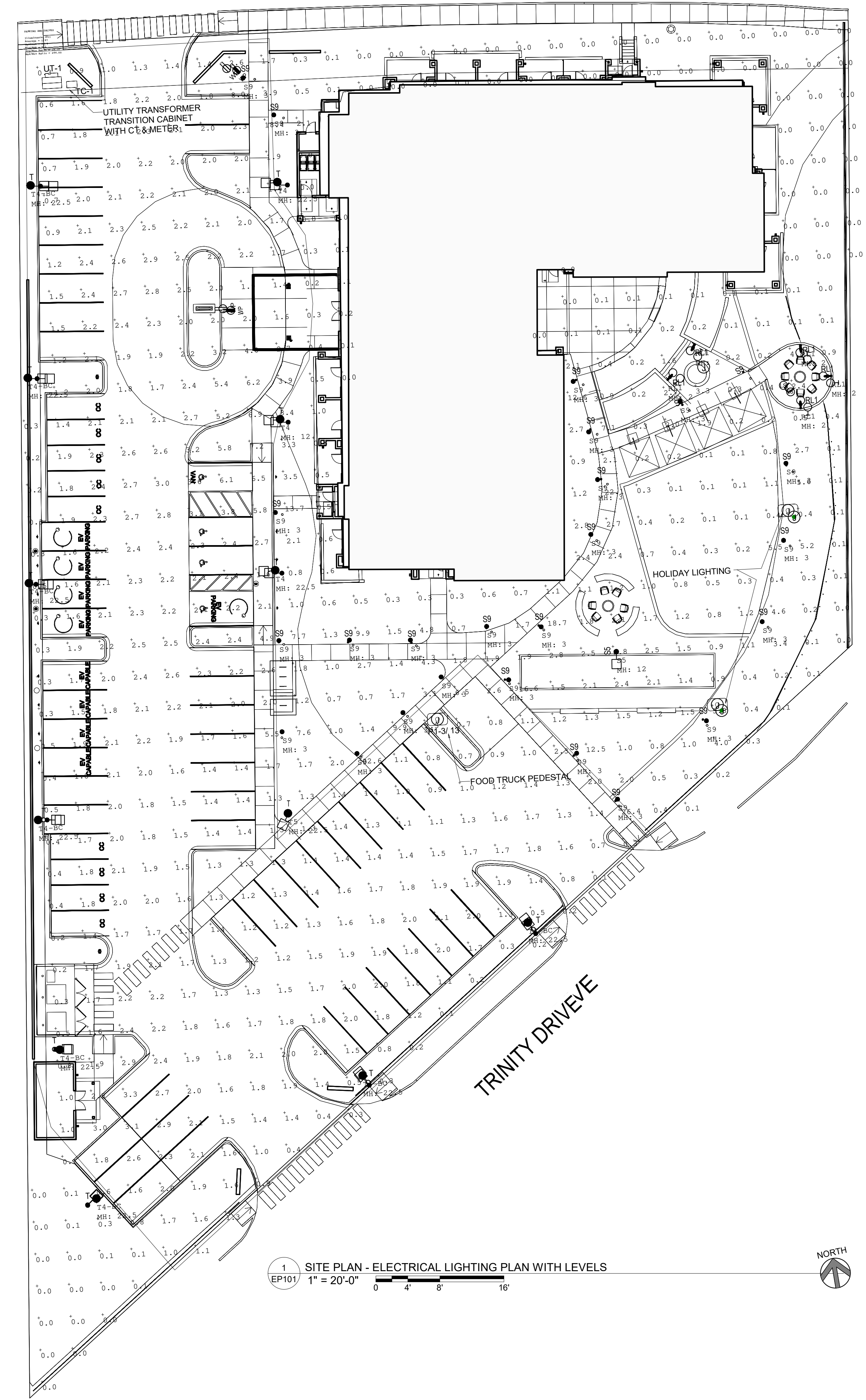
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DRAWN BY	Author
REVIEWED BY	Approver
DATE	01/28/2025
PROJECT NO	60561

DRAWING NAME  
ELECTRICAL SITE LIGHTING PLAN WITH LIGHTING LEVELS

SHEET NO  
EP101

CENTRAL AVENUE



1 SITE PLAN - ELECTRICAL LIGHTING PLAN WITH LEVELS  
EP101 1" = 20'-0"

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Luminaire Schedule							
Symbol	Qty	Label	LLF	Description	Lum. Watts	Total Watts	Lum. Lumens
	1	T5	0.900	KIM # UR20-56L-75-3K7-5W-PT- 22.5' MH (20' POLE, 2.5' BASE)	75.13	75.13	9669
	8	T4-BC	0.900	KIM # UR20-56L-75-3K7-4W-BC-PT- 22.5' MH (20' POLE , 2.5' BASE)	75	600	5808
	3	T4	0.900	KIM # UR20-56L-75-3K7-4W-PT- 22.5' MH (20' POLE, 2.5' BASE)	75	225	9518
	24	S9	0.900	KIM # GEM1-36L3K	40.9	981.6	2290
	1	S5	0.900	KIM # UR20-24L-65-3K7-5W-CLR-PT - 12' POLE	65	65	6676
	5	RL1	0.900	KENALL #MS11EL-PP-MW-20L35K-DCC-DC	23.7	118.5	1975

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ENTIRE SITE	Illuminance	Fc	1.67	32.6	0.0	N.A.	N.A.
PARKING AND DRIVES	Illuminance	Fc	1.97	26.4	0.1	19.70	264.00

**GUEST HOUSE**  
 400 TRINITY DRIVE  
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DRAWN BY \_\_\_\_\_ Author  
 REVIEWED BY \_\_\_\_\_ Approver  
 DATE 01/28/2025  
 PROJECT NO 60561

DRAWING NAME  
**ELECTRICAL SITE LIGHTING SCHEDULES AND STATISTICS**

SHEET NO  
**EP102**



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DRAWN BY	DEKKER
REVIEWED BY	DEKKER
DATE	01/28/2025
PROJECT NO	23-0069

DRAWING NAME  
**EXTERIOR ELEVATIONS**

SHEET NO  
**AEL 1**

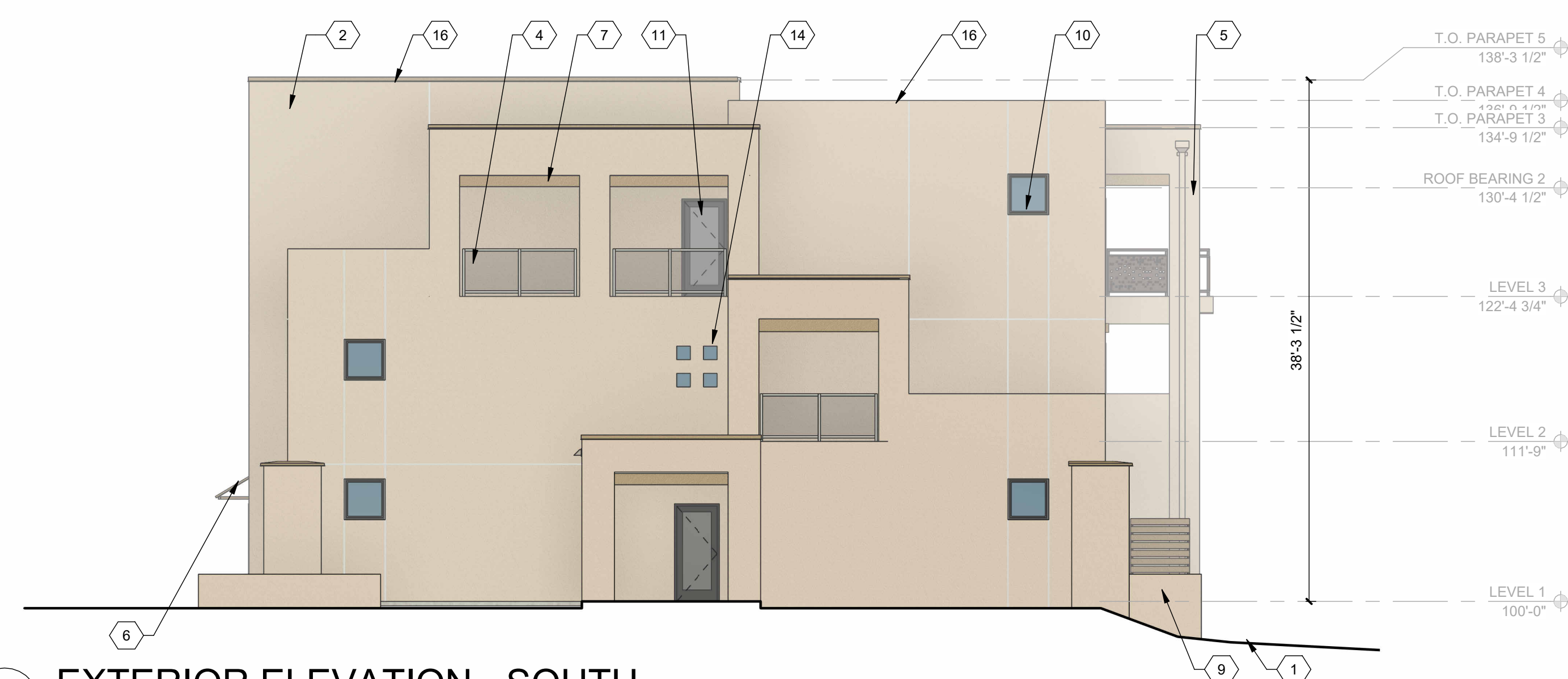
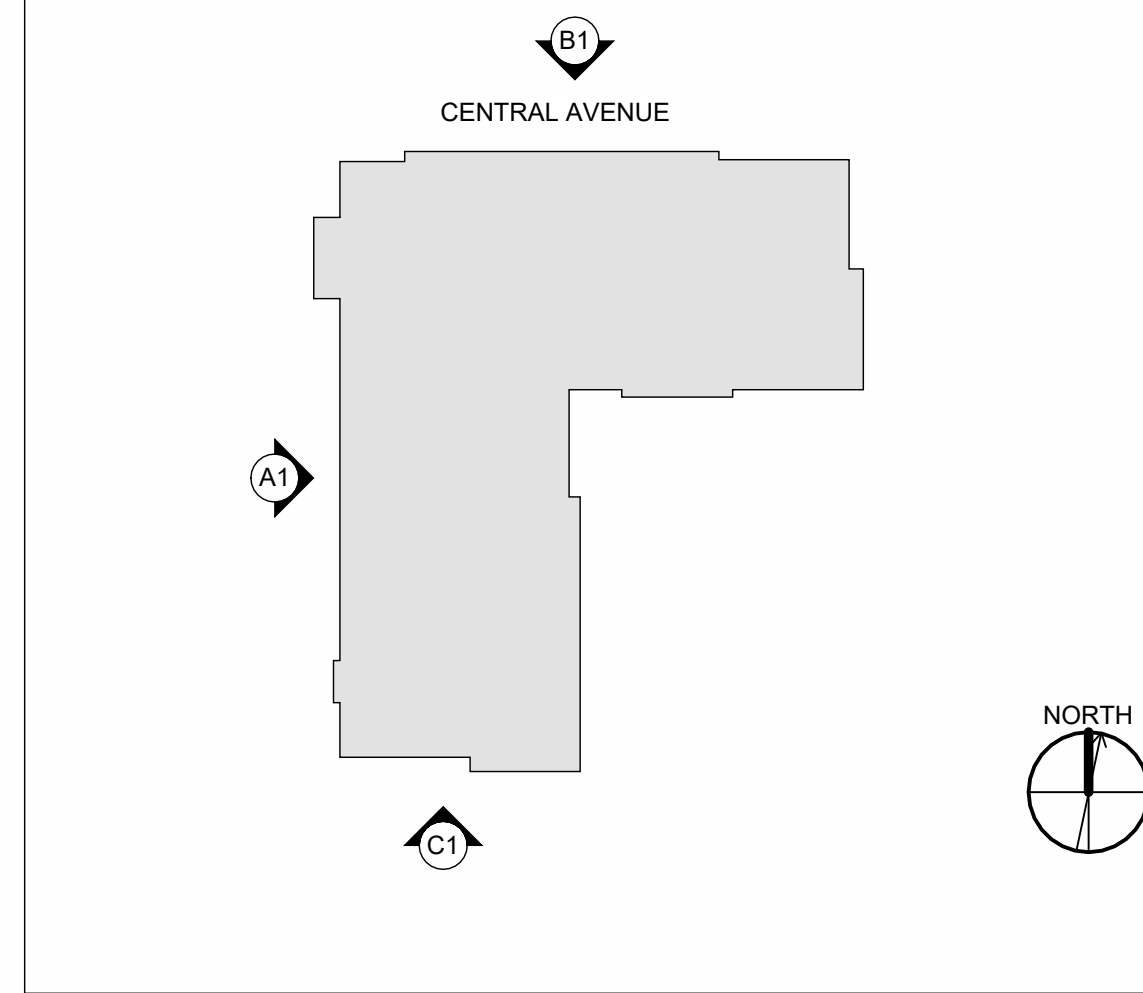
### SHEET KEYNOTES

1. FINISH GRADE
2. STUCCO FINISH, EARTHTONE AND PASTEL COLORS OF NON-EARTHTONE HUES, WHITES, GRAYS
3. BALCONY SOLID GUARDRAIL, STUCCO FINISH OR SOLID PANEL
4. BALCONY OPEN GUARDRAIL, PAINTED STEEL, SOLID PANEL OR GLASS
5. FRAMED COLUMN WITH STUCCO FINISH
6. METAL ROOF, SLOPED TO DRAIN
7. EXPOSED WOOD OR STUCCO FINISHED COLUMN, BEAM
8. WOOD ROOF STRUCTURE, SLOPED TO DRAIN
9. FRAMED PRIVACY WALL - STUCCO FINISH, CMU WITH INTEGRAL COLOR OR NATURAL STONE
10. WINDOW WITH CLEAR GLAZING AND NEUTRAL COLORED FRAME
11. FULL LITE DOOR WITH CLEAR GLAZING AND NEUTRAL COLORED FRAME
12. FULL LITE DOOR AND TRANSOM WITH CLEAR GLAZING AND NEUTRAL COLORED FRAME
13. FULL LITE SLIDING DOOR WITH CLEAR GLAZING
14. GLASS BLOCK OR PUNCHED OPENING WITH CLEAR GLAZING
15. METAL GLAD DOOR, EARTHTONE AND PASTEL COLORS OF NON-EARTHTONE HUES, WHITES, GRAYS
16. PARAPET WITH MANUFACTURED METAL COPING OVER CONTINUOUS WATERPROOFING (COLOR TO MATCH STUCCO FINISH OF ADJACENT EXTERIOR WALLS)
17. ALUMINUM STOREFRONT SYSTEM
18. ALUMINUM STOREFRONT DOOR
19. STUCCO FINISH, EARTHTONE AND PASTEL COLORS

### LEGEND

- STUCCO\_EARTHTONE AND PASTEL COLORS OF NON-EARTHTONE HUES, WHITES, GRAYS
- STUCCO\_EARTHTONE AND PASTEL COLORS

### KEY PLAN



**C1 EXTERIOR ELEVATION - SOUTH**  
1/8" = 1'-0"



**B1 EXTERIOR ELEVATION - NORTH**  
1/8" = 1'-0"



**A1 EXTERIOR ELEVATION - WEST**  
1/8" = 1'-0"

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**C1** EXTERIOR ELEVATION - EAST  
1/8" = 1'-0"



**B1** PARTIAL EXTERIOR ELEVATION - COURTYARD - EAST  
1/8" = 1'-0"

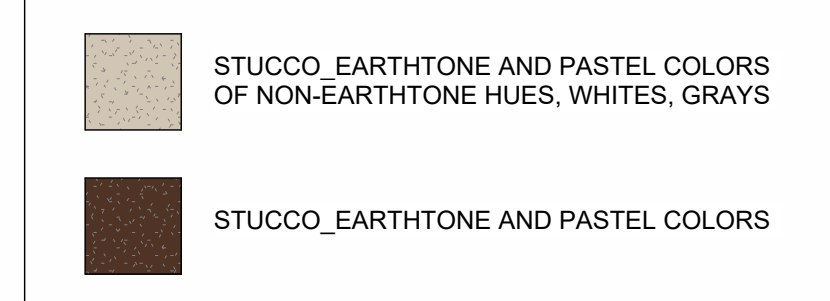


**A1** PARTIAL EXTERIOR ELEVATION - COURTYARD - NORTH  
1/8" = 1'-0"

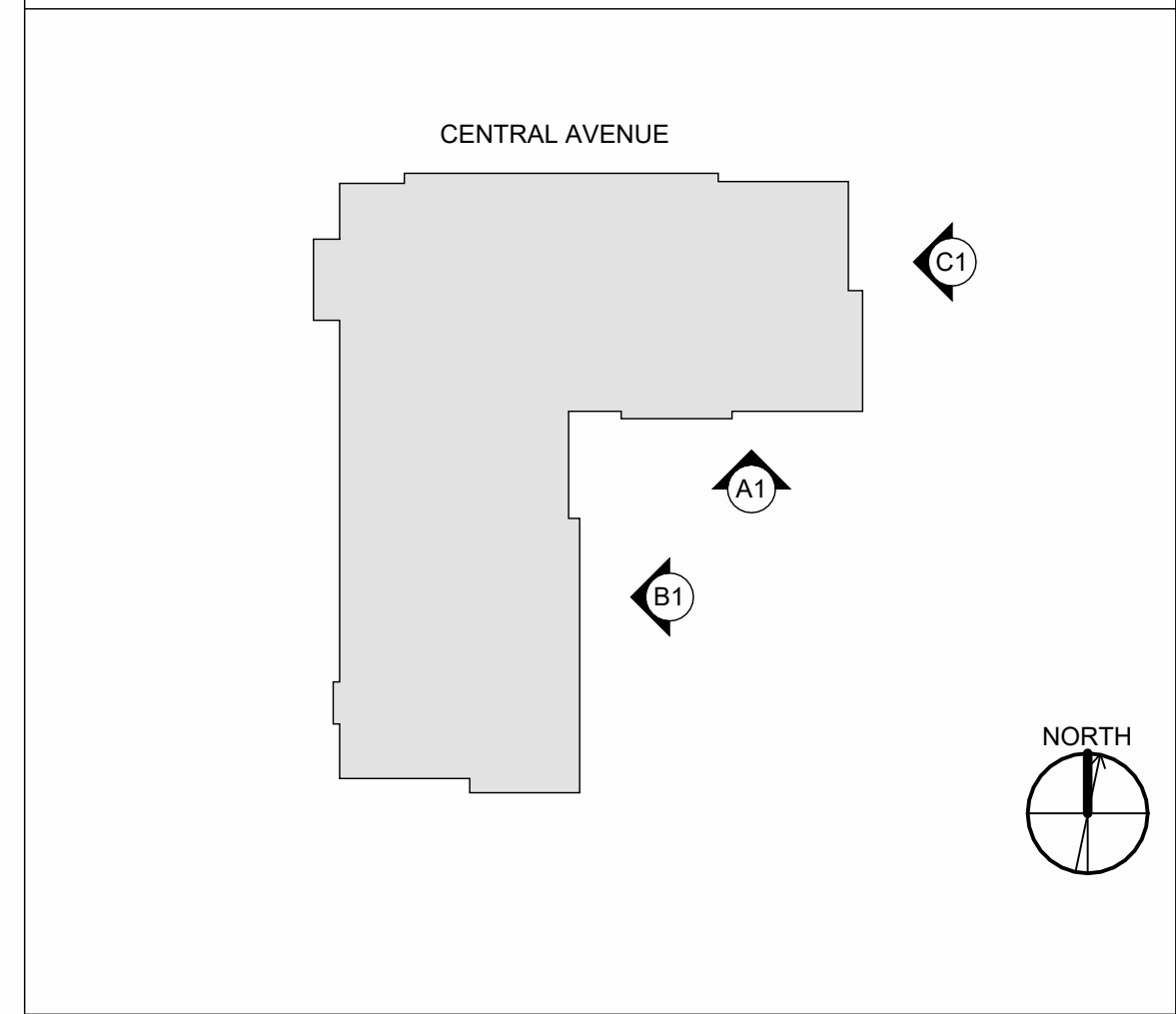
**SHEET KEYNOTES**

1. FINISH GRADE
2. STUCCO FINISH, EARTHTONE AND PASTEL COLORS OF NON-EARTHTONE HUES, WHITES, GRAYS
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17. ALUMINUM STOREFRONT SYSTEM
18. ALUMINUM STOREFRONT DOOR
19. STUCCO FINISH, EARTHTONE AND PASTEL COLORS

**LEGEND**



**KEY PLAN**



**Dekker**

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REVIEWED BY	DEKKER
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PROJECT NO	23-0069

DRAWING NAME  
**EXTERIOR ELEVATIONS**

SHEET NO  
**AEL 2**