APPLICATION INDEX

01 APPLICATION

LOS ALAMOS
Community Development—Planning
1000 Central Ave, Suite 150
Los Alamos, NM 87544
505.662.8120
planning@lacnm.us

DEVELOPMENT APPLICATION

PROJECT INFORMATION

Title: The Guest House

Project Address: 400 Trinity Drive

Description:
The Guest House is a hotel, short and extended stay residence with 60 units on the corner of Trinity Drive and Central Avenue.

Check all application types, if applicable:

- ☐ Administrative Deviation ... *$25*
- ☐ Administrative Wireless Telecom ... $250
- ☐ Encroachment Permit ... $25
- ☐ Temporary Use Permit ... *$25*
- ☐ Comprehensive Plan Adoption & Amendment*... $250
- ☐ Conditional Use Permit* ... *$300*
- ☐ County Landmark or Historic District Adoption/Amendment* ... *$250*
- ☐ Development Plan* ... *$500*
- ☐ Major Development Plan Amendment* ... *$500*
- ☐ Minor Development Plan Amendment ... *$250*
- ☐ Summary Plat... *$100 plus $25 lot; $10 / acre for non-residential*
- ☐ Sketch Plat, Subdivision*... *$250 plus*
  $175/lot (1-10 lots)
  $125/lot (11-30 lots)
  $75/lot (30+ lots)
- ☐ Preliminary Plat, Subdivision* ... *$250 plus*
  $175/lot (1-10 lots)
  $125/lot (11-30 lots)
  $75/lot (30+ lots)
- ☐ Final Plat, Subdivision* ... *$250 plus*
  $175/lot (1-10 lots)
  $125/lot (11-30 lots)
  $75/lot (30+ lots)
- ☐ Landscaping Plan ...$500
- ☐ Lighting Plan ...$500
- ☑ Site Plan* ... *$500 plus*
  $75 per/Million $ estimated construction cost
  Estimated Construction Cost: _____
- ☐ Major Site Plan Amendment* ... *$500*
- ☐ Minor Site Plan Amendment ... *$250*
- ☐ Major Zone Map Amendment* ... *$150*
  No fee if initiated by County Council or County Manager
- ☐ Minor Zone Map Amendment* ... *$150*
  No fee if initiated by County Council or County Manager
- ☐ Master Plans* (Major, Minor) ...$250
- ☐ Text Amendment* ... *$150*
  No fee if initiated by County Council or County Manager
- ☐ Variance ... *$250*
  No fee if application is a part of a Site Plan review
- ☐ Administrative Wireless Telecommunication Facility ... *$250*
- ☐ Discretionary Wireless Telecommunication Facility* ... *$500*
- ☐ Small Wireless Facility ...$250
- ☐ Major Historic Demolition* ... *$250*
- ☐ Major Historic Property Alteration Certification* ... *$250*
- ☐ Minor Historic Property Alteration Certificate ... $250

**** Application reviews require a pre-application meeting.***

ATTACHMENT A

PROPERTY & OWNER INFORMATION

Property Address:	400 Trinity Drive *Address*	Los Alamos *City*	NM *State*	87544 *ZIP*

Zoning District: DTLA	Lot Size - Acres / Sq. Ft.: 1.80
Existing Structure(s) Sq. Ft.:	Lot Coverage: 22 %

Property Owner(s) Name: Ocean Rock Capital Partners and Grand Mesa Partners 400 Trinity Drive Hilltop Owners LL(

Owner(s) Email: tsharp@oceanrockcp.com

Owner(s) Phone(s)#:

☑ Owner's Address same as Property Address

Owner(s) Address:	*Address*	*City*	*State*	*ZIP*

APPLICANT / OWNER'S AGENT INFORMATION

☐ Applicant is same as Owner

Applicant Name: Agent - Dekker, Will Gleason

Applicant Address:	7601 Jefferson St NE Suite 1 *Address*	Albuquerque *City*	NM *State*	87114 *ZIP*

Applicant Email: wgleason@dekkerdesign.org

Applicant Phone(s)#: 505-761-9700

ASSOCIATED APPLICATONS

Application Type: N/A

Case Number:

I hereby certify and affirm, under penalty of perjury, that the information I have provide in this application is true and accurate to the best of my knowledge, information, and belief. [NMSA 1978, §30-25-1]

Signature: 	Date: 11/04/24

STAFF USE ONLY

Date Received: 11/04/24	Staff:
Case No.#: SIT-2024-0070	Meeting Date:

SUBMITTALS

☐ Proof of Ownership or Letter of Authorization from Owner

☐ Items from associated Application Checklist

☐ Complete Application – Date: _____

☐ Payment – Accepted upon verification of a complete application - Date: _____

ATTACHMENT A

LOS ALAMOS
Community Development—Planning
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SITE PLAN ADOPTION/ MAJOR AMENDMENT

Applicants for all development application reviews must complete this checklist and submit it with the Development Application. Refer to the referenced code sections for additional information. Contact the Planning Division with questions regarding these requirements: planning@lacnm.us.

PRE-APPLICATION MEETING

Date Held: October 15, 2024

APPLICATION TYPE

- ☒ Site Plan Adoption
- ☐ Major Amendment to an approved Site Plan

PLANS

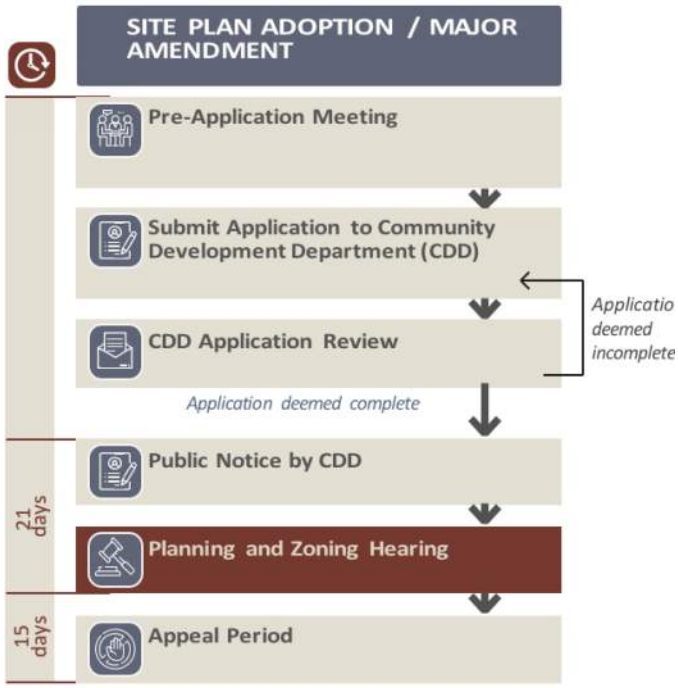
Scaled plans at a minimum of 1" = 100' that illustrates the following:

- ☒ Site Plan
  - ☒ Graphic Scale and North Arrow
  - ☒ Property Lines according to recorded survey
  - ☒ Existing and proposed structures
  - ☒ Existing and proposed easements
  - ☒ Existing and proposed setbacks
  - ☒ Existing and proposed utility lines
  - ☒ Existing and proposed fencing
  - ☒ Existing and proposed signage
- ☒ Parking Plan
  - ☒ Access and parking related to site
  - ☒ Parking analysis based on proposed use
  - ☒ Width of aisle(s)
  - ☒ Parking stall dimensions
- ☒ Lighting Plan
  - ☒ Proposed lighting that notes the Correlated Color Temperature, Color Rendering Index, Lumens and all other attributes related to lighting to show compliance with Ch. 16, Division 6: Outdoor Lighting.
- ☒ Landscaping Plan
  - ☒ Existing plant material, amount and species & size
  - ☒ Proposed plant material, amount and species & size

ELEVATIONS

Elevations drawing(s) at a minimum scale of 1/8" = 1' that indicate:

- ☒ Height (above existing grade) of all four sides
- ☒ Materials and colors



See Reverse.

LOT COVERAGE

Existing (%): 0

Proposed (%): 22%

IMPACT REPORTS 16-72 (e)

May be required per Table 50 of Development Code:

- ☐ Grading and Erosion Control Plans
- ☐ Stormwater Drainage Report
- ☐ Traffic Generation Report
- ☐ Utility Capacity Analysis Report
- ☐ Soils Report

ADDITIONAL SUBMITTALS

Based on staff's review and Interdepartmental Review Committee's recommendation – additional submittals may be required and will be communicated to the applicant by the assigned Case Manager.

DECISION CRITERIA 16-74-(i)(4)

a. The Site Plan substantially conforms to the intent and policies of the Comprehensive Plan and other adopted County policies and plans. Explain.

See attached justification letter

- ☐ *Staff finds that this criterion has been met*
- ☐ *Staff finds that this criterion has not been met – more information is needed*

b. If the subject property is within an approved Master Plan, the Site Plan is in conformance with any relevant standards in the Master Plan. Explain.

See attached justification letter

- ☐ *Staff finds that this criterion has been met*
- ☐ *Staff finds that this criterion has not been met – more information is needed*

c. If the subject property is within an approved PD zone district, the Site Plan is consistent with any applicable terms and conditions in any previously approved PD zoning covering the subject property and any related development agreements and/or regulations. Explain.

See attached justification letter

☐ *Staff finds that this criterion has been met*

☐ *Staff finds that this criterion has not been met – more information is needed*

d. The Site Plan is in conformance with all applicable provisions of this Code and other adopted County regulations. Explain.

See attached justification letter

☐ *Staff finds that this criterion has been met*

☐ *Staff finds that this criterion has not been met – more information is needed*

e. The County's existing public infrastructure and services, including but not limited to water, sanitary sewer, electricity, gas, storm sewer, streets, trail and sidewalks have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated in compliance with the County's construction standards to the maximum extent practicable. Explain.

See attached justification letter

☐ *Staff finds that this criterion has been met*

☐ *Staff finds that this criterion has not been met – more information is needed*

DECISION CRITERIA 16-74-(i)(4)

f. The Site Plan mitigates any significant adverse impacts to properties within the vicinity to the maximum extent practicable. Explain.

See attached justification letter

☐ *Staff finds that this criterion has been met*

☐ *Staff finds that this criterion has not been met – more information is needed*

g. Provisions shall be made to serve the development with tot lots and/or neighborhood parks in accordance with the Comprehensive Plan. A fee may be paid as approved by County Council to accomplish the purpose of the Comprehensive Plan in lieu of the development of tot lots or neighborhood parks. Explain.

See attached justification letter

☐ *Staff finds that this criterion has been met*

☐ *Staff finds that this criterion has not been met – more information is needed*

Attach additional sheets, if needed.

02 OWNER AUTHORIZATION

LOS ALAMOS
Community Development—Planning
1000 Central Ave, Suite 150
Los Alamos, NM 87544
505.662.8120
planning@lacnm.us

Case No. _____

OWNER AFFIDAVIT

(Authorizing an agent to act on behalf of a property owner when making a land development application.)

STATE OF NEW MEXICO)
) ss.
COUNTY OF LOS ALAMOS)

I, (We) Grand Mesa Partners 400 Trinity Drive Hilltop Owners LLC being duly sworn, depose and say that (*I am*) (*we are*) the owner(s) of property located at 400 Trinity Drive, Los Alamos New Mexico, legally described as see attached legal description of property, for which (*I am*) (*we are*) requesting a site plan approval *(conditional use permits; sketch, preliminary and final plats; site plan; variance; zone change; subdivision; summary plat; temporary use permit; telecommunication facility; historic property; or development plans*) through the County of Los Alamos, New Mexico. Furthermore, (*I*) (*we*) hereby appoint Rebecca Shank and Will Gleason of Dekker as our agent to act on our behalf in all matters pertaining to this application.

Signed: _____ 11/8/2024 David T. Sharp

Address: 23823 Malibu Rd. Suite 343

Malibu CA, 90265

Telephone: 310.854.2771

Signed: _____

Address: _____

_____

Telephone: _____

Subscribed and sworn to before me this

8th *day of* November, 20 24.

Please see attached

Notary Public

My Commission Expires: _____

CALIFORNIA JURAT **GOVERNMENT CODE § 8202**

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

Subscribed and sworn to (or affirmed) before me on this 8th (Date) day of November (Month), 2024 (Year), by

(1) David T. Sharp

(and (2) _____),

Name(s) of Signer(s)

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

MICHAEL M. JARRARD
Notary Public - California
Los Angeles County
Commission # 2378668
My Comm. Expires Oct 16, 2025

Signature _____

Place Notary Seal and/or Stamp Above *Signature of Notary Public*

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Owner Affidavit

Document Date: November 8th, 2024 Number of Pages: _____

Signer(s) Other Than Named Above: _____

ATTACHMENT A

LEGAL DESCRIPTION OF PROPERTY

Street Address: 400 Trinity Drive, Los Alamos, New Mexico 87544

Legal Description:

Consolidated Tract S, Eastern Area 2, as shown on plat entitled "#400 Trinity Drive Boundary and Class A ALTA/ ACSM Land Title Survey Prepared for the Hilltop House, LLC...", recorded on September 23, 2005, in Book 131, page 810, as Document No. 185925.

October 31, 2024

Desirae Lujan
Senior Planner
Los Alamos County Community Development
1000 Central Ave Suite 150
Los Alamos, NM 87544

Re: ***UC Guest House Application Submittal – Authorization Letter***
400 Trinity
Los Alamos, New Mexico 87544

Dear Desirae Lujan,

The purpose of this letter is to authorize Dekker to act as our Agent on the submittal to the County for Site Plan approval for UC Guest House in Los Alamos, NM. If you have any questions or need clarification of anything contained herein, please contact me via email at tsharp@oceanrockcp.com or by phone at 310.854.2771.

Sincerely,

D. Tucker Sharp
Managing Member
Grand Mesa Partners 400 Trinity
Drive Hilltop Owners LLC

ATTACHMENT A

03 JUSTIFICATION LETTER

Dekker
Architecture in Progress

December 30, 2024

To: Desirae Lujan, Community Development Senior Planner
Los Alamos County Community Development Department
1000 Central Ave Suite 150
Los Alamos, NM 87544

Re: ***The Guest House Hotel Site Plan Request***
400 Trinity Rd, Los Alamos, NM 87544

Dear Ms. Lujan,

Dekker, as the agent for the owners of 400 Trinity Drive in Los Alamos, is requesting a Site Plan approval to facilitate the development of the Los Alamos Guest House hotel (the "Guest House"), a welcoming gateway to the Los Alamos Downtown district. Located on an approximately 1.8-acre lot at the juncture of Central Ave. and Trinity Drive, this thoughtfully designed three-story, 60-unit short and extended stay hotel and will provide a welcoming gateway for visitors, professionals, and extended-stay guests alike.

The Guest House will showcase the unique aesthetic of northern New Mexico, with a design that complements the character of Los Alamos. Offering a variety of single and double bed guest, accommodations as well as suite accommodations which will feature kitchenettes. The Guest House is tailored to meet a diverse array of visitor needs. Shared guest amenities, a 3rd floor terrace with scenic views, a bocce ball court, fire pit, and inviting outdoor seating and gathering areas, foster community and relaxation. A conference space just under 1,000 square feet is available for booking on the first floor make the Guest House an ideal venue for local events and gatherings, enhancing its role in the community. As a new destination for limited-stay visitors, the Guest House hotel aims to create a vibrant, welcoming gateway into the Downtown district.

The subject site is located within the Downtown Los Alamos (DTLA) Zone District. Hotel use is a permissive use within this zone district. This development meets all requirements of the Development Code and conforms to the goals and policies identified in the Los Alamos County Comprehensive Plan. The following outlines the proposed development's compliance with the site plan criteria found in the Los Alamos County Code of Ordinances Sec. 16-74-(i)(4) a through g.

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a. The site plan substantially conforms to the intent and policies of the comprehensive plan and other adopted county policies and plans.

Applicant Response: *The proposed development advances multiple Comprehensive Plan Core Themes and their associated goals as outlined below.*

Core Themes:
HOUSING, NEIGHBORHOODS and GROWTH

- Providing more choices in housing, especially downtown

DEVELOPMENT, REDEVELOPMENT and DOWNTOWN

- Focusing development priorities downtown
- Guiding development to property in and around current boundaries

Applicant Response: *The Guest House project aligns with the Housing, Neighborhoods, and Growth theme by expanding lodging options that support more varied short-term housing choices in downtown Los Alamos. By introducing a hotel with short and long-term stay options in a key downtown location, the development enhances flexibility for visitors and business travelers, while preserving the established character of existing downtown and adjacent neighborhoods. It aims to help lessen the demand for short-term rentals across the County, thereby freeing up more inventory in the existing Los Alamos housing stock for renters. This project helps meet the demand for accessible, convenient lodging that aligns with community growth objectives and maintains a balanced, welcoming environment for residents and visitors alike.*

Under the Development, Redevelopment, and Downtown theme, the project prioritizes downtown revitalization through targeted infill development on an underutilized, prominent location. This approach directs growth where infrastructure is already established, reinforcing the downtown core as a focal point of economic activity while preserving the community's surrounding areas. Additionally, the project's design supports the downtown's walkability, advancing the community's goal of creating a lively, accessible downtown space that enhances the area's unique character.

Growth Goals:

9. Revitalize and eliminate blight in the downtown areas of Los Alamos and White Rock
10. Promote growth in the downtown
11. Enhance community pride

Applicant Response: *The subject property, positioned at the prominent eastern gateway into Downtown Los Alamos where Trinity Drive meets Central Avenue, holds a unique role in enhancing community pride and vitality. This infill development revitalizes a long-vacant and deteriorated parcel, previously home to the Hilltop House, which had been left in an unsightly and potentially unsafe condition for some time. Redeveloping this blighted site will be transformative for the entrance to Downtown Los Alamos, creating an inviting and vibrant gateway.*

The proposed project places hotel guests within walking distance of downtown shops and restaurants, offering a chance to connect to local culture and commerce. With thoughtfully designed architecture inspired by northern New Mexico, the project will foster a sense of pride for the community, turning a former eyesore into a downtown asset. Visitors will experience a lively, welcoming entrance into Los Alamos that celebrates its heritage and community spirit, showcasing what Downtown has to offer. This gateway project marks a significant step in promoting growth, revitalizing the area, and celebrating the vibrancy of Los Alamos' downtown district.

Development Goals:

1. Keep the focus of development primarily within current development boundaries
3. Enhance and maintain a vibrant downtown while keeping a small-town character and feel

Applicant Response: *The proposed development aligns with* ***Development Goal 1*** *by focusing on infill within the existing DTLA zone district boundaries. By revitalizing a currently vacant gateway parcel, this project supports efficient land use within established development limits, reinforcing the commitment to concentrate growth within defined downtown boundaries. In line with* ***Development Goal 3****, the project contributes to a vibrant downtown while respecting and preserving its small-town character. The scale of the development complements the surrounding*

medium-density residential areas, providing a gradual transition to the denser urban center planned for the neighboring Mari Mac site. Its design is well-suited to the relatively small parcel, accommodating essential parking and providing additional on-site amenities. The architectural design reflects the northern New Mexico style, seamlessly connecting outdoor spaces with the building. This approach fosters a cohesive and welcoming atmosphere, invigorating downtown Los Alamos while maintaining its distinct small-town feel.

Redevelopment Goals:

1. Redevelop vacant blighted areas and underutilized properties
2. Encourage infill development on underused or blighted sites

Applicant Response: *The proposed development aligns closely with* ***Redevelopment Goal 1*** *by transforming a previously vacant, blighted lot at the entrance of Downtown Los Alamos into a productive and visually appealing site. By redeveloping this underutilized parcel, the project addresses blight directly, converting an eyesore into a vibrant gateway that enhances the overall appeal of the downtown district. In support of* ***Redevelopment Goal 2****, the project exemplifies strategic infill development by utilizing this vacant parcel to introduce a hotel and extended stay accommodations. This new development provides amenities and creates engaging spaces with outdoor seating, a fire pit, and a bocce ball court. The inclusion of these communal features not only activates the area but also revitalizes a long-neglected portion of downtown, breathing new life into a critical entry point and enriching the downtown experience.*

Downtown Goals:

1. Create a vibrant, pedestrian-friendly downtown that includes a central gathering place, nighttime entertainment, and more retail stores and restaurants
2. Focus development priorities downtown
4. Enhance the vibrant, historic, smalltown character of the County by focusing commercial density increases in the downtown areas

Applicant Response: *The proposed Guest House development supports* ***Downtown Goal 1*** *by introducing a vibrant hotel and short-term stay option in a key downtown location, transforming a vacant lot into an active space where visitors can easily access local shops, restaurants, and entertainment. The pedestrian-friendly design includes safe, streetscaped sidewalks that encourage guests to explore the area on foot, adding vitality to the downtown atmosphere. The development also offers a conference room, lounge, and outdoor gathering spaces, providing an additional venue for community events and reinforcing downtown as a central hub for social interaction and nighttime entertainment.*

In alignment with ***Downtown Goal 2****, the project prioritizes infill development within the DTLA zone, concentrating growth in downtown Los Alamos on an underutilized lot. This infill approach strengthens the downtown economy and preserves surrounding residential neighborhoods from the impact of short-term stay oversaturation, focusing hospitality and commercial density in the heart of downtown.*

Consistent with ***Downtown Goal 4****, the architectural style and scale of the Guest House support Los Alamos' historic, small-town character by creating an adequate transition between the medium-density residential development surrounding the site to the higher-density development planned on the adjacent Mari Mac site. The project also advances priorities outlined in the Los Alamos County 2022 Strategic Leadership Plan and Los Alamos County Economic Vitality Strategic Plan, both of which emphasize the importance of downtown revitalization and the need for competitive, high-quality lodging options. The Guest House will provide ongoing benefits*

to the County further supporting the local economy without compromising public health, safety, or welfare.

Downtown Master Plan Goals

Applicant Response: *The proposed Guest House hotel aligns well with key goals of the Los Alamos Downtown Master Plan (Master Plan), addressing aspects of urban form, housing, transportation, economic vitality, public spaces, and sustainability:*

1. *Urban Form/Identity: The location within the Downtown zoning district encourages pedestrian-friendly development and improves adjacent streetscape through provisions for street trees that create a more welcoming pedestrian environment to access nearby shops and entertainment. Additionally, its central downtown placement complements broader placemaking efforts and is consistent with the Master Plan's branding goals to create an inviting and vibrant environment.*
2. *Housing: The development aligns with goals to diversify downtown housing, providing short-term accommodations to attract tourists and business travelers. By offering an urban lodging option, the Guest House supports the area's need for varied housing and lodging types and complements nearby residential areas without over-saturating established residential neighborhoods.*
3. *Transportation: With its emphasis on pedestrian access, the project contributes to the master plan's goals of enhancing pedestrian infrastructure downtown. Its proximity to transit options allows visitors to move easily around Los Alamos, encouraging a connected, low-impact approach to transportation in this increasingly dense downtown area.*
4. *Economic Vitality: The Guest House hotel is a new lodging facility that is needed within the county. Additionally, it furthers retail development and tourism by driving foot traffic to nearby businesses, aligning with the Master Plan's focus on recruitment of tenants that stimulate local commerce. The proposed development provides event and conference spaces that offer additional amenity spaces for the greater community. The project also aligns with strategic goals to support affordable commercial rents by utilizing an underutilized site and revitalizing the downtown area.*
5. *Public Space/Streets: The project contains quality public spaces*, including a 3rd floor terrace with scenic views, a bocce ball court, fire pit, and inviting outdoor seating and gathering areas that provide open space amenities for the downtown. The project also provides street trees for adjacent sidewalks thereby *supporting the concept of streets as vibrant public spaces where residents and visitors can safely gather and explore the area on foot.*
6. *Sustainability and Infrastructure: Future site planning could incorporate green infrastructure elements, such as native landscaping and l electric vehicle charging stations, which would align with goals for low-impact development and sustainable urban growth. The project also supports infrastructure improvement efforts as the area expands.*

By meeting these goals, the Guest House hotel reinforces the Downtown Master Plan's vision for a vibrant, sustainable, and economically resilient Los Alamos.

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b. If the subject property is within an approved Master Plan, the Site Plan is in conformance with any relevant standards in the Master Plan.

Applicant Response: *The subject property is within the Downtown Los Alamos Master Plan area. While the Master Plan itself does not establish specific development standards, its Goals and Policies for Urban Form/Identity, Housing, Transportation, Economic Vitality, Public Space/Streets, Infrastructure, and Sustainability guide the broader vision for the area and inform zoning code recommendations. The proposed Guest House hotel development aligns with this vision of the Master Plan as outlined above. The project also complies with the DTLA zone district standards outlined in the Los Alamos County Development Code, which directly implements the goals of the Downtown Master Plan. Through this compliance, the project contributes to the plan's objectives and supports a vibrant, sustainable downtown Los Alamos.*

c. If the subject property is within an approved PD zone district, the Site Plan is consistent with any applicable terms and conditions in any previously approved PD zoning covering the subject property and any related development agreements and/or regulations.

Applicant Response: *The subject property is not within an approved PD zone district.*

d. The Site Plan is in conformance with all applicable provisions of this Code and other adopted County regulations.

Applicant Response: *The zoning for this property is DTLA, Downtown Los Alamos. The proposed Guest House hotel site plan complies with the following regulations:*

DTLA Zone District	***Requirement***	***Proposed***
Front yard setback	*0 FT, minimum* *100 FT, maximum abutting Trinity Drive and 15 FT, maximum in all other cases*	*South Side abutting Trinity Drive: ±83 FT*
Side yard setback	*0 FT, minimum interior* *15 FT, minimum street-side*	*East Side: ±22 FT* *West Side: ±87 FT*
Rear yard setback	*0 Ft, minimum*	*North Side abutting Central Avenue: ±12 FT*
Building Coverage	*100%, maximum*	*±22%*
Building Height	*54 FT, maximum south of Trinity Drive within 150 FT of a property line abutting Los Alamos Canyon* *86 Ft, maximum everywhere else*	*±40 FT*
Parking Spaces	*Hotel use: 1 space per sleeping unit* *60 units x 1 = 60 spaces required*	*50 standard spaces* *1 tandem space = 2 spaces* *3 ADA spaces* *5 EV spaces = 10 spaces* *4 EV capable spaces*
	Meeting, Banquet or Event Facility: 1 space per 4 persons design capacity = 966 SF Conference Room at 1 person per 15 SF maximum capacity = 65-person capacity / 4 = 16 spaces required	
	Transit Proximity Reduction: 20% *76 spaces x 0.20 = 15 space reduction*	
	Electric Vehicle Credit: for each 1 space provided, a 2-space parking count shall apply	
	Total Required = 61 spaces	*Total Provided = 69 spaces*

Site grading would comply with the requirements of the Los Alamos County Public Works Design and Construction Standards, revised September 2008.

The site plan establishes a circulation layout that minimizes conflicts among vehicles, pedestrians, and cyclists, promoting safety for all travel modes. The property's main entrance is located on the north side along Central Avenue, with one combined entry/exit point and an exit-only point. Trinity Drive, situated on the south side, includes an additional entry/exit point. By limiting drive cuts, the design reduces pedestrian conflict points along these downtown streets, while enabling smooth vehicular circulation around the property's north rear yard and south front yard, with primary traffic flow directed along the west and south sides. The building is positioned on the east side of the property which hides the parking and site circulation behind the building and creates an attractive gateway frontage into the greater downtown district.

Pedestrian circulation is comprised of a foot path along the east side parking lot connecting to the porte-cochere, building, and open space areas. These internal pathways connect to public sidewalks to both Trinity Drive and Central Avenue. An accessible pathway is provided abutting ADA accessible parking spaces. Along with access to these sidewalk facilities, accommodations for bicyclists include bike racks with the required amount of bicycle parking spaces. This intentional circulation design provides site circulation patterns that aid safe pedestrian movement from public sidewalks and parking spaces to the building while reducing opportunities for conflict with vehicles to the greatest extent feasible.

Outdoor lighting on the site is limited to that which is useful, targeted, and not brighter than necessary. The subject property is within Lighting Zone 2 (LZ-2). The allowable total site lumens and will not exceed site lumens detailed in the table below:

Allowable Lumens	***Proposed Lumens***
20,000 lumens X 1.8 acres = 36,000 lumens	*27,977 lumens*

Parking lot lighting shall be provided by 12 light poles at 22.5 feet and 4 light poles at 12 feet. All lighting fixtures will be fully cut-off and Dark Sky compliant. The property line light trespass illuminance meets the requirements of Los Alamos Code of Ordinances Table 39.

Landscaping coverage more than meets the minimum 10% net site area; it is designed to enhance the outdoor spaces as well as adjacent street frontages. Due to constrained rights-of-way, street trees are provided on-site adjacent to the sidewalk edge to enhance the character of Trinity Drive. Along Central Ave, street trees are provided outside the property line along the street edge to enhance pedestrian experience and the DTLA urban environment.

e. The County's existing public infrastructure and services, including but not limited to water, sanitary sewer, electricity, gas, storm sewer, streets, trail, and sidewalks have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated in compliance with the County's construction standards to the maximum extent practicable.

Applicant Response: *Public services and facilities required to serve the proposed development have adequate capacity and would conform with the requirements of the County's construction standards. Pre-application meetings with relevant County Departments occurred on May 7, 2024, and October 15, 2024.*

Stormwater control measures adhering to the requirements of the Los Alamos County Public Works Design and Construction Standards, revised September 2008, are provided on site, as described in the drainage report included in the application package.

A Traffic Impact Study (TIS) was completed and approved by the Los Alamos County Engineer, in accordance with the requirements of the Los Alamos County Public Works Engineering Division.

f. The Site Plan mitigates any significant adverse impacts to properties within the vicinity to the maximum extent practicable.

Applicant Response: *The site plan effectively mitigates any potential adverse impacts on adjacent properties through thoughtful building placement, screening and shielding of light fixtures, mechanical equipment, and parking areas. The building is positioned on the east side of the property, with the parking lot located behind it, establishing a welcoming gateway frontage into downtown. The proposed three-story structure aligns with the development intensity of nearby moderate-density residential properties. Although neighborhood protection standards are not required, the proposed 40-foot height meets the intent of these standards, offering a scale that accommodates site needs like on-site parking while providing a suitable transition to denser developments planned for the downtown area, including the nearby Mari Mac site. While the site is not intended for subdivision, it has been delineated into two "lots" to accommodate current and potential future development needs. The parking area is screened from adjacent properties and meets the Development Code's minimum requirements, ensuring adequate on-site parking that prevents overflow into nearby residential areas. Landscaped areas are incorporated throughout the site, particularly along the edges and near amenity spaces, enhancing the site's visual appeal from public streets. The southern parking lot adjacent to Trinity Drive is screened by an approximately 7-foot buffer featuring street trees and shrubs, providing additional privacy and aesthetic appeal. The northern property line complies with the DTLA Central Ave alternative frontage zone to the greatest extent feasible. A 6-foot landscape buffer is located along the street edge to enhance the pedestrian experience with a buffer between persons and street traffic. The sidewalk is 6 feet wide on the east side of the property widening to the DTLA preferred 8-foot size on the western side of the property flowing deeper into the DTLA zone. This transitions smoothly into future planned development west of the subject property while maintaining newly constructed sidewalks on the eastern side toward the round-about. Outdoor mechanical equipment and service areas, such as the dumpster, will be concealed with landscaping and enclosed structures. All light fixtures will be properly shielded to minimize light spill onto adjacent properties to the maximum extent feasible, further reducing any potential impact on the surrounding area.*

g. Provisions shall be made to serve the development with tot lots and/or neighborhood parks in accordance with the Comprehensive Plan. A fee may be paid as approved by County Council to accomplish the purpose of the Comprehensive Plan in lieu of the development of tot lots or neighborhood parks.

Applicant Response: *The proposed site plan includes on-site recreational amenities, which substantially meet the requirement to serve the development with recreational facilities. These amenities include both indoor and outdoor gathering areas. Key on-site amenities include conference room, open space with outdoor seating and gathering areas, a fire pit, a 3rd floor terrace, and a bocce ball court. The primary indoor amenity spaces planned for building guests include a fitness space, bike racks, lounge spaces, and a common 3rd floor terrace offering views of Los Alamos.*

Landscaped areas with native and adaptive plantings will also contribute to the aesthetic and ecological value of the development's outdoor gathering area, providing visual interest and supporting the downtown aesthetic.

The site's pedestrian pathways connect to both Central Avenue and Trinity Drive, reinforcing multi-modal access to downtown Los Alamos and advancing the goal of a walkable, park-once district.

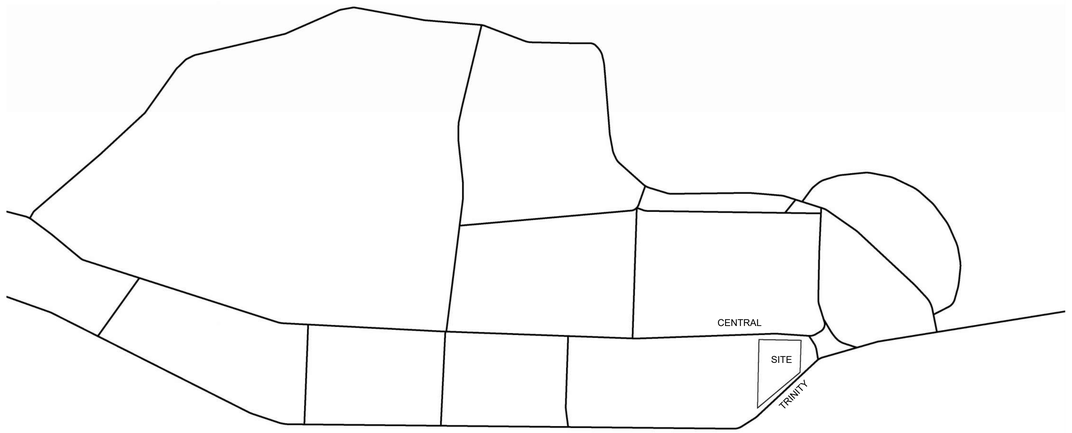
In addition to these on-site amenities, the site is within a one-mile walkable radius of numerous community amenities and recreational opportunities including shopping centers, banks, grocery stores, coffee shops, restaurants, the SALA Event Center, the Manhattan Project National Historical Park, Los Alamos Visitor Center, the East Park Trailhead, and more. This combination of on-site and nearby amenities aligns with the Comprehensive Plan's goals for creating well-connected, recreation-rich environments for residents and visitors.

Based upon the rationale presented in this letter, we respectfully request approval of the Guest House hotel Site Plan. As stated above, this request would add more short-term housing options in the County, and specifically an infill of Downtown Los Alamos. Upon completion, we feel that this project will contribute to the successful growth of Los Alamos County and further the goals stated in the Comprehensive Plan. If you have any questions or need clarification of anything contained herein, please contact me at (505)761-9700 or willg@dekkerdesign.org.

Sincerely,

William Gleason, AICP, LEED AP
Principal, Dekker
Agent for Ocean Rock Capital Partners and Grand Mesa Partners 400 Trinity Drive Hilltop Owners LLC

04 PLANS



NOTE: IMAGE IS CONCEPTUAL IN NATURE AND MAY
NOT REFLECT THE REQUIREMENTS OF THESE PLANS

DRAWING INDEX

Dekker

NOT FOR CONSTRUCTION

ARCHITECT

PROJECT

GUEST HOUSE

400 TRINITY DRIVE
LOS ALAMOS, NM 87544

GUEST HOUSE

PROJECT TEAM

OWNER
GRAND MESA PARTNERS
HILLTOP DEVELOPER LLC
23823 MALIBU ROAD, SUITE 343
MALIBU, CA 90265

CIVIL ENGINEER
ISAACSON & ARFMAN INC.
128 MONROE ST NE
ALBUQUERQUE, NM 87108
(505) 268-8828

ARCHITECT
DEKKER
7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
(505) 761-9700

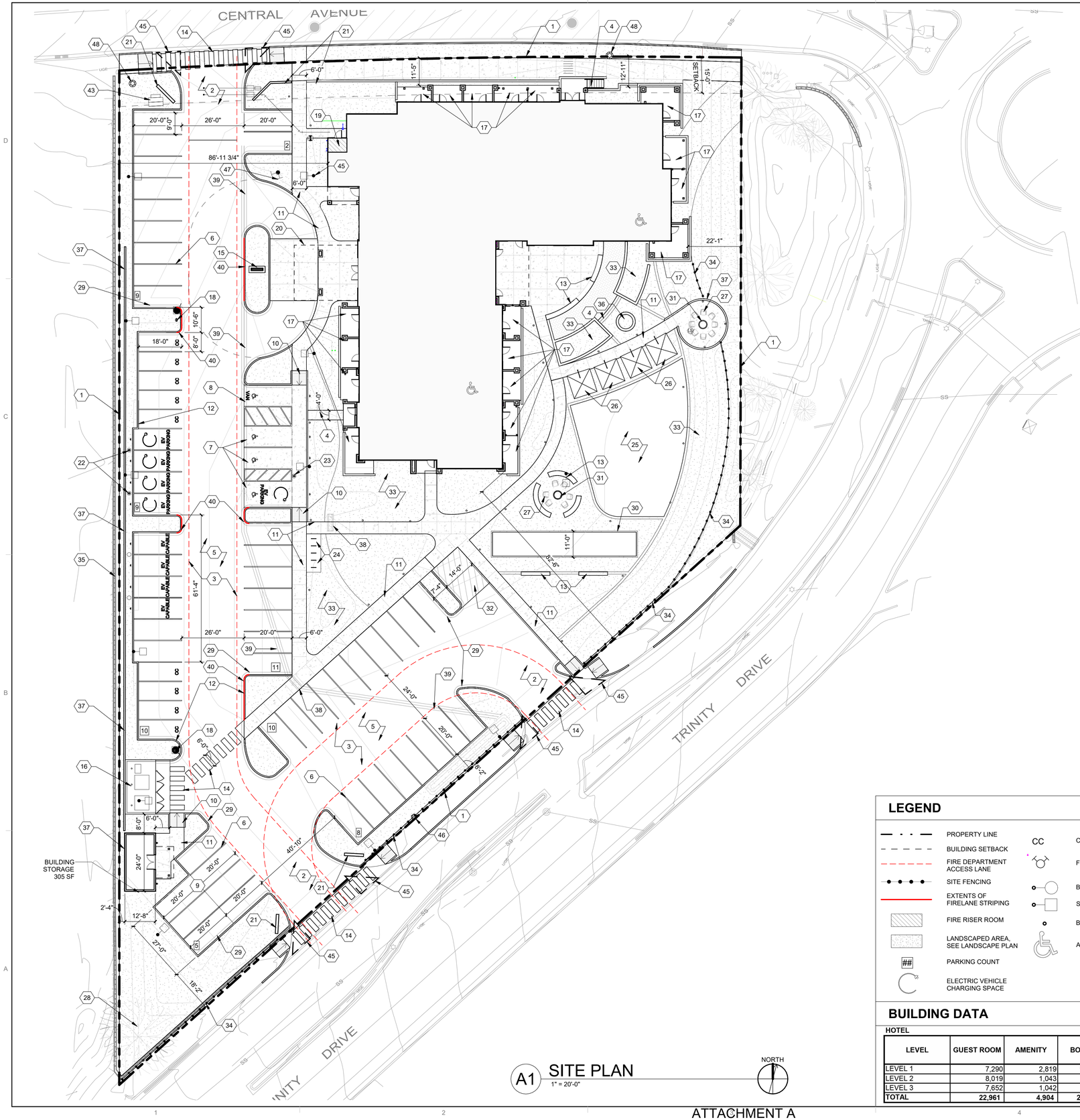
LANDSCAPE ARCHITECT
DEKKER
7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
(505) 761-9700

ELECTRICAL ENGINEER
INDOOR ENVIRONMENTS USA
1920 13TH STREET, SUITE B1
BOULDER, CO 80302
(720) 742-1587

ATTACHMENT A

DATE	11/04/2024
PROJECT NO:	23-0069

ISSUE PURPOSE



A1 **SITE PLAN**
1" = 20'-0"

GENERAL SHEET NOTES

A. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS AND GUIDELINES.
B. ALL PARKING SPACES TO BE 20'-0" 9'-0" UNLESS NOTED OTHERWISE.
C. ALL FIRE DEPARTMENT ACCESS ROADS AND FIRE LANES SHALL HAVE A CROSS SLOPE OF LESS THAN 10% AND A LOAD CAPACITY OF 75,000 POUNDS.
D. ALL FIRE DEPARTMENT ACCESS LANES AND FIRE LANES WILL ACCOMMODATE A 28' MINIMUM TRUCK TURNING RADIUS.
E. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON BOTH SIDES.
F. FDC SHALL BE WITHIN 100' OF A FIRE HYDRANT.

SHEET KEYNOTES ⬡

1. PROPERTY LINE
2. VEHICULAR ENTRY / EXIT
3. FIRE ACCESS LANE 20'-0" WIDTH STANDARD, 28' RADIUS
4. SITE STEPS
5. ASPHALT PAVED PARKING AND DRIVE
6. PARKING LOT STRIPING, 4" WIDE TYPICAL. COLOR: WHITE
7. ACCESSIBLE PARKING STALL, ACCESS AISLE AND CURB RAMP
8. VAN ACCESSIBLE PARKING STALL, ACCESS AISLE AND CURB RAMP
9. TANDEM PARKING STALLS
10. ACCESSIBLE CURB RAMP
11. CONCRETE SIDEWALK, WIDTH AS INDICATED
12. CONCRETE CURB
13. CONCRETE SEAT WALL
14. PAINTED PEDESTRIAN CROSSWALK
15. MONUMENT SIGN WITH APPROVED ADDRESS IDENTIFICATION AND LIGHTING
16. SCREENED REFUSE AND RECYCLING ENCLOSURE
17. PRIVATE PATIO / BALCONY
18. FIRE HYDRANT
19. FIRE RISER ROOM
20. COVERED ENTRY ABOVE
21. CMU WALL WITH INTEGRAL COLOR OR STUCCO FINISH
22. ELECTRICAL VEHICLE CHARGING STATION PARKING STALL
23. ELECTRICAL ACCESSIBLE VEHICLE CHARGINT STATION PARKING STALL
24. BICYCLE RACKS
25. GRASS SOD
26. FABRICATED SHADE STRUCTURE
27. SITE FURNISHINGS/SEATING AREAS
28. EXISTING TREE TO REMAIN
29. CURB AND GUTTER
30. BOCCE BALL COURT
31. GAS FIRE PIT
32. LOADING ZONE
33. LANDSCAPED AREA
34. SPLIT RAIL PERIMETER FENCE
35. EXISTING CMU WALL WITH CHAINLINK FENCE
36. WATER FEATURE OR SCULPTURE
37. SITE RETAINING WALL
38. SIDEWALK CULVERT, REF: CIVIL
39. VALLEY GUTTER, REF: CIVIL
40. FIRELANE STRIPING CURB PAINT
41. CONCRETE CURB AND GUTTER, REF: CIVIL
42. ELECTRICAL METERING EQUIPMENT
43. ELECTRICAL TRANSFORMERS
44. SITE POLE LIGHT
45. VISIBILITY SIGHT TRIANGLE
46. EXISTING STREET LIGHT POLE TO REMAIN
47. FDC CONNECTION
48. RELOCATE EXISTING STREET LIGHT POLE

PROJECT DATA

LOCATION:
400 TRINITY DRIVE, LOS ALAMOS, NEW MEXICO 87544

ZONING:
DOWNTOWN LOS ALAMOS ZONE DISTRICT (DTLA)

SITE AREA:
1.8 ACRES OR 78,408 SQ. FT.

DENSITY:
60 SLEEPING UNITS / 1.8 ACRES = 33.33 SLEEPING UNITS/ACRE

SETBACKS:

FRONT (SOUTH):	100 FT. FRONTING TRINITY MAX.
REAR (NORTH):	15 FT. STREET SIDE MAX.
SIDE (EAST):	0 FT. MIN
SIDE (WEST):	0 FT. MIN

BUILDING HEIGHT:

MAXIMUM ALLOWED:	86'-0"
PROPOSED:	40'-0"

PARKING DATA:
STANDARD PARKING DATA:
REQUIRED:
1 SPACE PER SLEEPING UNIT

60 SLEEPING UNITS X 1 =	60 SPACES REQUIRED

MEETING, BANQUET OR EVENT FACILITY -
1 SPACE PER 4 PERSONS DESIGN CAPACITY
966 SF CONFERENCE ROOM ON THE FIRST FLOOR
1 PERSON PER 15 NET SF CAPACITY

65 PERSON CAPACITY / 4 =	16 SPACES REQUIRED

20% PARKING REDUCTION DUE TO PROXIMITY TO TRANSIT

76 SPACES X .20 =	15 SPACE REDUCTION
TOTAL PARKING REQUIRED:	61 SPACES REQUIRED

PROVIDED:

STANDARD PARKING SPACES =	50 SPACES
TADEM PARKING SPACES = 1 =	2 SPACES
ACCESSIBLE PARKING SPACES =	2 SPACES
VAN ACCESSIBLE PARKING SPACES =	1 SPACE
TOTAL PROVIDED PARKING =	55 SPACES

ELECTRIC VEHICLE (EV) PARKING DATA:
REQUIRED (PER NM ENERGY CODE):

5% OF 68 PARKING SPACES TO BE EV =	4 SPACES

*WHEN NUMBER OF EV SPACES EXCEEDS THE REQUIRED MINIMUM, EV CAPABLE SPACES ARE NOT REQUIRED.

PROVIDED:

EV PARKING SPACE =	4 SPACES (3 REQUIRED, 1 ADDITIONAL)
ACCESSIBLE EV PARKING SPACE =	1 SPACE
EV CAPABLE PARKING SPACE =	4 SPACES (NOT REQUIRED, OPTIONAL)
TOTAL PROVIDED EV SPACES=	9 SPACES

1 EV SPACE COUNTS AS 2 PARKING SPACES =	14 SPACES

TOTAL PARKING PROVIDED (STANDARD AND EV) = 55+14 = 69 SPACES

BICYCLE PARKING:

REQUIRED:	51-100 PARKING SPACES = 10 BICYCLE SPACES REQUIRED
PROVIDED:	10 BICYCLE SPACES

LEGEND

— · · —	PROPERTY LINE	CC	COMPACT CAR PARKING
– – – –	BUILDING SETBACK		FIRE HYDRANT
– – – –	FIRE DEPARTMENT ACCESS LANE	○—◯	BUILDING MOUNTED LIGHT
—●—●—●—●—	SITE FENCING	○—□	SITE POLE LIGHT
—	EXTENTS OF FIRELANE STRIPING	○	BOLLARD LIGHT
▨	FIRE RISER ROOM	♿	ACCESSIBLE UNIT
░	LANDSCAPED AREA, SEE LANDSCAPE PLAN		
##	PARKING COUNT		
	ELECTRIC VEHICLE CHARGING SPACE		

BUILDING DATA

HOTEL

LEVEL	GUEST ROOM	AMENITY	BOH	STORAGE	STAIR / CORRIDOR	OCCUPIED ROOFS	EXTERIOR PATIO / BALCONY	COVERED AREA	TOTAL
LEVEL 1	7,290	2,819	1,163	186	1,719	-	1,771	1,214	16,162
LEVEL 2	8,019	1,043	598	-	1,590	335	740	-	12,325
LEVEL 3	7,652	1,042	633	-	1,506	1,382	864	-	13,079
TOTAL	**22,961**	**4,904**	**2,394**	**186**	**4,815**	**1,717**	**3,375**	**1,214**	**41,566**

Dekker

NOT FOR CONSTRUCTION

SEAL

PROJECT

GUEST HOUSE

400 TRINITY DRIVE
LOS ALAMOS, NM 87544

REVISIONS
△
△
△
△
△
△
△
△

DRAWN BY	DEKKER
REVIEWED BY	DEKKER
DATE	11/04/2024
PROJECT NO	23-0069

DRAWING NAME
SITE PLAN

SHEET NO
ASP 1

12/30/2024 11:02:55 AM

ATTACHMENT A

GENERAL CIVIL NOTES

A. THE CONTRACTOR SHALL ABIDE BY ALL STATE, LOCAL, AND FEDERAL LAWS, CODES, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA AND ADA REQUIREMENTS.

B. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED ON OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NEW MEXICO APWA & AWWA STANDARD SPECIFICATIONS FOR PUBLIC WORKS.

C. NO WORK SHALL BE PERFORMED WITHOUT THE APPROPRIATE PERMITS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION, OR PRIOR TO OCCUPANCY, AS APPROPRIATE. IF PERMITS ARE DELAYED OR ISSUED WITH CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.

D. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING OBSTRUCTIONS, AND CONDITION OF ALL EXISTING INFRASTRUCTURE PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES AND VERIFY THE ENGINEER'S INTENT BEFORE PROCEEDING.

E. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SAFETY.

F. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES.

G. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. THE CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.

H. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT STRUCTURES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

I. CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS. EQUIPMENT SHALL ONLY OBSTRUCT DESIGNATED TRAFFIC LANES IF APPROPRIATE BARRICADING PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL IN THE RIGHT-OF-WAY.

J. THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN THAT CONFORMS TO THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN BARRICADING PERMITS FROM THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.

K. THE CONTRACTOR SHALL MAINTAIN ALL BARRICADING AND CONSTRUCTION SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.

L. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS FIVE WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY DRY UTILITY ADJUSTMENTS.

M. FIVE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NM811 (811) FOR LOCATION OF EXISTING UTILITIES.

N. ALL SITE PREPARATION, GRADING OPERATIONS, FOUNDATION CONSTRUCTION, AND PAVEMENT INSTALLATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, WHICH WILL BE PROVIDED BY THE OWNER OR ARCHITECT. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED IN THE PLANS, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR NMDOT STANDARD SPECIFICATIONS FOR PUBLIC WORK (SECOND PRIORITY.)

O. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.

P. VIBRATORY COMPACTION SHALL NOT BE USED OVER IN-PLACE UTILITIES.

Q. SOIL TESTING AND INSPECTION SERVICES DURING SITE OPERATIONS ARE REQUIRED. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES, BACKFILL, AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.

R. CONTRACTOR SHALL PROVIDE CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE. PROPERTY CORNERS SHALL ONLY BE RESET BY A REGISTERED LAND SURVEYOR. ADJUST ANY RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. UTILITIES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.

S. CONTRACTOR SHALL COMPLY WITH LOCAL REGULATIONS FOR RESEEDING OF DISTURBED AREAS.

GRADING NOTES

A. GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN IN THIS PLANSET.

B. PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.

C. IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.

D. THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NDPES PERMIT, AND AN EROSION AND SEDIMENT CONTROL (ESC) PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD. (SWPPP, NPDES PERMIT, AND ESC PLAN BY OTHERS.) A CURRENT LOS ALAMOS COUNTY APPROVED ESC PERMIT MUST BE SUBMITTED AND APPROVED PRIOR TO RECEIVING A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER PERMIT. CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE WHO WILL PREPARE SWPPP AND INSPECT REQUIRED ELEMENTS.

E. MEASURES REQUIRED FOR EROSION AND SEDIMENT CONTROL SHALL BE INCIDENTAL TO THE PROJECT COST.

F. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. PAVING AND ROADWAY GRADES SHALL BE ±0.1' FROM PLAN ELEVATIONS. BUILDING PAD ELEVATION SHALL BE ±0.05' FROM PLAN ELEVATION.

G. WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH.

H. PAVEMENT GRADES IN MARKED ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. FOR ALL ACCESSIBLE ROUTES, MAXIMUM ALLOWABLE CROSS SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE WITHOUT RAMP IS 5.0%. FOLLOW ALL ADA ACCESSIBILITY GUIDELINES OR CITY CODES, WHICHEVER IS MORE STRINGENT.

I. STORMWATER QUALITY CONTROL MEASURES SHOWN ON THIS PLAN (TOP OF POND, BOTTOM OF POND, SIZE OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DETAIL SHEET FOR ADDITIONAL INFORMATION.

J. POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBLITY OF THE FACILITIES OWNER. PERIODIC INSPECTION AND CERTIFICATIONS OF THE FACILITIES MAY BE REQUIRED BY THE CITY ENGINEER. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

K. FOR ENGINEER'S CERTIFICATION OF SUBSTANTIAL COMPLIANCE (FOR CERTIFICATE OF OCCUPANCY) CONTRACTOR SHALL PROVIDE AN AUTOCAD FORMAT AS-BUILT SURVEY PREPARED BY A LICENSED SURVEYOR WHICH INCLUDES:

- AS-BUILT SPOT ELEVATIONS AT EACH DESIGN SPOT ELEVATION SHOWN ON THE APPROVED PLAN;
- TOP AND BOTTOM ELEVATIONS AS REQUIRED TO DEFINE THE PERIMETER OF PONDS (TO BE USED BY ENGINEER TO CALCULATE AS-BUILT VOLUME PROVIDED);
- POND OVERFLOW ELEVATIONS
- ALL CONSTRUCTION, INCLUDING DRAIN INLETS, PIPES AND PONDS SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE IN ORDER TO RECEIVE ENGINEER'S CERTIFICATION.

P. UPON WRITTEN REQUEST COORDINATED THROUGH THE PROJECT ARCHITECT, THE ELECTRONIC FILE OF THE GRADING AND DRAINAGE WILL BE PROVIDED TO THE CONTRACTOR FOR VERTICAL CONTROL. DO NOT USE THIS PLAN FOR PROJECT STAKING AS THERE IS NO CERTAINTY THAT IT IS USING THE MOST CURRENT SITE BASE.

Q. SITE CONSTRUCTION HORIZONTAL LAYOUT / STAKING SHALL BE COORDINATED WITH THE ARCHITECT USING THE ARCHITECT PROVIDED SITE PLAN.

STORM DRAIN NOTES

A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO PROPOSED STORM DRAINS SHOWN ON THESE PLANS INCLUDING: TRENCHING, BACKFILL, SUPPORTS, INLET AND MANHOLE COLLARS, MANHOLES, WATER QUALITY FEATURES, EROSION CONTROL FEATURES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.

B. MINIMUM COVER FOR STORM DRAIN PIPES SHALL BE 12", UNLESS OTHERWISE NOTED.

C. STORM DRAINS SHALL BE INSTALLED AFTER COMPLETION OF THE SITE ROUGH GRADING.

D. STORM DRAINS SHALL BE INSTALLED PRIOR TO SURFACE IMPROVEMENTS SUCH AS PAVEMENT, SIDEWALKS, AND LANDSCAPING.

E. CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTIONS TO ROOF DOWNSPOUTS AND ALL NECESSARY FITTINGS. FITTING COSTS SHALL BE INCIDENTAL.

F. TRENCHING, BORING, AND JACKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPEC. SECT. 700. ALL BACKFILL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY PER ASTM D-1557.

G. ALL INLET AND AREA DRAIN RINGS & GRATES, MANHOLE RINGS & COVERS, AND OTHER SURFACE ITEMS FOR THE STORM DRAINS SHALL BE ADJUSTED TO FINISHED GRADE UNLESS OTHERWISE NOTED ON THE PLANS.

H. ALL STORM DRAIN CROSSINGS OF WATER AND SEWER LINES SHALL HAVE 18" MIN CLEARANCE. IF 18" CLEARANCE IS NOT POSSIBLE, CONTACT THE ENGINEER IMMEDIATELY.

I. RCP PIPES, PP PIPES, CONCRETE INLETS, MANHOLES, AND CLEANOUTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPEC. SECT. 900.

J. HDPE PIPE SHALL BE ADS N-12 (WATERTIGHT) OR ENGINEER APPROVED EQUIVALENT. HDPE PIPE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

K. PVC PIPES SHALL BE PVC SDR-35, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

L. STORM DRAINS SHALL BE INSTALLED AT INVERTS AND SLOPES SPECIFIED ON THE PLANS. THE PIPE SHALL DRAIN AT A CONSTANT SLOPE BETWEEN FITTINGS AND MANHOLES. THE PIPE SHALL DRAIN TOWARD THE OUTLET AT ALL LOCATIONS.

PAVING NOTES

A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO PROPOSED PAVING SHOWN ON THE PAVING PLANS INCLUDING: ASPHALT AND OR CONCRETE PAVING, CURBS, GUTTERS, SIDEWALKS, RAMPS, PAVEMENT MARKINGS AND SIGNAGE. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.

B. ALL PAVING, INCLUDING ASPHALT PAVEMENT, CONCRETE PAVEMENT, CURBS, GUTTERS, SIDEWALKS, AND RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH STATE OF NEW MEXICO APWA SECTION 300.

C. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH STATE OF NEW MEXICO APWA SECTION 400.

D. ALL PAVEMENT INSTALLATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, WHICH WILL BE PROVIDED BY THE OWNER OR ARCHITECT. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED IN THE PLANS, BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE OF NEW MEXICO APWA STANDARD SPECIFICATIONS.

E. ADJUST ANY RIMS OR COVERS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. RIMS AND COVERS IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.

UTILITY NOTES

A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO PROPOSED UTILITIES SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.

B. MINIMUM COVER SHALL BE 36" FOR WATERLINES AND 48" FOR SANITARY SEWER, EXCEPT AT BUILDING CONNECTIONS.

C. UTILITY LINES SHALL BE INSTALLED AFTER COMPLETION OF THE SITE ROUGH GRADING.

D. UTILITY LINES SHALL BE INSTALLED PRIOR TO SURFACE IMPROVEMENTS SUCH AS PAVEMENT, SIDEWALKS, AND LANDSCAPING.

E. CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING PLUMBING AND ALL NECESSARY FITTINGS. FITTING COSTS SHALL BE INCIDENTAL. REFER TO THE MECHANICAL AND/OR PLUMBING PLANS FOR SERVICE CONNECTIONS

F. DRY UTILITY LOCATIONS AND DESIGN ARE NOT A PART OF THIS PLAN. CONTRACTOR SHALL COORDINATE WITH THE LOCAL DRY UTILITY COMPANIES TO DETERMINE THE SIZE, DEPTH, LOCATION, FITTINGS AND REQUIRED APPURTENANCES FOR THE DRY UTILITY SERVICE LINES ON THE SITE. REFER TO MECHANICAL AND ELECTRICAL PLANS FOR SERVICE CONNECTIONS.

G. TRENCHING, BORING, AND JACKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH STATE OF NEW MEXICO AWWA SECT. 700. ALL BACKFILL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY PER ASTM D-1557.

H. ALL WATER VALVE BOXES, MANHOLE RINGS & COVERS, AND OTHER SURFACE ITEMS FOR THE UTILITIES SHALL BE ADJUSTED TO FINISHED GRADE.

I. ALL CROSSINGS OF WATER AND SEWER LINES SHALL HAVE 12" MIN CLEARANCE. IF 12" CLEARANCE IS NOT POSSIBLE, BOTH PIPES SHALL BE ENCASED IN CONCRETE OR AS DIRECTED BY THE ENGINEER.

J. VALVES, METERS, SERVICE LINES, METER AND VALVE BOXES, TAPPING SLEEVES, HYDRANTS, AND OTHER WATER APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STATE OF NEW MEXICO APWA SECT. 800.

K. WATERLINES LESS THAN 4" DIAMETER SHALL BE COPPER TYPE K MEETING ASTM B 88 REQUIREMENTS. WATERLINES 4" IN DIAMETER OR LARGER SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS.

L. ALL FITTINGS AND COUPLINGS FOR WATERLINES LESS THAN 4" IN DIAMETER ARE TO BE COPPER, SOLDER JOINT FITTINGS IN ACCORDANCE WITH ASME 16.18 OR ASME B16.22.

M. ALL FITTINGS AND COUPLINGS FOR WATERLINES 4" IN DIAMETER OR LARGER ARE TO BE MEGA LUG MECHANICAL JOINTS OR ENGINEER APPROVED EQUIVALENT.

N. JOINTS SHALL BE RESTRAINED BY MEGA LUG HARNESSES, OR ENGINEER APPROVED EQUIVALENT. JOINT RESTRAINTS SHALL BE INSTALLED AT DISTANCES FROM THE FITTINGS AS SHOWN ON THE JOINT RESTRAINT TABLE IN THESE PLANS.

O. BACKFLOW PREVENTERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

P. FIRE LINES SHALL USE PIPE MATERIALS LISTED AND APPROVED FOR FIRE SERVICE BY UNDERWRITERS LABORATORIES.

Q. FIRE DEPARTMENT CONNECTIONS SHALL MEET UL 405, NFPA 1963, LOCAL FIRE DEPARTMENT REQUIREMENTS, AND IFC 2015.

R. ADJUST WATER AND FIRE LINES TO AVOID FOOTINGS, SEWER LINES, AND OTHER CONDUITS. INSTALL FITTINGS AS NEEDED.

S. SEWER MANHOLES, CLEANOUTS, SEWER SERVICE TAPS, AND OTHER SEWER APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STATE OF NEW MEXICO APWA SPEC. SECT. 900 AND LOCAL UTILITY COMPANY SPECIFICATIONS.

T. SEWER SERVICE LINES SHALL BE INSTALLED AT A 1% MINIMUM SLOPE, UNLESS OTHERWISE SPECIFIED ON THE PLANS. THE PIPE SHALL DRAIN AT A CONSTANT SLOPE BETWEEN FITTINGS. THE PIPE SHALL DRAIN TOWARD THE SEWER MAIN AT ALL LOCATIONS.

U. ALL SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE OR PVC SCH 40 PIPE.

V. HORIZONTAL DIRECTIONAL DRILLING SHALL BE PERFORMED IN ACCORDANCE WITH S.I.D. STANDARD SPECIFICATIONS SECTION 02246-1.

PROJECT DATA

BENCHMARK: ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC CONTROL SURVEY MONUMENT "D-81", ELEVATION = 7331.54 FT (NAVD 88)

FLOOD HAZARD: PER LOS ALAMOS COUNTY FIRM MAP 35028C0045C, DATED 7/18/2011, THE PROJECT AREA IS LOCATED IN FLOOD ZONE X OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA'S) FLOOD INSURANCE RATE.

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SEAL

CONCEPTUAL NOT FOR CONSTRUCTION

PROJECT

GUEST HOUSE
400 TRINITY DRIVE
LOS ALAMOS, NM 87544

LAC SUBMITTAL

REVISIONS

DRAWN BY	IA
REVIEWED BY	FCA
DATE	11/4/2024
PROJECT NO	I&A #2684

DRAWING NAME

CIVIL NOTES

SHEET NO

C-100

ATTACHMENT A

0 10 20 40 60

SCALE 1"=20'

KEYED NOTES

CONCEPTUAL GRADING & DRAINAGE PLAN PROVIDED FOR REVIEW

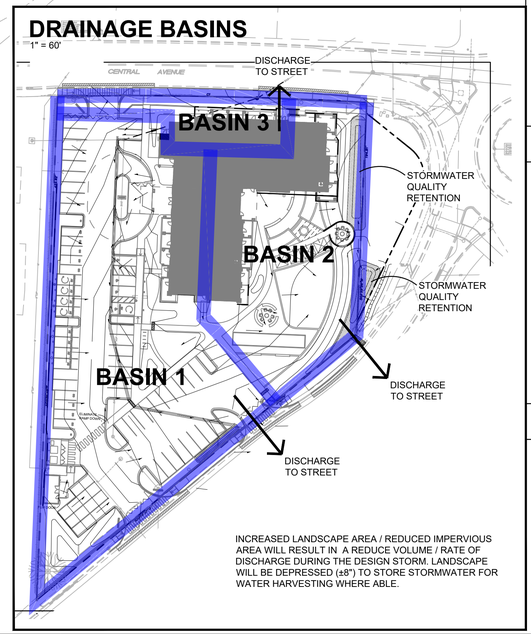
1. ONSITE PAVING AT ELEVATIONS SHOWN. 6" HIGH CURB TYPICAL. NOTE: TO ENSURE READABILITY, NOT ALL CURBS/WALKS ARE LABELED WITH BOTH FLOWLINE AND TOP OF CURB ELEVATION. ALL SPOT ELEVATIONS SHOWN WITHIN GUTTER ARE FLOWLINE ELEVATION. ADD CURB HEIGHT FOR ADJACENT TOP OF CURB ELEVATION. SEE PAVING PLAN AND DETAILS FOR CURB TYPES AND ADDITIONAL INFORMATION.
2. SMOOTH TRANSITION TO EXISTING PAVEMENT.
3. ADA COMPLIANT PARKING SPACES AND ACCESS AISLES AT ELEVATIONS SHOWN.
4. ADA COMPLIANT CURB RAMP AT ELEVATIONS SHOWN.
5. ADA COMPLIANT PEDESTRIAN ACCESS WALK AT ELEVATIONS SHOWN.
6. ADA COMPLIANT CROSSWALK AT ELEVATIONS SHOWN.
7. ROOF DISCHARGE TO BE RELEASED VIA DOWNSPOUT AT GRADE. PROVIDE PRECAST CONCRETE SPLASHPAD OR CONSTRUCT ANGULAR ROCK PAD AT OUTLET WITHIN UNPAVED AREAS.
8. 2.0' WIDE (BOTTOM WIDTH) 'U' SHAPED CHANNEL THROUGH PARKING ISLAND TO PASS STORMWATER.
9. 18" WIDE (BOTTOM WIDTH) COVERED CONCRETE SIDEWALK CULVERT.
10. 2' WIDE CONCRETE ALLEY GUTTER AT ELEVATIONS SHOWN.

ALL EROSION PROTECTION SHALL BE PLACED INSET INTO GRADE TO PERMIT STORMWATER TO PASS SMOOTHLY. CURB OPENINGS AND SWALES MUST BE SHAPED TO ENSURE RUNOFF CAN BE ACCEPTED INTO AND CONVEYED PROPERLY.

11. INSTALL 6" DEEP ANGULAR ROCK EROSION PROTECTION (3" AVG. DIA)
    - 11.1. 3' WIDE X 4" 'V' SWALE
    - 11.2. TRANSITION SLOPES > 3:1
    - 11.3. SIDEWALK CULVERT AND CURB OPENINGS
12. CONSTRUCT SITE GARDEN RETAINING WALLS (RETAINING 0.0' - 3.0') TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE STRUCTURAL FOR DETAILS INCLUDING TOTAL HEIGHT, FOOTING, WEEPHOLES, REINFORCING, ETC.

DRAINAGE BASINS

1" = 60'



INCREASED LANDSCAPE AREA / REDUCED IMPERVIOUS AREA WILL RESULT IN A REDUCE VOLUME / RATE OF DISCHARGE DURING THE DESIGN STORM. LANDSCAPE WILL BE DEPRESSED (±8") TO STORE STORMWATER FOR WATER HARVESTING WHERE ABLE.

ADA COMPLIANCE

ACCESSIBLE RAMP(S):

- TARGET LONGITUDINAL SLOPE = 7%
- LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.33%).
- TARGET CROSS SLOPE = 1% TO 1.5%.
- CROSS SLOPE SHALL NOT EXCEED 2%

ACCESSIBLE PARKING:

- TARGET SLOPE = 1% TO 1.5%.
- SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

SIDEWALK(S) AND CROSSWALKS:

- TARGET LONGITUDINAL SLOPE = 4.5%
- LONGITUDINAL SLOPE SHALL NOT EXCEED 20:1 (5%).
- TARGET CROSS SLOPE = 1% TO 1.5%.
- CROSS SLOPE SHALL NOT EXCEED 2%

LEGEND

- 4965 — EXISTING CONTOUR
- 65 — PROPOSED 1.0' CONTOUR
- ✥ 65.4 — PROPOSED SPOT ELEVATION
- FLOW DIRECTION

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SEAL

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PROJECT

GUEST HOUSE
400 TRINITY DRIVE
LOS ALAMOS, NM 87544

100% DESIGN DEVELOPMENT

REVISIONS

DRAWN BY	IA
REVIEWED BY	FCA
DATE	12/16/2024
PROJECT NO	I&A #2684

DRAWING NAME

GRADING & DRAINAGE PLAN

SHEET NO

CG-101

M:\PROJECTS\2000-2999\2684\Dwgs_BUILDING PERMIT PLANS\2684 CG-101.dwg JAN 13 01/13/2025 8:55 AM

ATTACHMENT A

AHYMO DATA FILE

```
*S*****************************************************************
*
*     2684 -               Guest House - Trinity Dr. and Central Ave.
*
*
*     PRECIPITATION FROM County of Los Alamos Public Works Design and
*     Construction Standards 2008
*     LOS ALAMOS, NEW MEXICO
*          P15 =       1.87"
*          P60 =       2.35"
*          P360 =      2.80"
*          P1440 =     2.90"
*
*     HYDROLOGIC MODEL FOR SITE EXISTING CONDITIONS
*     100-YEAR, 6-HOUR STORM
*
*     2684
*     BY ISAACSON & ARFMAN PA - FRED ARFMAN, PE / bjb
*
*S*****************************************************************
START                 TIME=0.0 HR  PUNCH CODE=0
LOCATION              NEW MEXICO
RAINFALL              TYPE=5 RAIN QUARTER=1.87 RAIN ONE=2.35
                      RAIN SIX=2.80 RAIN DAY=2.90 DT=0.033333HR
*S*****************************************************************
*S  BASIN E1 - EXISTING
COMPUTE NM HYD         ID=1 HYD NO=101 AREA= 0.002883614 SQ MI
                       PER A=0 PER B=5 PER C=3 PER D=92
                       TP=-0.1333 HR   MASS RAIN=-1
PRINT HYD              ID=1   CODE=5
*S  BASIN P1 - PROPOSED
COMPUTE NM HYD         ID=11 HYD NO=111 AREA= 0.002883614 SQ MI
                       PER A=0 PER B=15 PER C=15 PER D=70
                       TP=-0.1333 HR   MASS RAIN=-1
PRINT HYD              ID=11   CODE=5
*S  BASIN H1 - HISTORIC
COMPUTE NM HYD         ID=21 HYD NO=121 AREA= 0.002883614 SQ MI
                       PER A=0 PER B=100 PER C=0 PER D=0
                       TP=-0.1333 HR   MASS RAIN=-1
PRINT HYD              ID=21   CODE=5
FINISH
```

AHYMO OUTPUT SUMMARY

AHYMO PROGRAM SUMMARY TABLE (AHYMO-S4) - Ver. S4.01a, Rel: 01a RUN DATE (MON/DAY/YR) =11/01/2024
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COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1 NOTATION
*S**										
*S**										
START										TIME= 0.00
LOCATION		NEW MEXICO								
RAINFALL TYPE= 5										RAIN24= 2.900
*S**										
*S BASIN E1 - EXISTING					FLOWRATE (CFS)	VOLUME (AC-FT)				
COMPUTE NM HYD	101.00	-	1	0.00288	13.98	0.414	2.68883	6.033	7.575	PER IMP= 92.00
*S BASIN P1 - PROPOSED										
COMPUTE NM HYD	111.00	-	11	0.00288	13.06	0.380	2.47257	6.033	7.078	PER IMP= 70.00
*S BASIN H1 - HISTORIC										
COMPUTE NM HYD	121.00	-	21	0.00288	9.14	0.256	1.66654	6.033	4.952	PER IMP= 0.00
FINISH										

STORMWATER QUALITY

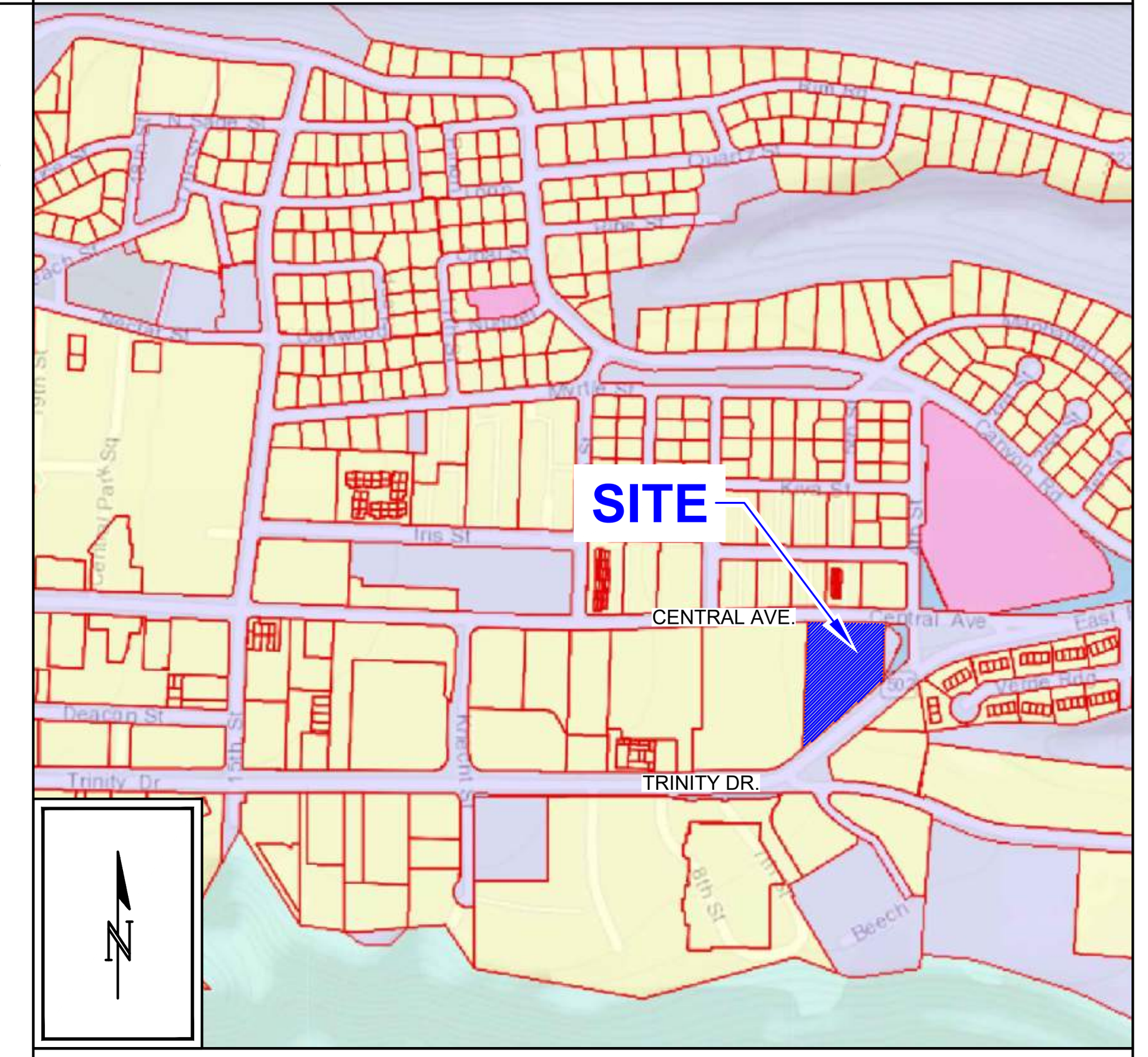
STORMWATER QUALITY RETENTION PONDING WILL INCLUDE DEPRESSED PARKING ISLANDS AND PROPOSED SURFACE RETENTION PONDS.

THE CONCEPTUAL PLAN PROVIDED WITH THIS SUBMITTAL IDENTIFIES AREAS ALONG THE EAST PROPERTY BOUNDARY THAT WILL RETAIN VOLUME WITH EXCESS OVERFLOWING TO THE SOUTH TO EXIT THE PROPERTY. OPTION TO UTILIZE SHARED LANDSCAPE ALONG THE EAST PROPERTY LINE SHALL BE COORDINATED BETWEEN THE PROPERTY OWNERS.

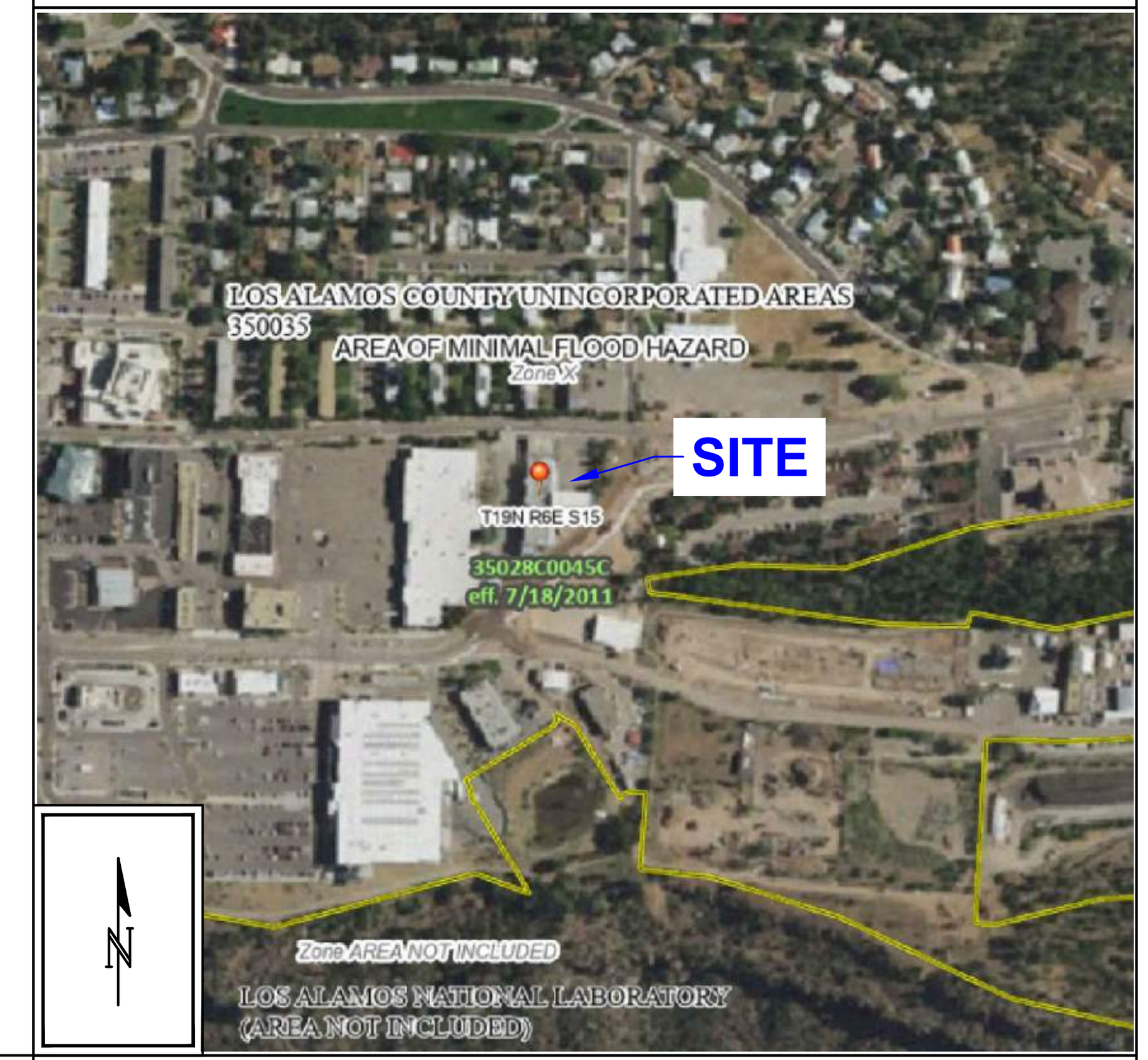
AS THE SITE DEVELOPS. FINAL LOCATIONS AND DESIGN WILL BE PROVIDED AS PART OF THE BUILDING PERMIT CONSTRUCTION DOCUMENTS.

HISTORIC IMAGE

VICINITY MAP



FEMA MAP



PROJECT INFORMATION

PROPERTY:

THE SITE IS PREVIOUSLY FULLY DEVELOPED COMMERCIAL PROPERTY. THE SITE IS BOUND TO THE SOUTH BY TRINITY DR., TO THE NORTH BY CENTRAL AVE., TO THE WEST BY FULLY DEVELOPED COMMERCIAL PROPERTY, AND TO THE EAST BY COUNTY LANDSCAPE TRACT AND PUBLIC R.O.W.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE DEMOLITION OF THE EXISTING DEVELOPMENT, CONSTRUCTION OF A MULTI-STORY MULTI-FAMILY RESIDENTIAL BUILDING WITH ASSOCIATED PAVED ACCESS AND PARKING, AND SITE LANDSCAPING AND OUTDOOR AMENITIES.

LEGAL: CONSOLIDATED TRACT S EASTERN AREA NO. 2, CITY OF LOS ALAMOS, LOS ALAMOS COUNTY, NEW MEXICO

ADDRESS: 400 TRNITY DRIVE

BENCHMARK: VERTICAL DATUM SHOWN HEREON IS BASED UPON THE NATIONAL GEODETIC CONTROL SURVEY MONUMENT "D-81"

ELEVATION = 7331.54 FEET (NAVD 88).

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: THE SUBJECT PROPERTY (AS SHOWN HEREON) LIES WITHIN ZONE "X" (AREA OF MIMIMAL FLOOD HAXARD) IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 35028C0045 C, EFFECTIVE DATE 7/18/2011.

EXISTING CONDITION:

THE PROPERTY HAS BEEN FULLY DEVELOPED (90%+ IMPERVIOUS) FOR THE PAST 30+ YEARS. THE PROPERTY SLOPES WEST TO EAST/SOUTHEAST AT ±3.5% (AVERAGE). THE MAJORITY OF SITE DISCHARGE EXITS THE PROPERTY ALONG THE SOUTH PROPERTY LINE TO ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM AT INLETS ADJACENT TO THE PROPERTY.

PROPOSED CONDITION:

THE MAJORITY OF THE SITE WILL CONTINUE TO DRAIN TO THE SOUTH / EAST, ENTER TRINITY DR., AND ACCESS THE EXISTING PUBLIC STORM DRAIN SYSTEM. TOTAL RUNOFF WILL BE REDUCED DUE TO AN INCREASE IN LANDSCAPE AND PERVIOUS SITE AMENITIES.

A PRIVATE STORM DRAIN STUB MAY BE DESIGNED AS PART OF THE FINAL DRAINAGE SOLUTION (IF REQUIRED TO ACCOMMODATE SITE USAGE) - TO BE COORDINATED WITH LOS ALAMOS COUNTY ENGINEERING.

NEW DEVELOPED RUNOFF IS BASED ON 70% IMPERVIOUS AREA. FREE DISCHARGE IS APPROPRIATE FOR THE SITE AS TOTAL DISCHARGE IS REDUCED.

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PROJECT

GUEST HOUSE
400 TRINITY DRIVE
LOS ALAMOS, NM 87544

LAC
SUBMITTAL

REVISIONS

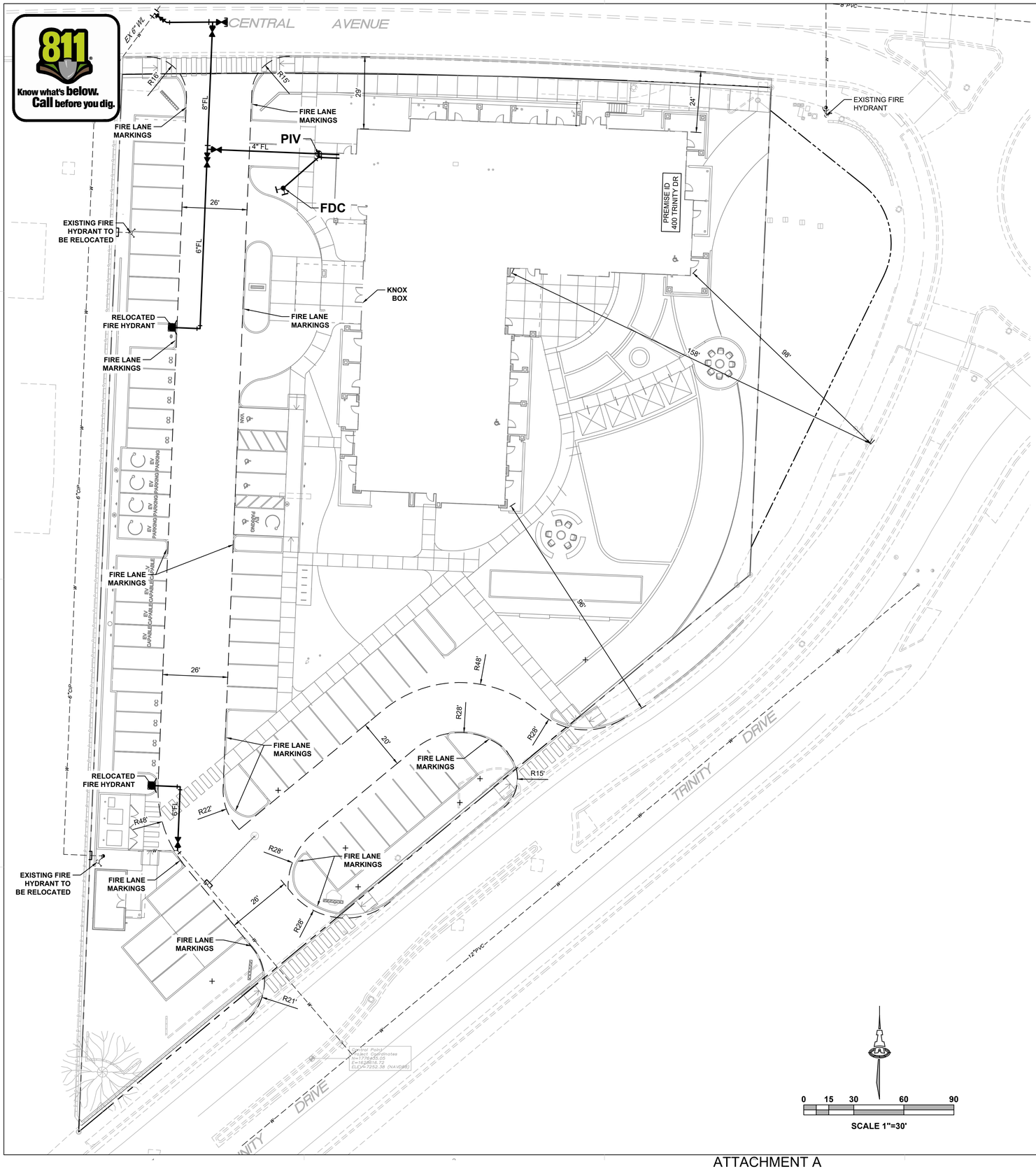
DRAWN BY	IA
REVIEWED BY	FCA
DATE	11/4/2024
PROJECT NO	I&A #2684

DRAWING NAME

GRADING & DRAINAGE NOTES AND CALCULATIONS

SHEET NO

CG-102



GUEST HOUSE COMPLEX

OCCUPANCY GROUP R-1

BUILDING IS TYPE VA
40,365 SQ. FT.
BUILDING IS SPRINKELED, NFPA-13
MIN FIRE FLOW IS 3,500 / 4 = 875 GPM.
= 1 FIRE HYDRANT

2 PROPOSED RELOCATED FIRE HYDRANTS ON SITE.
2 EXISTING FIRE HYDRANTS NEAR SITE
- 1 EAST OF SITE
  (SHOWN IN PLAN VIEW)
- 1 NORTHWEST OF SITE, ACROSS OF CENTRAL AVE
  (NOT SHOWN IN PLAN VIEW)

MAX. BUILDING HEIGHT IS 40'-0"
STAND PIPE IS REQUIRED.
HIGHEST 3RD FLOOR LEVEL IS 33'-6"

ALL FIRE DEPARTMENT CONNECTIONS SHALL HAVE A MINIMUM DISTANCE OF 3' FROM ANY PERMANENT OBJECTS. AND ARE WITHIN 100' OF A FIRE HYDRANT.

BUILDING TO HAVE A PREMISES ID VISIBLE FROM TRINITY DR

BUILDING TO HAVE KNOX BOXES AT ENTRANCES.

ALL ACCESS ROADS AND FIRE LANES HAVE GRADES LESS THAN 10% AND A LOAD CAPACITY OF 75,000 POUNDS.

ALL ACCESS ROADS AND FIRE PATHS WILL ACCOMMODATE A 28' MINIMUM TRUCK TURNING RADIUS

FIRE APPARATUS ROADS SHALL HAVE AN UNOBSTRUCTED HEIGHT NOT LESS THAN 13'-6".

THERE ARE NO OVERHEAD OBSTRUCTIONS ON SITE TO PROHIBIT LADDER TRUCK OPERATIONS

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SEAL

PROJECT

GUEST HOUSE
400 TRINITY DRIVE
LOS ALAMOS, NM 87544

100% DESIGN DEVELOPMENT

REVISIONS

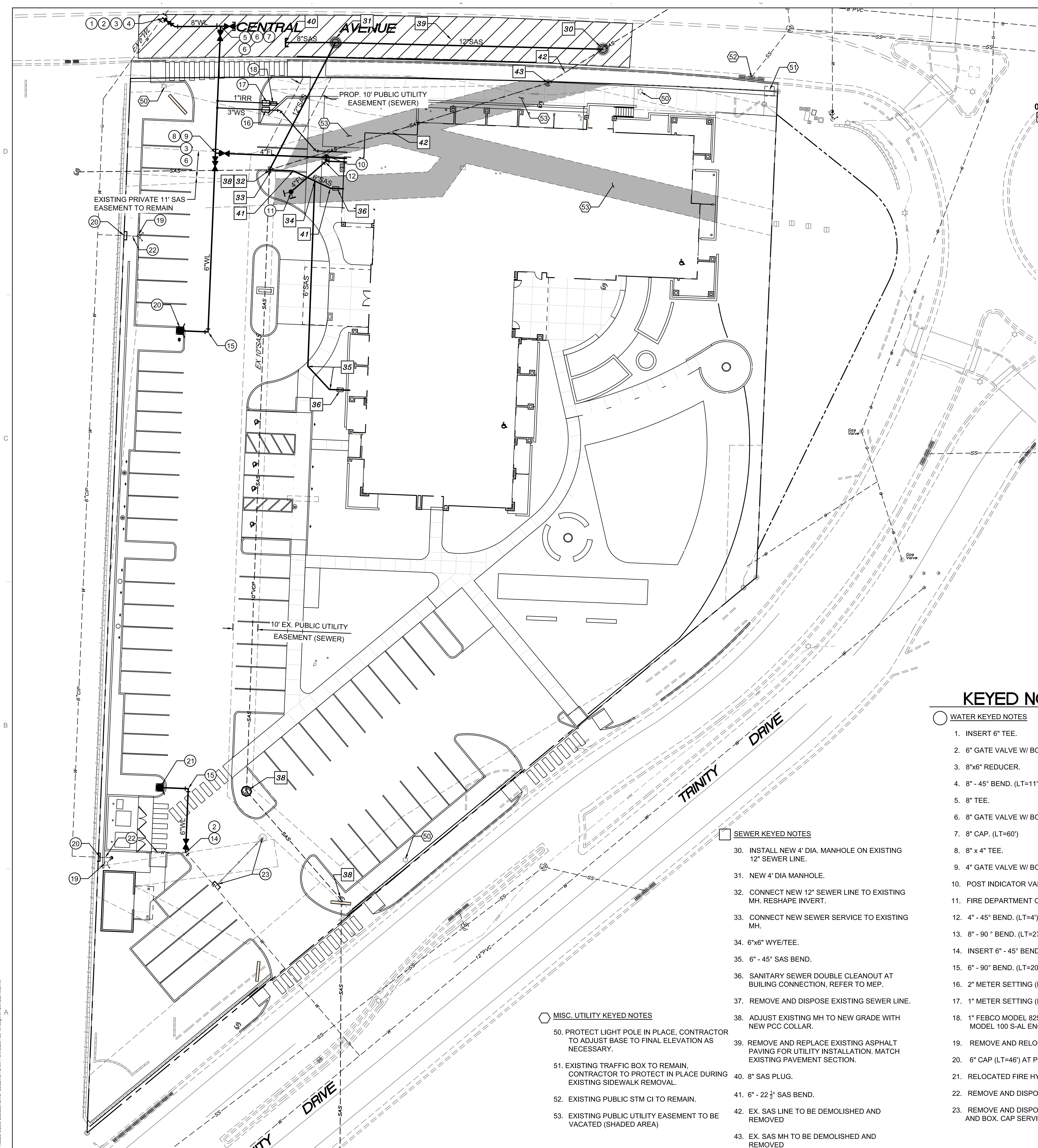
DRAWN BY	IA
REVIEWED BY	FCA
DATE	12/16/2024
PROJECT NO	I&A #2684

DRAWING NAME

FIRE HYDRANT LOCATION & ACCESS PLAN

SHEET NO

FIRE 1



GENERAL NOTES

A. INSTALL 8" SAS MAIN AT 2% SLOPE TYP.

B. INSTALL SAS SERVICES WITH WYE/TEE.

C. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.

D. CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.

E. SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE PLUMBING SITE PLAN (SHEET P 100) FOR GAS LINE LOCATIONS AND SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.

F. ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET.

G. ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

H. WATERLINES 4" IN DIAMETER OR LARGER SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS.

I. SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE.

J. ALL SANITARY SEWER LINES ONSITE TO BE PRIVATE.

K. FINAL DESIGN SHALL BE PROVIDED WITH BUILDING PERMIT REVIEW AND SHALL INCLUDE INFORMATION ON EXISTING UTILITIES THAT WILL BE REMOVED & ABANDONED IN PLACE.

L. JOINT UTILITY TRENCH SHOWN TO BE FOR DRY UTILITIES, INCLUDING BUT NOT LIMITED TO GAS LINES, ELECTRIC LINES, AND COMMUNICATIONS.

RESTRAINED JOINT LENGTHS FOR WATERLINE FITTINGS

RESTRAINED JOINT LENGTHS, L_T FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS, (FT.)

SIZE	HORZ. BENDS 90°	45°	22 1/2°	11 1/4°	VALVES & DEAD ENDS
12	29	12	6	3	78
10	24	10	5	3	66
8	20	9	4	2	55
6	16	7	4	2	42
4	11	5	3	2	30

THESE TABLES ARE BASED UPON THE FOLLOWING CRITERIA:

DEPTH OF BURY:	4.0 FT. MINIMUM
FACTOR OF SAFETY:	1.50
MATERIAL:	PVC
SOIL TYPE:	GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
TEST PRESSURE:	150 PSI
TRENCH TYPE 4:	PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

NOTES:

1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

KEYED NOTES

WATER KEYED NOTES

1. INSERT 6" TEE.
2. 6" GATE VALVE W/ BOX. (LT=46')
3. 8"x6" REDUCER.
4. 8" - 45° BEND. (LT=11')
5. 8" TEE.
6. 8" GATE VALVE W/ BOX (LT=60')
7. 8" CAP. (LT=60')
8. 8" x 4" TEE.
9. 4" GATE VALVE W/ BOX. (LT=32')
10. POST INDICATOR VALVE.
11. FIRE DEPARTMENT CONNECTION.
12. 4" - 45° BEND. (LT=4')
13. 8" - 90 ° BEND. (LT=27')
14. INSERT 6" - 45° BEND. (LT=9')
15. 6" - 90° BEND. (LT=20')
16. 2" METER SETTING (DOMESTIC)
17. 1" METER SETTING (IRRIGATION)
18. 1" FEBCO MODEL 825YA BFP IN A SAFE-T-COVER MODEL 100 S-AL ENCLOSURE WITH HEATER.
19. REMOVE AND RELOCATE EXISTING FIRE HYDRANT.
20. 6" CAP (LT=46') AT PROPERTY LINE
21. RELOCATED FIRE HYDRANT LOCATION.
22. REMOVE AND DISPOSE EXISTING 6" WATERLINE.
23. REMOVE AND DISPOSE EXISTING METER ASSEMBLY AND BOX. CAP SERVISE LINE AT CORP STOP.

SEWER KEYED NOTES

30. INSTALL NEW 4' DIA. MANHOLE ON EXISTING 12" SEWER LINE.
31. NEW 4' DIA MANHOLE.
32. CONNECT NEW 12" SEWER LINE TO EXISTING MH. RESHAPE INVERT.
33. CONNECT NEW SEWER SERVICE TO EXISTING MH.
34. 6"x6" WYE/TEE.
35. 6" - 45° SAS BEND.
36. SANITARY SEWER DOUBLE CLEANOUT AT BUILING CONNECTION, REFER TO MEP.
37. REMOVE AND DISPOSE EXISTING SEWER LINE.
38. ADJUST EXISTING MH TO NEW GRADE WITH NEW PCC COLLAR.
39. REMOVE AND REPLACE EXISTING ASPHALT PAVING FOR UTILITY INSTALLATION. MATCH EXISTING PAVEMENT SECTION.
40. 8" SAS PLUG.
41. 6" - 22 1/2° SAS BEND.
42. EX. SAS LINE TO BE DEMOLISHED AND REMOVED
43. EX. SAS MH TO BE DEMOLISHED AND REMOVED

MISC. UTILITY KEYED NOTES

50. PROTECT LIGHT POLE IN PLACE, CONTRACTOR TO ADJUST BASE TO FINAL ELEVATION AS NECESSARY.
51. EXISTING TRAFFIC BOX TO REMAIN, CONTRACTOR TO PROTECT IN PLACE DURING EXISTING SIDEWALK REMOVAL.
52. EXISTING PUBLIC STM CI TO REMAIN.
53. EXISTING PUBLIC UTILITY EASEMENT TO BE VACATED (SHADED AREA)

LEGEND

- EXISTING WATERLINE
- EXISTING SEWER LINE
- EXISTING FIRE HYDRANT
- NEW WATERLINE
- NEW FIRE HYDRANT
- NEW WATER METER
- NEW SEWER LINE
- NEW MANHOLE
- NEW CLEAN OUT
- EX EASEMENT TO BE VACATED
- EX UTILITY TO BE DEMOLISHED AND REMOVED

811 Know what's below. Call before you dig.

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SEAL

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DATE	12/16/2024
PROJECT NO	I&A #2684

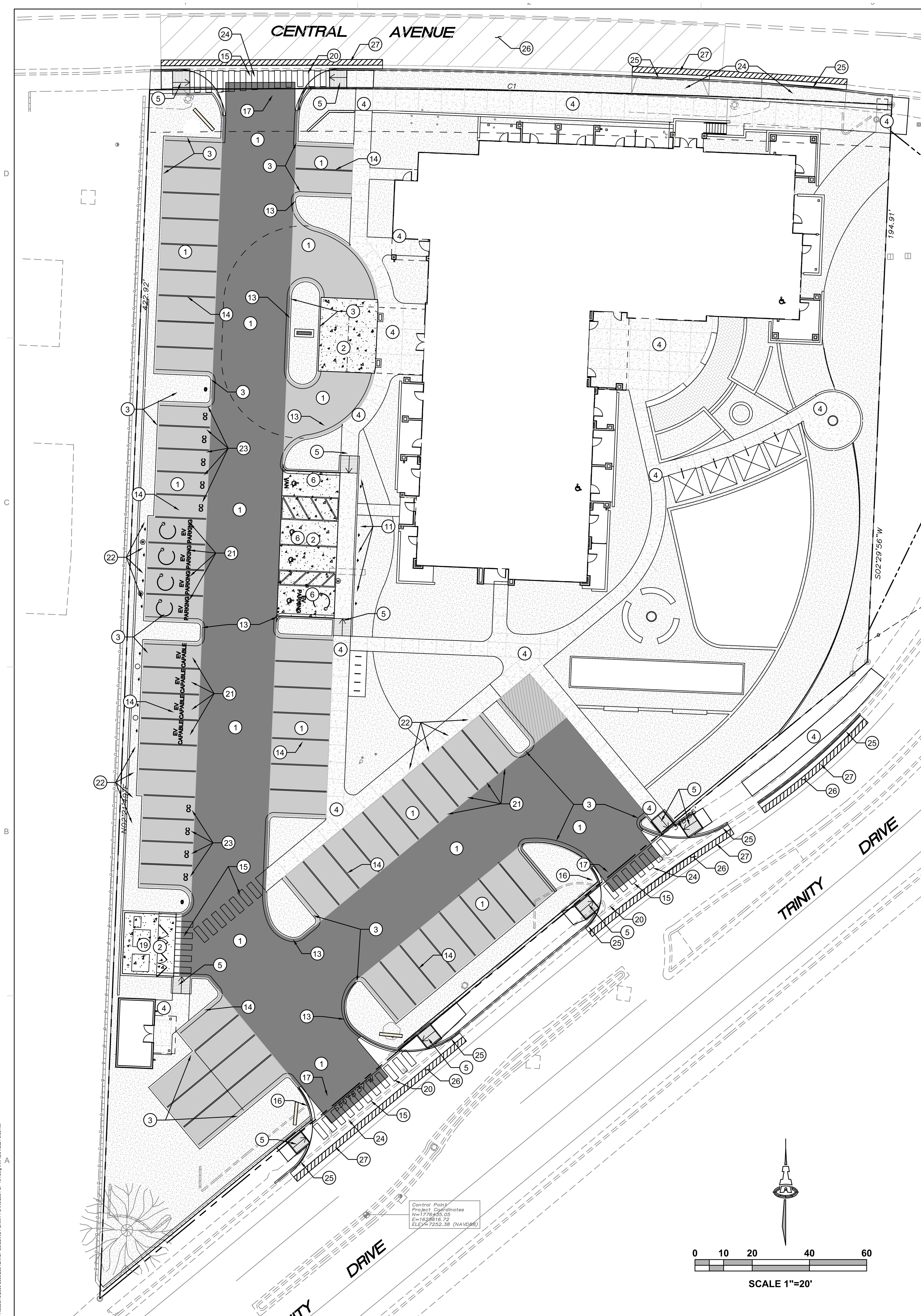
DRAWING NAME

UTILITY PLAN

SHEET NO

CU-100

ATTACHMENT A



GENERAL NOTES

A. FIVE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (505-260-1990) FOR LOCATION OF EXISTING UTILITIES.

B. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS, SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

C. REMOVAL OF EXISTING CURB & GUTTER AND SIDEWALKS SHALL BE TO THE NEAREST JOINT.

D. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.

E. CURB AND GUTTER, SIDEWALKS, AND DRIVE PADS SHALL MATCH THE LINE AND GRADE OF ABUTTING EXISTING AREAS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER.

F. THE SUBGRADE PREP SHALL EXTEND ONE FOOT BEYOND THE FREE EDGE OF NEW CURB AND GUTTER AND SIDEWALK.

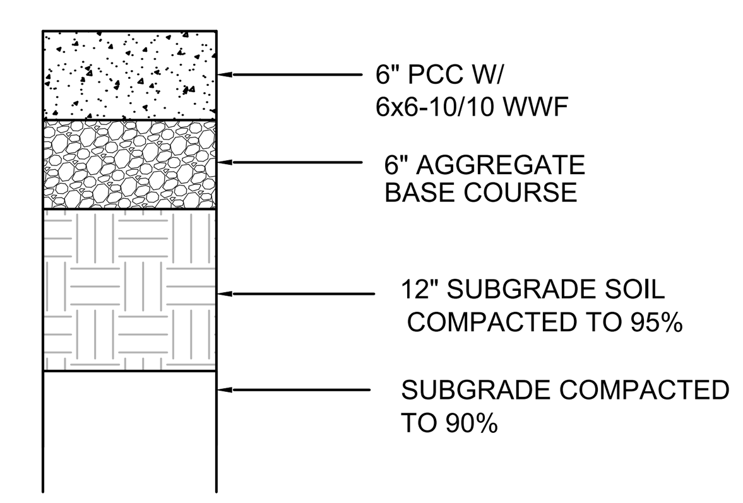
G. CONTRACTOR TO TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, REMOVE 2 FEET OF SUBGRADE MATERIAL AND IMPORT MATERIAL WITH R-VALUE GREATER THAN 50 OR CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.

H. AT ALL PAVEMENT REMOVAL AND REPLACEMENTS, SAW-CUT EDGES SHALL BE STRAIGHT AND CLEAN, AND LONGITUDINAL JOINTS SHALL NOT BE PLACED WITHIN WHEEL PATHS. PATCHES SHALL BE REGULAR AND SQUARE OR RECTANGULAR, WITH FOUR STRAIGHT SIDES. FINISHED PAVEMENT SURFACE SHALL BE FLUSH WITH EXISTING PAVEMENT SURFACE, WITH NO SPILLOVER OF ASPHALT OR TACK COAT. CARE MUST BE TAKEN TO AVOID DAMAGING THE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENTS; IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.

J. CONTRACTOR WILL ENSURE THE ASPHALT HAS A SMOOTH, UNIFORM EDGE WHEN REMOVING AND REPLACING CURB AND GUTTER. IF THE ASPHALT EDGE IS NOT SMOOTH AND UNIFORM, CONTRACTOR WILL SAW CUT AND REPLACE A ONE-FOOT STRIP OF ASPHALT ALONG THE FULL SECTION BEING REPLACED; REFER TO C.O.A. STANDARD DRAWING # 2465 WITH THE APPROPRIATE PAVING SECTION BASED ON ROADWAY CLASSIFICATION.

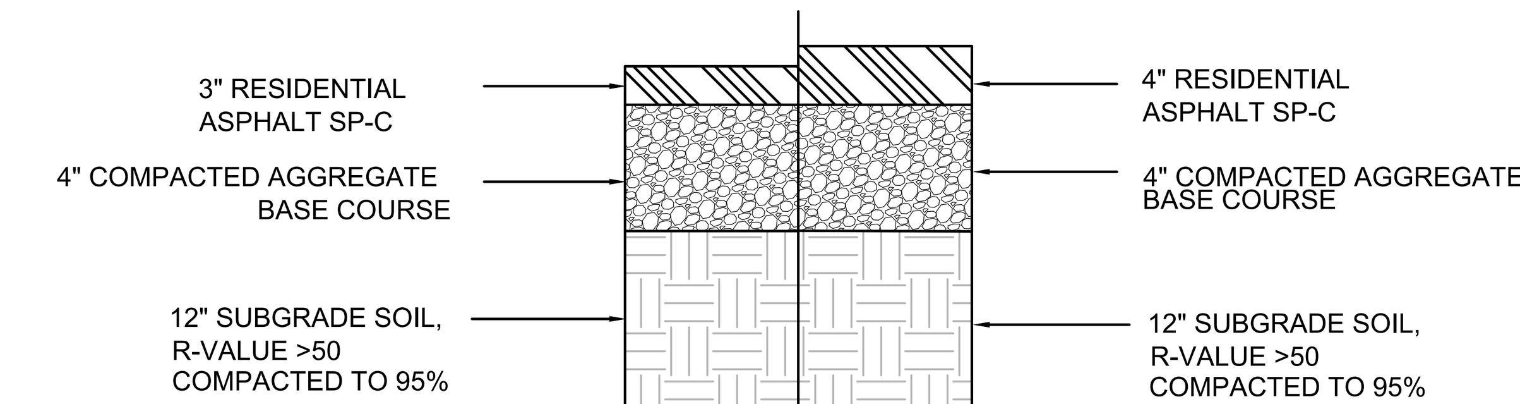
○ KEYED NOTES

1. ASPHALT PAVING.
2. PCC PAVING SECTION.
3. PCC MEDIAN CURB AND GUTTER.
4. PCC SIDEWALK.
5. ADA ACCESSIBLE RAMPS.
6. ADA PARKING.
11. ADA SIGN.
12. ADJUST VALVE BOXES, CLEAN-OUTS AND STORM INLETS TO FINISHED GRADES.
13. PAINT CURB RED & RED STENCIL WHITE TEXT "FIRE LANE NO PARKING", 4" HIGH LETTERS, ½" STROKE.
14. 4" WHITE PARKING STRIPE.
15. 24" WIDE WHITE CROSSWALK STRIPE AT 4' OC.
16. STOP SIGN.
17. 24" x 18' PAINTED STOP BAR.
18. SITE PARKING LIGHTING, SEE ELECTRICAL SITE PLAN
19. REFUSE ENCLOSURE.
20. VALLEY GUTTER.
21. EV PARKING PAVEMENT MARKING.
22. EV PARKING SIGN.
23. COMPACT CAR PAVEMENT MARKING.
24. REMOVE AND DISPOSE EXISTING PCC DRIVEPAD.
25. PCC STD CURB & GUTTER.
26. PUBLIC ASPHALT PAVING RECONSTRUCTION. SECTION PER LOS ALAMOS COUNTY PUBLIC ROADWAY STANDARD.
27. SAWCUT, REMOVE AND REPLACE EXISTING ASPHALT PAVEMENT.



CONCRETE PAVING SECTION

PER GEOTECHNICAL REPORT PAVING DESIGN SCALE: N.T.S.



ASPHALT PAVEMENT SECTIONS

SCALE: N.T.S.

LEGEND

- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- LIGHT ASPHALT PAVING SECTION
- HEAVY ASPHALT PAVING SECTION
- PCC PAVING SECTION
- ADA / STOP SIGNS

Isaacson & Arfman, Inc.
Civil Engineering Consultants
128 Monroe Street NE
Albuquerque, NM 87108
505-268-8828 | www.iacivil.com

SEAL

PROJECT

GUEST HOUSE

400 TRINITY DRIVE
LOS ALAMOS, NM 87544

100% DESIGN DEVELOPMENT

REVISIONS

DRAWN BY	IA
REVIEWED BY	FCA
DATE	12/16/2024
PROJECT NO	I&A #2684

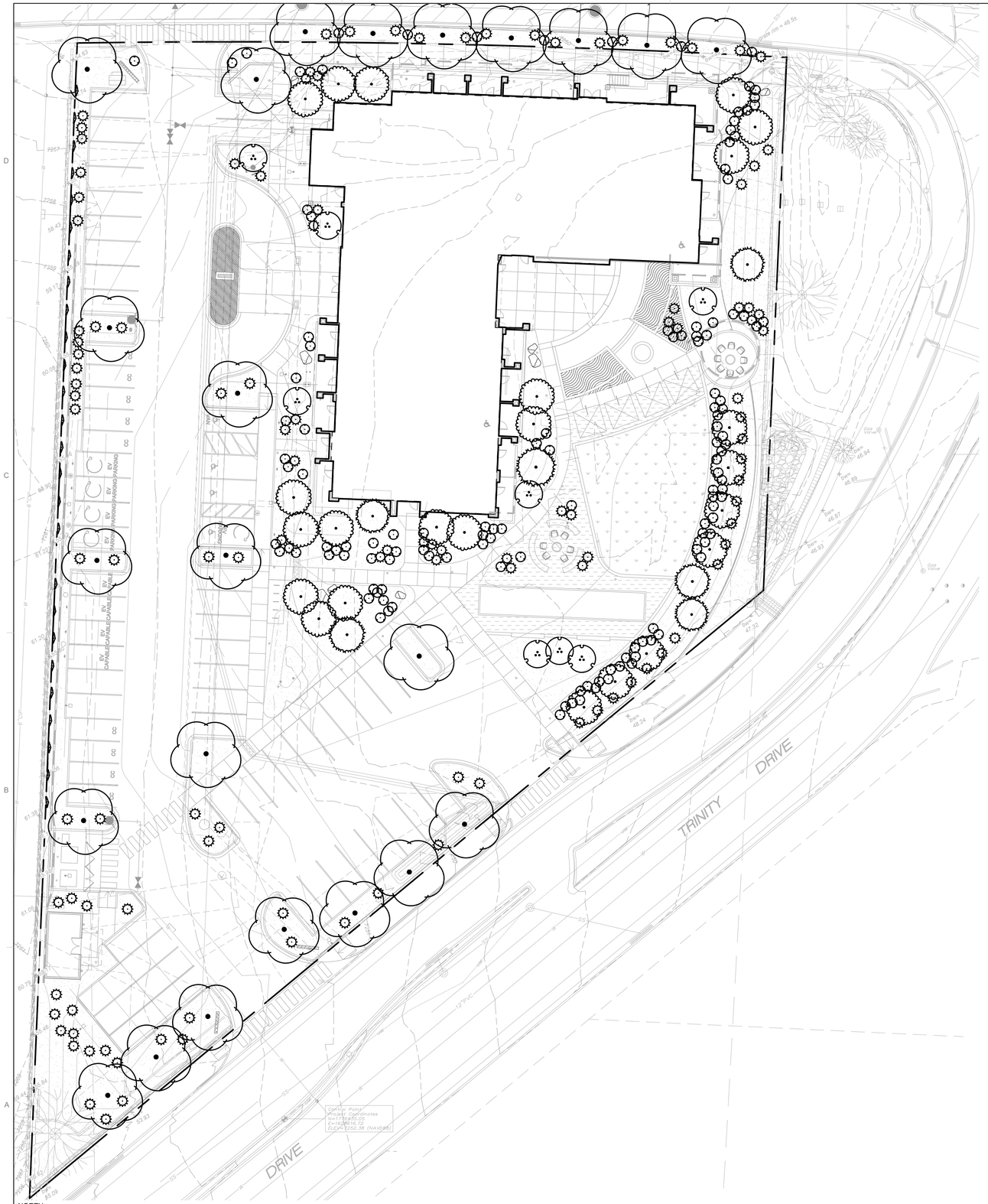
DRAWING NAME

PAVING PLAN

SHEET NO

CP-100

ATTACHMENT A



A1 LANDSCAPE PLAN
1" = 20'-0"
0 10' 20' 40'

CONCEPT PLANT SCHEDULE

EVERGREEN TREES CURL-LEAF MOUNTIAN MAHOGANY PINYON PINE	6
ORNAMENTAL TREES QUAKING ASPEN CRIMSON SPIRE OAK CANADA RED CHOKECHERRY	23
DWARF TREES CURL-LEAF MOUNTAIN MAHOGANY CHASTE TREE	8
SHADE TREES RAYWOOD ASH FRONTIER ELM	23
SHRUBS BLUE MIST BLUEBEARD KELSEY`S DWARF REDTWIG DOGWOOD SHRUBBY CINQUEFOIL PAWNEE BUTTES SAND CHERRY AUTUMN AMBER SUMAC MOJAVE SAGE	127
EVERGREEN SHRUBS PANCHITO MAZANITA LITTLE-LEAF MOUNTAIN MAHOGANY WINTERCREEPER EMERALD SPREADER JAPANESE YEW	117
VINES ENGLISH IVY-EVERGREEN	26
PERENNIALS GREEK YARROW THREADLEAF HYSSOP WHITE VALERIAN DWARF PLUMBAGO WALKER`S LOW CATMINT TUFTED EVENING PRIMROSE ROCKY MOUNTAIN PENSTEMON MAY NIGHT MEADOW SAGE	1,375 SF

GENERAL SHEET NOTES

A. PLANT CHOICES HAVE BEEN MADE IN CONSULTATION WITH THE LOS ALAMOS PLANT LIST.
B. A PERMANENT AUTOMATICALLY CONTROLLED DRIP IRRIGATION SYSTEM SHALL BE UTILIZED TO ENSURE PLANT SURVIVAL AND GROWTH ON SITE AND IN THE PUBLIC RIGHT OF WAY. SEE IRRIGATION GUIDELINES.
C. THE OWNER SHALL EXECUTE A MAINTENANCE AGREEMENT TO PERMANENTLY MAINTAIN THE LANDSCAPE INCLUDING MAINTAINING THE IRRIGATION SYSTEM.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 1.8 AC = 78,408 SF
AREA OF LOT COVERED BY BUILDINGS = 15,418 SF
NET LOT AREA= 62,990 SF

REQUIRED LANDSCAPE
REQUIRED LANDSCAPE AREA (10% OF NET SITE) = 6,299 SF
PROVIDED LANDSCAPE AREA = 24,424 SF = 387%

REQUIRED TREES
2 TREES PER EVERY 1,000 SF OF LANDSCAPED AREA REQUIRED
REQUIRED TREES FOR R1 DEVELOPMENTS = 24,424/1,000= 24.424 X 2 = 49 TREES (48.848)
PROVIDED TREES = 60 TREES

REQUIRED SHRUBS
10 SHRUBS PER 1,000 SF OF LANDSCAPED AREA REQUIRED
REQUIRED SHRUBS FOR DEVELOPMENT = 24,424/1,000= 24.424 X 10 = 255 SHRUBS REQUIRED (244.4)
TOTAL SHRUBS PROVIDED = 271
30% OF ALL SHRUBS ARE REQUIRED TO BE EVERGREEN
EVERGREEN SHRUBS REQUIRED = 80 EVERGREEN SHRUBS
EVERGREEN SHRUBS PROVIDED = 117 = 43% OF TOTAL SHRUBS

GROUND COVER MATERIAL
GRASS AND/OR LOW-LYING PLANTS MUST COVER AT LEAST 75% OF GROUND COVERAGE AT MATURITY. 24,424 SF X .75 = 18,318 SF REQUIRED
FOR LANDSCAPE DESIGNS THAT INTEGRATE HARDSCAPES, THE HARDSCAPE AREAS MAY BE COUNTED TOWARD 25% OF THE OVERALL PROJECT SITE'S LANDSCAPE REQUIREMENTS. ACCEPTABLE HARDSCAPE MATERIALS INCLUDE BUT ARE NOT LIMITED TO CONCRETE, CONCRETE OR PERMEABLE PAVERS, AND BRICK.
GRASS COVERAGE= 1,832 SF = 10% OF REQUIRED GROUND COVER
PERENNIALS COVERAGE= 1,245 SF
LOW GROWING SHRUB COVERAGE= 3,460 SF
GRAVEL AND CRUSHER FINES = 4,579.5 SF = 25% OF APPLICABLE HARDSCAPE DEDICATED TO LANDSCAPE REQUIREMENTS
TOTAL GROUND COVERAGE = 11,116.5 SF = 45.5%

LANDSCAPE MATERIALS

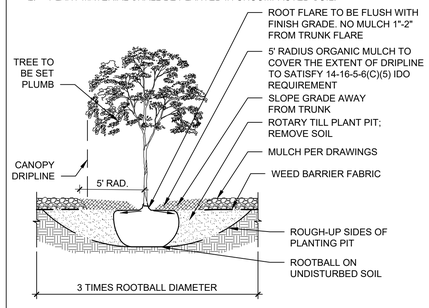
SYMBOL	NOTES
	KENTUCKY BLUEGRASS LAWN
	7/8"Ø ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC BASIS. COLOR: SANTA FE BROWN
	NATIVE TREE MULCH, 3" DEPTH.
	2-4" ROUND GRAY GRAVEL FROM ALBERT MONTANO SAND AND GRAVEL AT STORM WATER BASIN
	STABILIZED CRUSHER FINES. BASIS OF DESIGN: SANTA FE BROWN

BOULDERS:
MARBLE BOULDER, AVAILABLE FROM JPR GRAVEL
BOULDERS TO BE SELECTED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE
SEE DETAIL B1/LP501

4'x4'x4' BOULDER	5 EA
3'x3'x3' BOULDER	3 EA

TREE PLANTING DETAIL

NOTE:
1. PRIOR TO BACKFILLING, MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.
2. PLANT MATERIAL SHALL BE PLANTED IN UNCOMPACTED SOIL.



Dekker

SEAL

PROJECT

GUEST HOUSE
400 TRINITY DRIVE
LOS ALAMOS, NM 87544

REVISIONS

DRAWN BY	EH
REVIEWED BY	BG
DATE	12/31/24
PROJECT NO	23-0069

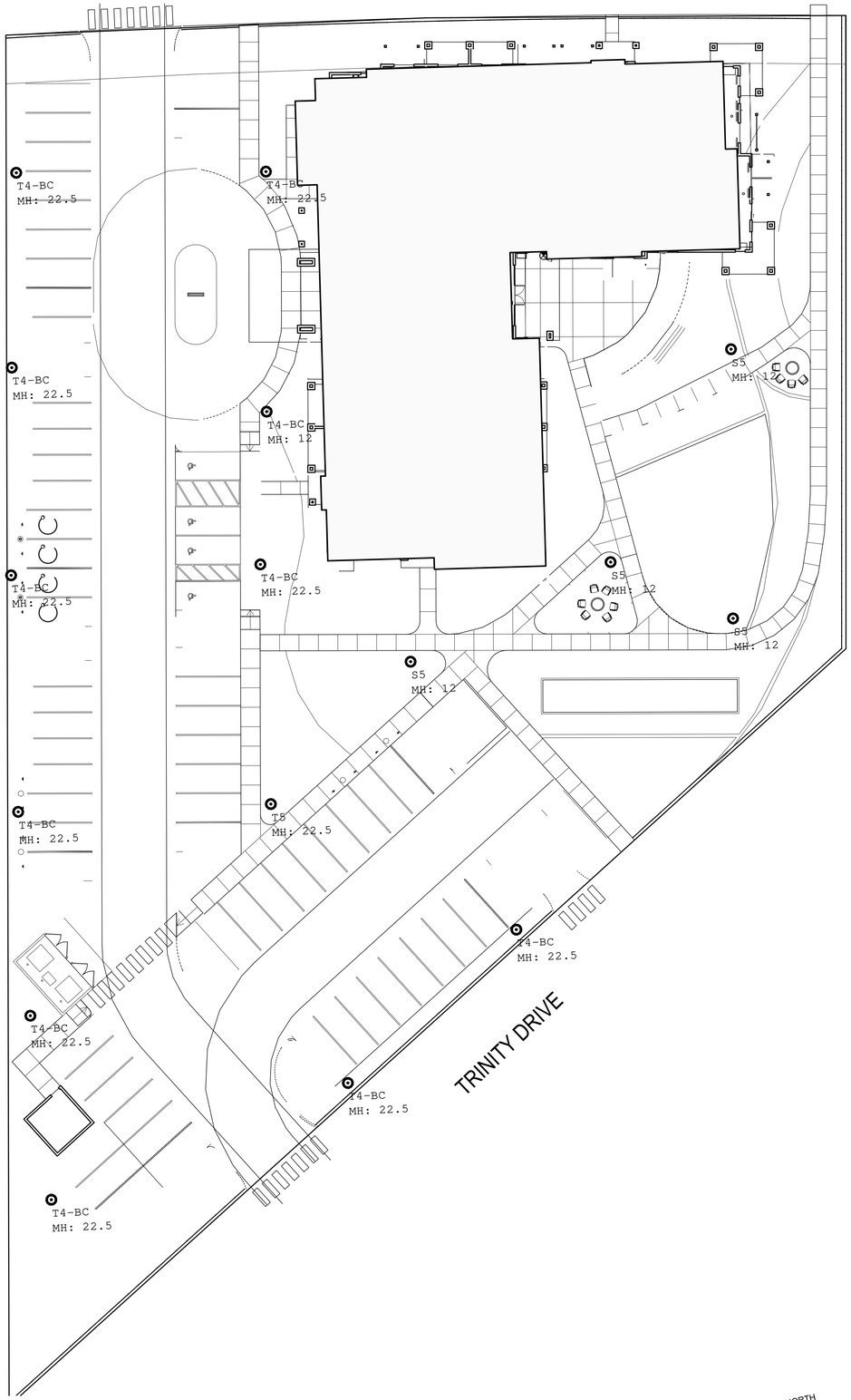
DRAWING NAME

LANDSCAPE PLAN

SHEET NO

LP1

ATTACHMENT A



1 EP100 SITE PLAN - ELECTRICAL LIGHTING PLAN
1" = 20'-0"
0 4' 8' 16'

NORTH

ATTACHMENT A

11/4/2024 10:52:21 AM

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DAVID A. EXE
NEW MEXICO
17593
10/31/2024
PROFESSIONAL ENGINEER

SEAL

PROJECT

GUEST HOUSE

400 TRINITY DRIVE
LOS ALAMOS, NM 87544

LAC
SUBMITTAL

REVISIONS

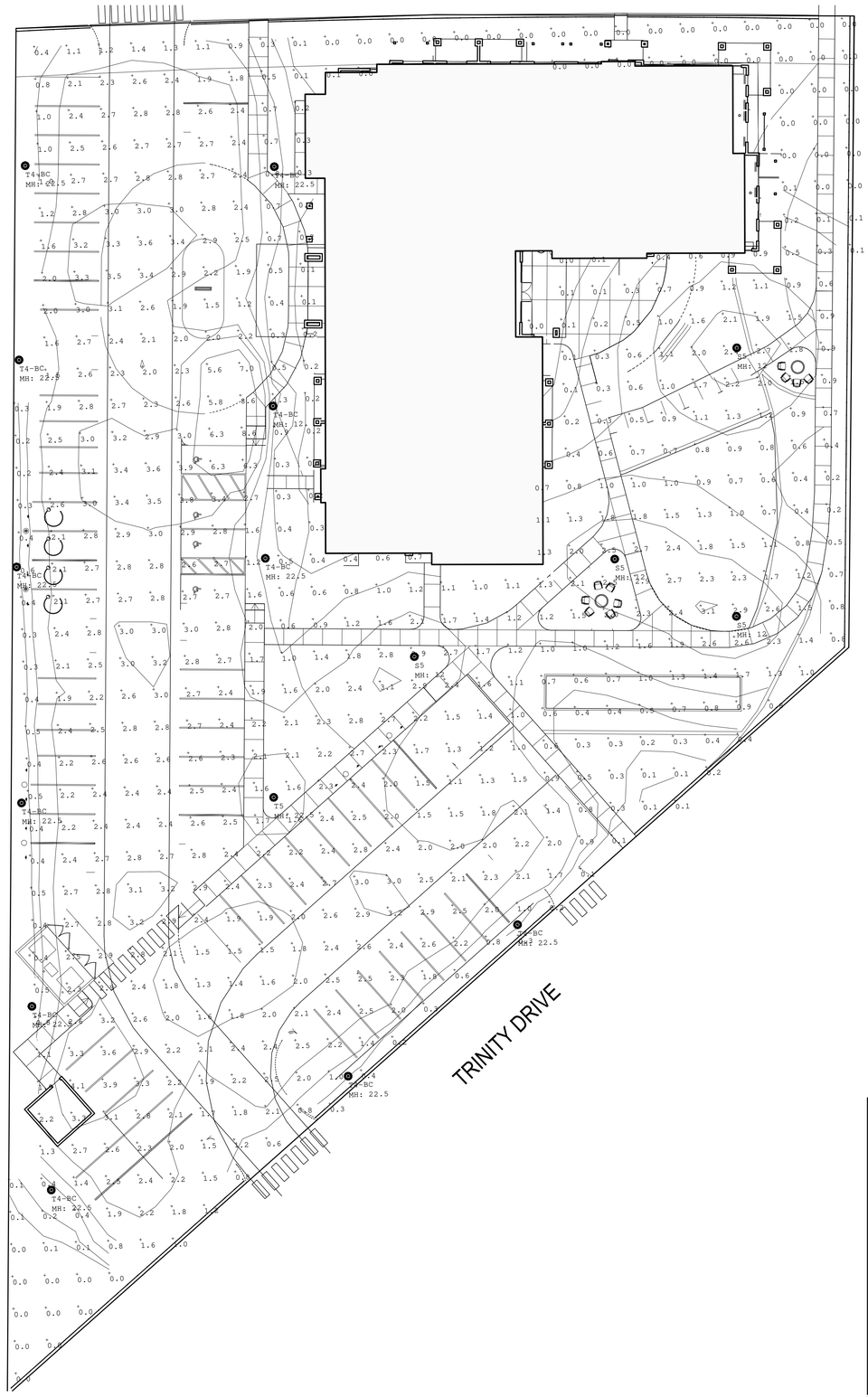
DRAWN BY	
REVIEWED BY	
DATE	11/04/24
PROJECT NO	60561

DRAWING NAME

ELECTRICAL SITE
LIGHTING PLAN

SHEET NO

EP100



1 EP101 SITE PLAN - ELECTRICAL LIGHTING PLAN WITH LEVELS
1" = 20'-0"
0 4' 8' 16'

ATTACHMENT A

11/4/2024 10:52:21 AM

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NEW MEXICO
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10/31/2024
PROFESSIONAL ENGINEER

SEAL

PROJECT

GUEST HOUSE
400 TRINITY DRIVE
LOS ALAMOS, NM 87544

LAC SUBMITTAL

REVISIONS

DRAWN BY	
REVIEWED BY	
DATE	11/04/24
PROJECT NO	60561

DRAWING NAME

ELECTRICAL SITE LIGHTING PLAN WITH LIGHTING LEVELS

SHEET NO

EP101

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Arr. Watts	Lum. Lumens
⊙	1	T5	SINGLE	0.900	KIM # UR20-56L-110-3K7-5QM-CLR-PT - 22.5' MH (20' POLE, 2.5' BASE)	110	110	13318
⊙	11	T4-BC	SINGLE	0.900	KIM # UR20-56L-110-3K7-4W-BC-CLR-PT - 22.5' MH (20'POLE, 2.5' BASE)	108	108	7983
⊙	4	S5	SINGLE	0.900	KIM # UR20-24L-65-3K7-5W-CLR-PT - 12' POLE	65	65	6676

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ENTIRE SITE	Illuminance	Fc	1.58	8.6	0.0	N.A.	N.A.
PARKING AND DRIVES	Illuminance	Fc	2.18	8.6	0.1	21.80	86.00

PARKING AND DRIVES

Illuminance (Fc)
Average = 2.18
Maximum = 8.6
Minimum = 0.1
Avg/Min Ratio = 21.80
Max/Min Ratio = 86.00

KIM LIGHTING

UR20 - Post Top

ARCHITECTURAL AREA/SITE

DATE: LOCATION:
TYPE: PROJECT:
CATALOG #:

FEATURES

- 20" size in single/dual arm post top, pole and wall mount
- High performance optics up to 16,874 delivered lumens
- Elegant form factor
- Diffusion lens option
- UL/cUL listed for wet locations, IP66 and 4G/1.5G vibration rated

3000K and warmer CCTs only

CONTROL TECHNOLOGY

LIGHTGRID

SPECIFICATIONS

CONSTRUCTION

- Low copper aluminum alloy die-casting is designed as one-piece.
- Molded silicone gasket throughout insures the sealing between the two compartments and provides ingress protection.
- All external fasteners are stainless steel.
- Cover is secured to Lens frame by the latch and hinge.

OPTICS

- LEDs mount to a metal printed circuit board assembly (MCPCB).
- Optical lenses are clear injection molded PMMA acrylic.
- Optional Backlight Control on each LED module to completely control unwanted backlight.
- Optional fixture finish optical surfaces will not exceed BUG ratings of the standard white finish.

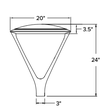
LENS

- Standard lens (CLR) IK08
- Clear Polycarbonate Lens (CP) IK10

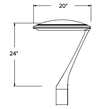
INSTALLATION

- Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

Ouro



FM33



FMSA33/PTSA23
FMSA34, PTSA24, PTSA34

	Weight	EPA
UR20	35 lbs / 15.8 kg	0.512 ft.²

ELECTRICAL

- Universal voltage, 120 through 277V with a ±10% tolerance. Driver is Underwriters Laboratories listed.
- High voltage configurations, 347/480. Driver has a 0-10V dimming interface for multi-level illumination options. Driver is Underwriters Laboratories listed.
- "Thermal Shield", secondary side, thermistor provides protection for the sustainable life of LED module and electronic components
- Drivers shall have greater than a 0.9 power factor, less than 20% harmonic distortion, and be suitable for operation in -40°C to 40°C ambient environments.
- Luminaire shall be capable of operating at 100% brightness in a 40°C environment. Both driver and optical array have integral thermal protection that will dim the luminaire upon detection of temperatures in excess of 85°C.
- Surge protection: 10,000k in parallel, 20,000k in series
- Wiring: No. 18AWM rated 105°C, wet rating.

CONTROLS

7PR

- Fully gasketed and wired 7-pin receptacle option. Easy access location above the electrical compartment. 7-pin construction allows for a user-defined interface and provides a controlled definition of operational performance. ANSI twist-lock control module by-others.

Standard customer operation modes:

- Traditional on/off photoelectric control.
- 5-pin wireless photoelectric control for added dimming feature.
- 7-pin wireless photoelectric control for dimming and additional I/O connections for customer use.

(Specifications continued on page 5)

Current

currentlighting.com/kimlighting

Dekker

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NEW MEXICO
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10/31/2024
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SEAL

PROJECT

GUEST HOUSE
400 TRINITY DRIVE
LOS ALAMOS, NM 87544

LAC SUBMITTAL

REVISIONS

DRAWN BY	
REVIEWED BY	
DATE	11/04/24
PROJECT NO	60561

DRAWING NAME

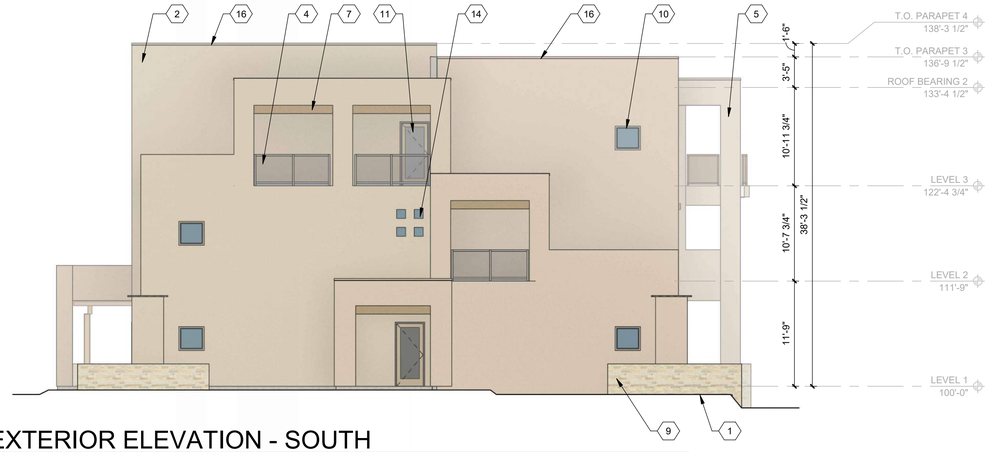
ELECTRICAL SITE LIGHTING SCHEDULES AND STATISTICS

SHEET NO

EP102

11/4/2024 10:52:21 AM

ATTACHMENT A



C1 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"

B1 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"

A1 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

SHEET KEYNOTES

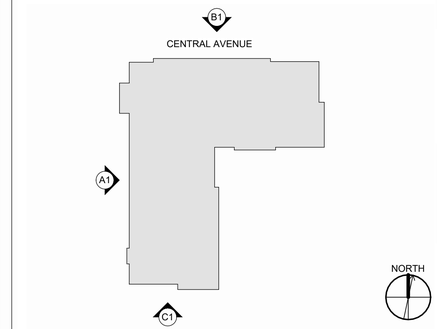
1. FINISH GRADE
2. STUCCO FINISH, EARTHTONE AND PASTEL COLORS OF NON-EARTHTONE HUES, WHITES, GRAYS
3. BALCONY SOLID GUARDRAIL, STUCCO FINISH OR SOLID PANEL
4. BALCONY OPEN GUARDRAIL, PAINTED STEEL, SOLID PANEL OR GLASS
5. FRAMED COLUMN WITH STUCCO FINISH
6. EXPOSED WOOD OR PAINTED STEEL COLUMN
7. EXPOSED WOOD OR STUCCO FINISHED BEAM
8. STANDING SEAM METAL ROOF, SLOPED TO DRAIN
9. FRAMED PRIVACY WALL - STUCCO FINISH, CMU WITH INTEGRAL COLOR OR NATURAL STONE
10. WINDOW WITH CLEAR GLAZING AND NEUTRAL COLORED FRAME
11. FULL LITE DOOR WITH CLEAR GLAZING AND NEUTRAL COLORED FRAME
12. FULL LITE DOOR AND TRANSOM WITH CLEAR GLAZING AND NEUTRAL COLORED FRAME
13. FULL LITE SLIDING DOOR WITH CLEAR GLAZING
14. GLASS BLOCK OR PUNCHED OPENING WITH CLEAR GLAZING
15. METAL CLAD DOOR, EARTHTONE AND PASTEL COLORS OF NON-EARTHTONE HUGES, WHITES, GRAYS
16. PARAPET WITH MANUFACTURED METAL COPING OVER CONTINUOUS WATERPROOFING (COLOR TO MATCH STUCCO FINISH OF ADJACENT EXTERIOR WALLS)
17. ALUMINUM STOREFRONT SYSTEM
18. ALUMINUM STOREFRONT DOOR
19. OPTIONAL FIRST FLOOR PATIO COVER

LEGEND

STUCCO_EARTHTONE AND PASTEL COLORS OF NON-EARTHTONE HUES, WHITES, GRAYS

NATURAL STONE OR STUCCO ACCENT COLOR_EARTHTONE AND PASTEL COLORS OF NON-EARTHTONE HUES, WHITES, GRAYS

KEY PLAN



Dekker

SEAL

NOT FOR CONSTRUCTION

PROJECT

GUEST HOUSE

400 TRINITY DRIVE
LOS ALAMOS, NM 87544

LAC SUBMITTAL

REVISIONS

DRAWN BY	DEKKER
REVIEWED BY	DEKKER
DATE	11/04/2024
PROJECT NO	23-0069

DRAWING NAME

EXTERIOR ELEVATIONS

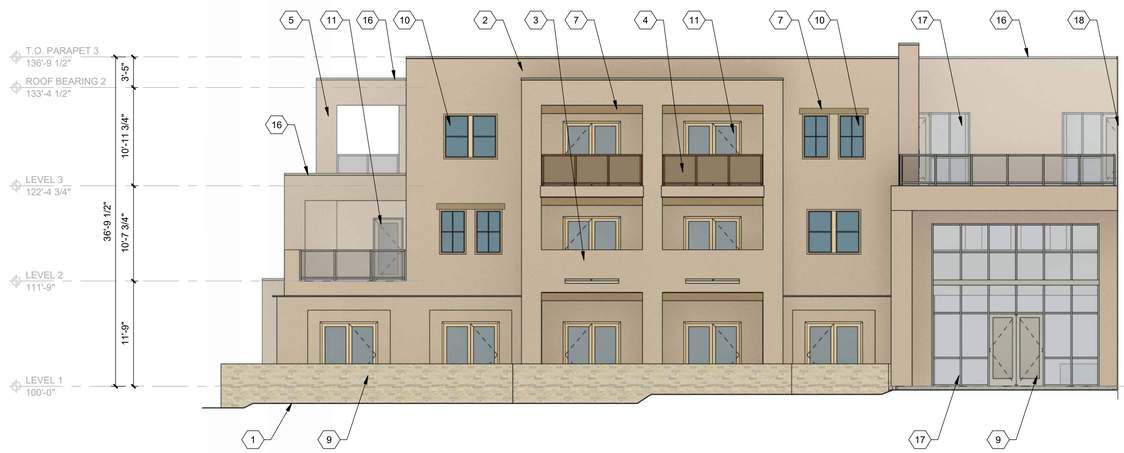
SHEET NO

AEL 1

11/4/2024 1:42:12 PM

C1 EXTERIOR ELEVATION - EAST

1/8" = 1'-0"



B1 PARTIAL EXTERIOR ELEVATION - COURTYARD - EAST

1/8" = 1'-0"

A1 PARTIAL EXTERIOR ELEVATION - COURTYARD - NORTH

1/8" = 1'-0"

SHEET KEYNOTES

1. FINISH GRADE
2. STUCCO FINISH, EARTHTONE AND PASTEL COLORS OF NON-EARTHTONE HUES, WHITES, GRAYS
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4. BALCONY OPEN GUARDRAIL, PAINTED STEEL, SOLID PANEL OR GLASS
5. FRAMED COLUMN WITH STUCCO FINISH
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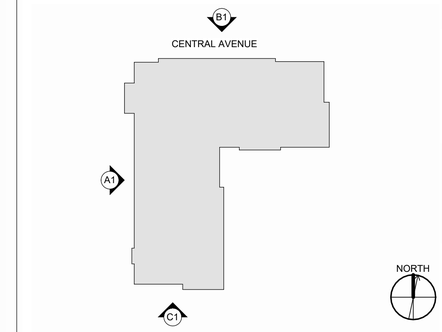
19. OPTIONAL FIRST FLOOR PATIO COVER

LEGEND

STUCCO_EARTHTONE AND PASTEL COLORS OF NON-EARTHTONE HUES, WHITES, GRAYS

NATURAL STONE OR STUCCO ACCENT COLOR_EARTHTONE AND PASTEL COLORS OF NON-EARTHTONE HUES, WHITES, GRAYS

KEY PLAN



Dekker

NOT FOR CONSTRUCTION

SEAL

PROJECT

GUEST HOUSE

400 TRINITY DRIVE
LOS ALAMOS, NM 87544

LAC SUBMITTAL

REVISIONS

DRAWN BY	DEKKER
REVIEWED BY	DEKKER
DATE	11/04/2024
PROJECT NO	23-0069

DRAWING NAME

EXTERIOR ELEVATIONS

SHEET NO

AEL 2

11/4/2024 1:42:24 PM

ATTACHMENT A