



Los Alamos County
Community Development Department
PLANNING & ZONING COMMISSION STAFF REPORT

Public Hearing Date: February 26, 2020
Subject: Case No. SUB-2020-0011
Owners/Applicants: Ian & Davina Maes, Owners/Mike Englehardt, Applicant
Case Manager: Anita Barela, Associate Planner

Case No. SUB-2020-0011: Subdivision of Lot 3, North Pines Subdivision

A request for approval of a four (4) lot-split Subdivision currently addressed as 2436 46th St., located in the North Pine Subdivision, Subdivision NC1 Lot 239A with a lot line adjustment on an adjacent lot addressed as 2442 46th Street, Lot 003C. The proposed development will consist of one new detached single-family home and one duplex contained within 3 separate lots. The lot on 2442 46th Street with the lot line adjustment has an existing attached single-family dwelling unit. All lots have associated on-site parking and traffic circulation, on a total of 0.40± acres of land.

The land from which the new subdivision will be platted consists of an existing parcel containing 0.29± acres and are labeled as Lot 1, Lot 2, and Lot 3, on the Sketch Plan and Lot 4 required a lot line adjustment in order for all four lots to meet legal lot size requirements. [Exhibit 1].



Exhibit 1

Motion Option 1:

I move to **approve** Case No. SUB-2020-0011, a request for approval of a Preliminary and Final Subdivision Plat, creating a new subdivision consisting of four (4) lots, for the reasons stated in the staff report and per testimony at the public hearing, and subject to the following conditions:

1. Future developments proposed for Lots 1, 2 and 3 shall meet the minimum side yard setback of fifteen (15) feet from dwellings on adjoining lots (this will be reviewed at the time of Building Permit submittal).
2. Building Permits shall be secured prior to the start of construction.

Motion Option 2:

I move to **deny** Case No. SUB-2020-0011, a request for approval of a Preliminary and Final Subdivision Plat, creating a new subdivision consisting of four (4) new lots, due to the proposal failing to meet the review criteria contained in §16-156 of the Los Alamos County Code of Ordinances, Chapter 16 – Development Code, for the following reasons:

1. ...

SUMMARY

This request is for approval of a Preliminary and Final Subdivision Plat to subdivide a vacant parcel and readjust a lot line on a developed lot into four (4) new lots. The principal purpose of this application is to create individual lots that will be developed into new housing units. A proposed Sketch Plan submitted concurrently with the plat illustrates the single family attached and detached dwelling units proposed for future construction should the subdivision plat receive Planning & Zoning Commission approval.

The subject property is roughly rectangular in area, with a maximum depth of 120 feet. It contains 122 feet of frontage along 46th Street

The subject property formerly contained a 4-unit condominium, which was destroyed by the Cerro Grande Fire in May 2000. In accordance with Section 47-7B-18A, NMSA 1978 (New Mexico Condominium Act), the former property owners dissolved and terminated the former Condominium Association that was filed on October 9, 1968. The dissolution and termination agreement was recorded by the Los Alamos County Clerk in 2003.

The North Community District, R-3-L-NC allows the following types of residential housing.

- (1)A dwelling, single-family, attached or detached;
- (2)A dwelling, two-family;
- (3)A dwelling, multiple-family

INTERDEPARTMENTAL REVIEW COMMITTEE (IDRC) RECOMMENDATION

Staff review has determined that the application meets the criteria for processing of a Sketch Plan and Preliminary and final Subdivision Plat. An IDRC email review of the petition took place on January 30, 2020. After reviewing the proposed sketch plan, one IDRC member had one comment and the recommendation was passed on to the applicant:

The Public Utility Department recommends approval of the proposed three lot Subdivision. Public utilities attached sketches to pass on to the applicant that will be required at the time of building permit for Gas/Water/Sewer/Electric services.

The proposed subdivision meets the requirements contained in Section 16-537 of the Los Alamos County Development Code:

§16-537(h)(1) states: *“Where a conforming or legal nonconforming dwelling, two-family or multiple-family, existed on a lot on May 9, 2000, such lot shall be considered a conforming site for dwellings, single-family, attached and may be subdivided into a number of lots less than or equal to the number of dwelling units located on the lot on May 9, 2000. The resulting dwellings, single-family, attached, the site, and the lots shall be considered conforming as to the lot size and maximum density.”* Prior to this date, there was a four (4) unit condominium occupying this site. This structure was destroyed in the Cerro Grande Fire. The project proposed for “replacing” the former condominium development contains four (4) units, the same number of units the former condominium contained.

Section 16-459 of the Development Code states, *“No preliminary plat shall be considered by the planning and zoning commission unless it substantially conforms to the approved or conditionally approved sketch plan. No final plat shall be considered by the planning and zoning commission unless it substantially conforms to the approved or conditionally approved preliminary plat. Plats that do not substantially conform shall be resubmitted at the sketch plat stage. **Plats containing five lots or less after utility or public or private roadway improvements under article VI of this chapter may submit sketch, preliminary and final plats as a single plat for approval.**”* This application seeks Final Plat approval of the proposed subdivision. Since the subdivision contains fewer than five (5) lots, staff finds that this petition for Final Plat may be approved under one application and hearing.

- Maximum Density per acre: §16-537(c)(3) limits the number of dwelling units per acre to 14.5 dwelling units. At this density, each lot shall not contain less than 3,004 Ft² of area. The smallest lot proposed contains 3,218 Ft² of area. This criterion is satisfied.
- Minimum Setbacks – Front and Rear Yards: §16-537(d) requires minimum front yard and rear yard setbacks of fifteen (15) feet. The Sketch Plan submitted in support of this application illustrates front yard maximum setbacks of twenty-nine (29) feet and a minimum of 14.3 feet on Lot 1. Lot 1 would require an administrative waiver of .9 feet if the building is built as shown in the proposed sketch plan. All the other setbacks are at the minimum or larger. This criterion is satisfied.
- Minimum Setbacks – Side Yard: §16-537(d)(4) requires a minimum side yard setback of zero (0) feet on the attached side, and a minimum of seven and one-half (7½) feet on the detached side, or a minimum of fifteen (15) feet between dwellings on adjoining lots. Setbacks will be addressed at the time of Building Permit review.
- Minimum Lot Frontage: §16-537(e) requires a minimum lot frontage of twenty (20) feet for attached structures. Lot 1 will be platted with a minimum street frontage of forty-two (42) feet. Lots 2 & 3 will be platted with street frontages of thirty (30) feet and forty-seven (47) feet, respectively. Lot 4 will be platted with a street frontage of forty-four (44) feet. This criterion is satisfied.
- Maximum Height: §16-537(f) limits the maximum height of main dwellings to thirty-five (35) feet, and Accessory Structures to twelve (12) feet. Since building elevations were not submitted or required to be submitted as a part of this application, Staff is not able to ascertain if this criterion will be met. Height will be addressed at the time of Building Permit review.

- Lot Coverage: §16-537(g) limits the maximum lot coverage to forty (40%) percent of the total lot area. As shown, Lots 1-3, at the largest, will have 38% lot coverage. Lot four's current lot coverage is 25%. Lot coverage will also be reviewed at the time of Building Permit review.

This petition was noticed in the Los Alamos Daily Post on February 06, 2020, and property owner notices were mailed to all owners of real property located within 100 yards of the subject property, in accordance with the requirements of Article V, Section 16-192 of the Los Alamos County Development Code. Staff has received four comments as of Friday, February 21, 2020. The individuals phoned in comments expressing objection to the proposal, staff has not received any written correspondence.

SUBDIVISION REVIEW CRITERIA

The Los Alamos County Code of Ordinances, Chapter 16, Development Code, Sec. 16-153 establishes eight (8) criteria for the Planning and Zoning Commission to use when reviewing an application for subdivision approval. They are:

- (a) *The development of the property shall substantially conform to the comprehensive plan and shall not be materially detrimental to the health, safety and general welfare of the county.*

Applicant Response: There are no health or safety issues.

Staff Response: The subject property is being subdivided to allow for individual lots and individual lot ownership. This criterion has been satisfied.

The proposed subdivision supports the following Comprehensive Plan Goals and Policies:

3.1 Housing, Neighborhoods & Growth

3.1.1 - HOUSING GOALS

- *HG.2. Provide a variety of housing types, sizes and densities*
- *HG.3. Promote development of housing stock that would accommodate downsizing households*
- *HG.4. Protect existing residential neighborhoods while using available infill opportunities as appropriate*

HOUSING – LAND USE POLICIES

- *HLU.1. Encourage the creation and retention of a variety of housing options for all segments of the Los Alamos community, including but not limited to, housing for residents who are low income, students/postdocs, workforce, high end income and seniors*
- *HLU.4. Promote design standards for high quality and good design of new housing*
- *HLU.6. Encourage new housing developments in proximity to workplaces*

3.1.2 - NEIGHBORHOODS GOALS

- *NG.1. Protect existing residential neighborhoods while using available infill opportunities as appropriate*

- NG.2. Promote the creation of a variety of housing options for all segments of the Los Alamos community

3.1.3 - GROWTH GOALS

- GG.1. Plan for modest growth of an additional 2,000 residents in the next 5 to 10 years
- GG.11. Strive to make housing available to those who work in the County and want to live in the County
- GG.12. Enhance community pride

GROWTH - LAND USE POLICIES

- LU.2. Support infill development over expansion of current developed areas

3.2 – DEVELOPMENT, REDEVELOPMENT & DOWNTOWN

DEVELOPMENT - LAND USE POLICIES

- DLU.2. Generally, keep development contained within current development boundaries (prevent sprawl)

- (b) Except for the R-E and R-A zoning districts and developed areas where it is determined by the utilities manager that it is economically unfeasible to extend sewer lines, all subdivisions must be served or be capable of being served by all public utilities.**

Applicant Response: The proposed lots will be served by public utilities.

Staff Response: Existing infrastructure is provided. Any potential changes will be made through agreements with the County Utility Department and Public Works Department. This criterion has been satisfied.

- (c) Provisions shall be made for the safe ingress, egress and circulation of vehicles, bicyclists and pedestrians.**

Applicant Response: NA.

Staff Response: No change to ingress/egress and circulation of vehicles, bicyclists, and pedestrians is being proposed at this time; only new lot lines are being proposed to create new lots for future development. This criterion has been satisfied.

- (d) Adequate provisions shall be made for accepting expected drainage from other properties, for controlling drainage on the site and for directing it to the storm sewer or drainage system, including considerations for impact on downstream properties. The county engineer shall approve, disapprove or recommend modifications to the storm drainage plans.**

Applicant Response: To be determined by engineer/architect preparing site, grading and drainage plans.

Staff Response: Any prospective drainage issues will be reviewed by the Public Works Department during the Building Permit review process. The Engineering Division has reviewed the proposed subdivision plat and found no potential issues. This criterion has been satisfied.

- (e) ***The necessary easements shall be provided for both existing and proposed utilities in an acceptable manner to the county engineer and utilities manager. Development of the property shall be in accordance with adopted utilities department plans and specifications.***

Applicant Response: See plat.

Staff Response: The proposed subdivision should have no significant issues related to utilities. Each development will have an independent connection to the utility services. During building permit review, the Utilities Department will provide more comments on the specific point of connection and other relevant details.

- (f) ***Outdoor activity areas, parking lots, outside storage areas, outdoor lighting, or other features or uses of the site or structures shall be adequately screened or otherwise controlled to effectively mitigate conflict with existing or potential adjacent land uses.***

Applicant Response: NA.

Staff Response: All outdoor activity areas, parking lots, outside storage areas, outdoor lighting, or other features or uses of the site or structures listed in this criterion, and any future changes contemplated would be addressed through the building permit review process.

- (g) ***The capacity of those public services and facilities required to serve the proposed development (including but not limited to water, sanitary sewer, electricity, gas, storm sewer, streets, etc.) shall be adequate, or made to be adequate if improvements are required.***

Applicant Response: NA.

Staff Response: All utilities to serve the current capacity of the site exist. Any future infrastructure proposed would be reviewed by County Staff during the building permit review process.

- (h) ***The subdivision is planned to retain as much as possible, all natural features such as watercourses, natural vegetation, terrain, existing structures, historic sites, archaeological sites, and other community assets, which if preserved, will contribute to the overall appearance and quality of life in the county of Los Alamos. If the property is designated on the county zoning map as a hillside area, the subdivision shall comply with the hillside development standards (section 16-576).***

Applicant Response: NA.

Staff Response: One of the subject lots is vacant and has no significant natural features, historical assets or archaeological sites. The second lot is currently developed. This criterion has been satisfied.

- (i) Addresses and road names shall follow the standards as described in chapter 34. article IV, and shall be included on the original submission of the plat application.

Applicant Response: To be determined by County Surveyor.

Staff Response: The County Addressor assigned the address as follows:
For Final Plat – the addresses should be reflected as follows:

LOT 1 - 2434 46TH ST
LOT 2 – 2436 46TH ST
LOT 3 – 2438 46TH ST

LOT 4 – will remain 2440 46TH ST

FINDINGS OF FACT – Preliminary & Final Subdivision Plat, Lot 3, North Pines Subdivision

1. Notice of this public hearing, setting forth the nature of the request, the specific parcel of property affected, and the date, time and place of the public hearing, was announced and published in The Los Alamos Daily Post on Thursday, February 6, 2020, and property owners of real property located within 100 yards of the subject property were notified of this public hearing, all in accordance with the requirements of §16-192 of the Los Alamos Development Code.
2. The request is for approval of both a Preliminary Subdivision Plat and Final Subdivision Plat, which is permitted by Section 16-122(i)(1) of the Los Alamos County Development Code, to subdivide an existing parcel, which will provide individual lots for potential future sale.
3. The subdivision proposed is permitted within the R-3-L-NC zoning district, subject to review and approval by the Planning & Zoning Commission.
4. Single family attached and single family detached dwelling units are a permitted land use described within the R-3-L-NC zoning district, contained in Article XIII, Section 16-537 of the Los Alamos County Development Code.
5. The subject property addressed as 2436 46th Street is currently vacant. New addresses will be assigned by the County Addressor prior to recordation of the plat.
6. The subject property is addressed as 2442 46th Street is currently developed and is requesting a lot line adjustment.
7. Upon review by the IDRC, the petition was unanimously (5-0) recommended for approval.

STAFF RECOMMENDATION

Staff review has determined that the application meets the criteria for processing of a Sketch Plan and Preliminary Subdivision Plat and recommends approval.

EXHIBITS

- Exhibit 1 Vicinity Map
- Exhibit 2 Subdivision Application
- Exhibit 3 Proposed Subdivision of Lot 239a, North Community 1 Subdivision Plat
- Exhibit 4 Proposed Sketch Plan for future development (Duplex and Single family Residential Buildings)
- Exhibit 5 List of Property Owners within 100 Yards (300 Feet)

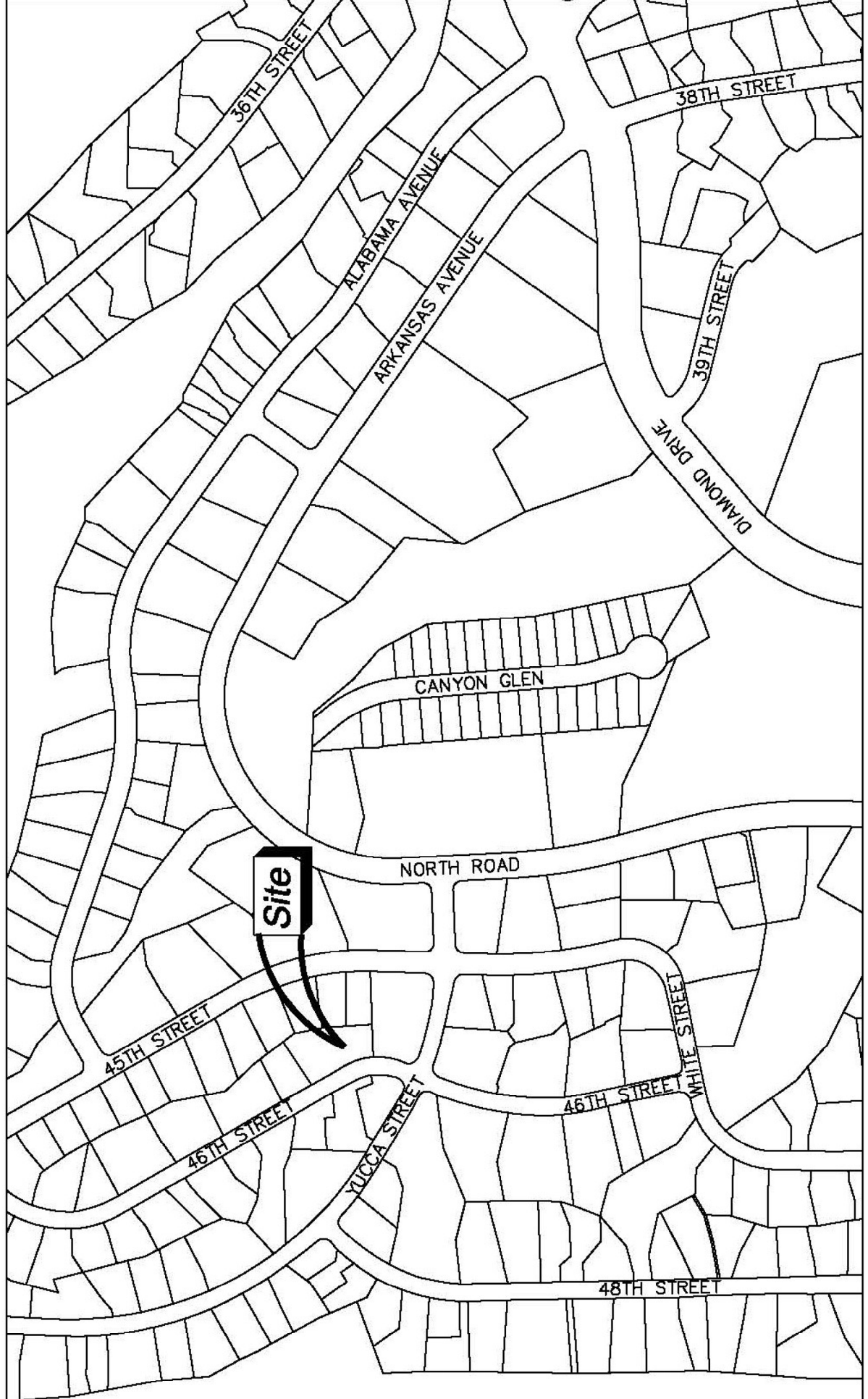


Exhibit 1

LOS ALAMOS
Community Development

SUBDIVISION APPLICATION



Los Alamos County Community Development Department
1000 Central Ave, Suite 150, Los Alamos NM 87544
(505) 662-8120

This application is for: SKETCH PLAN PRELIMINARY PLAT FINAL PLAT

Property to be Subdivided: 2436 46TH STREET AND 2442 46TH STREET
Address

Legal description: North Community 1, Lot 239A and North Pines, Lot 3-CR

Zoning District: R-3-L-NC Area (Acres): 0.4008 # Lots Proposed: 4

Lot 3-CR has a triplex residence and Lot 239A is vacant land
Current Use

Related Applications (if any): none

APPLICANT (Unless otherwise specified, all communication regarding this application shall be to Applicant):

Name: Mike Engelhardt-Precision Surveys Phone: 661-4262 Cell #: _____
Please Print

Address: 1362 Trinity Drive, Suite A-2 Email: MIKE_E@PRESURV.COM

Mike Engelhardt 1-23-2020
SIGNATURE DATE

PROPERTY OWNER(s) (If different from Applicant) Check here if same as above

Name: Ian and Davina Maes Phone: 505-412-1838 Cell #: _____
Please Print

Address: ReMax First-115 Central Park Sq, Los Alamos Email: ian@ianmaesgroup.com

My/Our signature(s) below indicates that I/We authorize the Applicant to make this subdivision application on my/our behalf

[Signature] 1/27/2020
SIGNATURE DATE

Davina Maes 1-27-2020
SIGNATURE DATE

SUBDIVISION REVIEW CRITERIA:

The Los Alamos County Code of Ordinances, Chapter 16, Development Code, Sec. 16-153 establishes eight (8) criteria for the Planning and Zoning Commission to use when reviewing an application for subdivision approval. Please review each of the criteria listed and describe how your application meets the criteria. You will also be asked to discuss the criteria at your public hearings. Attach additional sheets as needed.

(a) The development of the property shall substantially conform to the comprehensive plan and shall not be materially detrimental to the health, safety and general welfare of the county.

There are no health or safety issues.

(b) Except for the R-E and R-A zoning districts and developed areas where it is determined by the utilities manager that it is economically unfeasible to extend sewer lines, all subdivisions must be served or be capable of being served by all public utilities.

The lots are served by existing public utilities.

(c) Provisions shall be made for the safe ingress, egress and circulation of vehicles, bicyclists and pedestrians. Not applicable

(d) Adequate provisions shall be made for accepting expected drainage from other properties, for controlling drainage on the site and for directing it to the storm sewer or drainage system, including considerations for impact on downstream properties. The county engineer shall approve, disapprove or recommend modifications to the storm drainage plans.

To be determined by engineer/architect preparing site, grading and drainage plans.

(e) The necessary easements shall be provided for both existing and proposed utilities in an acceptable manner to the county engineer and utilities manager. Development of the property shall be in accordance with adopted utilities department plans and specifications.

See plat.

(f) Outdoor activity areas, parking lots, outside storage areas, outdoor lighting, or other features or uses of the site or structures shall be adequately screened or otherwise controlled to effectively mitigate conflict with existing or potential adjacent land uses.

Not applicable

(g) The capacity of those public services and facilities required to serve the proposed development (including but not limited to water, sanitary sewer, electricity, gas, storm sewer, streets, etc.) shall be adequate, or made to be adequate if improvements are required.

The lots are served by existing public utilities.

(h) The subdivision is planned to retain as much as possible, all natural features such as watercourses, natural vegetation, terrain, existing structures, historic sites, archaeological sites, and other community assets, which if preserved, will contribute to the overall appearance and quality of life in the county of Los Alamos.

(i) Addresses and road names shall be in compliance with the standards as described in chapter 34, article IV, and shall be included on the original submission of the plat application.

To be determined by Los Alamos County Surveyor.

REQUIRED SUBMITTALS:

Check each of the boxes to indicate that you have attached two (2) full size (24" x 36") paper copies of each of the following, and one complete electronic copy of all materials:

- Proof of property ownership.
- A Vicinity map, showing the boundaries of the property to be subdivided, and all adjacent lots within 300 feet.
- A scaled Plat or survey at 1 inch to 100 feet, including all the following information: (Note: For smaller properties, a legal description with metes and bounds, may be acceptable. Check with CDD staff.)
- Locate and label all existing utility lines on the site. (Existing gas and electric service lines must be located by the Los Alamos County Utilities Department prior to submittal of this application.)
- Show and label the footprint of all existing buildings and structures on the site.
- Show the footprint of all buildings and public rights-of-way within 20 feet of all boundaries of the site.
- Show, dimension and label all existing and proposed easements.

THIS SECTION TO BE COMPLETED BY THE COMMUNITY DEVELOPMENT DEPARTMENT

For County Use:

Date of Submittal: _____

Staff Initial: _____

CDD Application Number: _____

Fees Paid: _____

Additional information for Subdivision Applicants:

Sec. 16-459. - Relationship between sketch, preliminary and final plat.

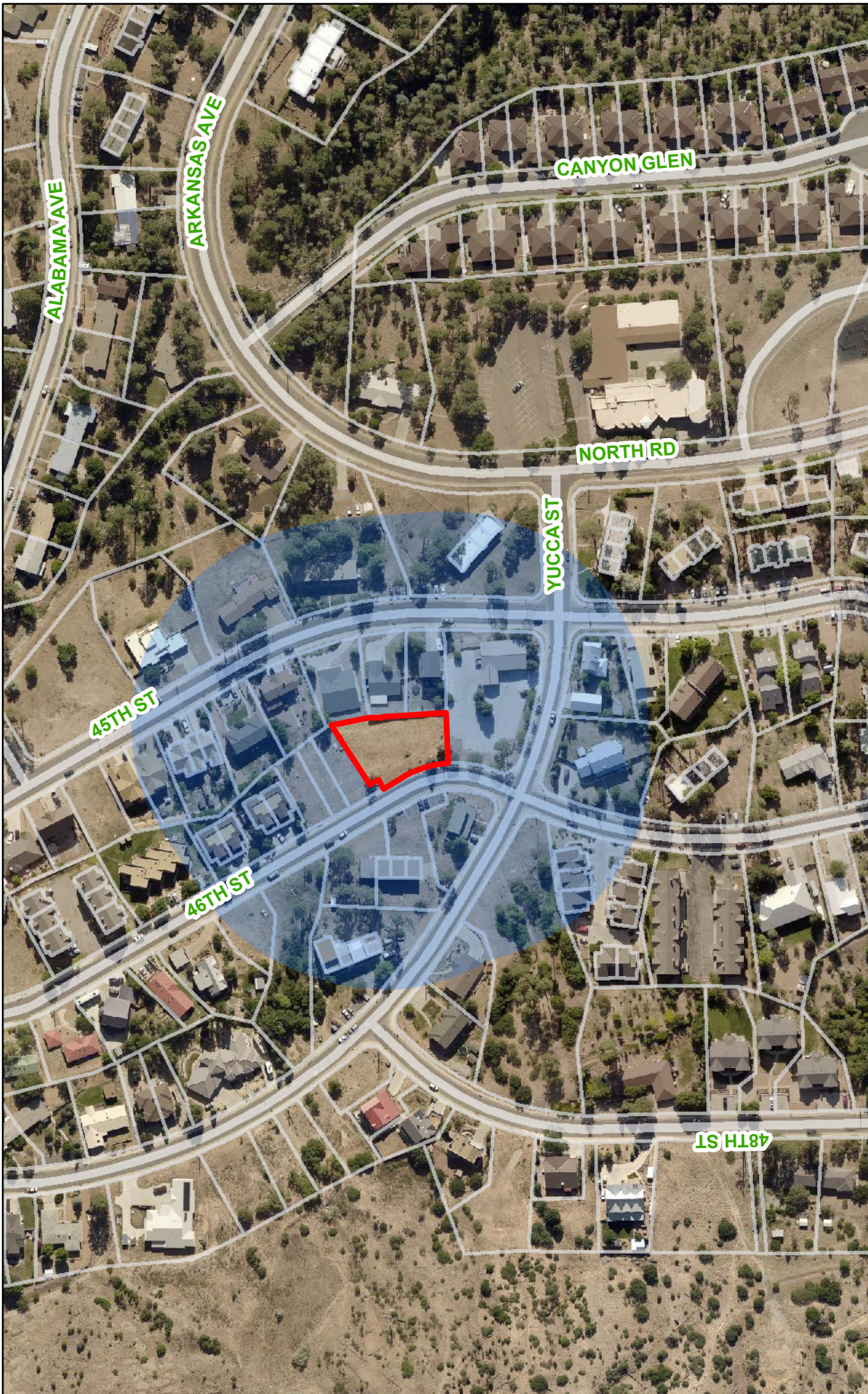
No preliminary plat shall be considered by the planning and zoning commission unless it substantially conforms to the approved or conditionally approved sketch plan. No final plat shall be considered by the planning and zoning commission unless it substantially conforms to the approved or conditionally approved preliminary plat. Plats that do not substantially conform shall be resubmitted at the sketch plat stage. Plats containing five lots or less after utility or

public or private roadway improvements under article VI of this chapter may submit sketch, preliminary and final plats as a single plat for approval.

Sec. 16-458. - Subdivision time periods.

- (a) There shall be no more than six months between final action on a sketch plan and application for preliminary plat. There shall be no more than 12 months between final action on a preliminary plat and application for final plat. Approved or conditionally approved final plats shall be filed by the applicant or agent with the county clerk within 12 months of the date of final action on a final plat.
- (b) Whenever the time period for filing of the application or filing with the county clerk expires, any and all applications for subdividing the same parcel of property shall be treated as a new application.

100 YARD NOTIFICATION



Mapping information is for reference only. Users are solely responsible to confirm data accuracy. Los Alamos County assumes no liability for errors associated with the data.



2436 46TH ST | SUB-2020-0011

-  SUBJECT SITE
-  100 YD BUFFER
-  PARCEL

Exhibit 5

SHADOW MOUNTAIN CONDOMINIUMS
2383 46TH ST
LOS ALAMOS, NM 87544

BEVERIDGE ANDREW C & LILLO ANTONIETTA M
2383 H 46TH ST
LOS ALAMOS, NM 87544

LOPEZ BEZANILLA ALEJANDRO & DUQUE KARIN T
336 MIMBRES
LOS ALAMOS, NM 87547

FERREIRA JORGE R & LU-ANNE HOERNER-
2383 A 46TH ST
LOS ALAMOS, NM 87544

DILLON ARTHUR P
2383 B 46TH ST
LOS ALAMOS, NM 87544

SHEN ZHAOCHUAN & ZHANG JIAXU
2383 C 46TH ST
LOS ALAMOS, NM 87544

2360 46TH ST CONDOS
2360 46TH ST
LOS ALAMOS, NM 87544

KENNEDY JAMES C III
2384 46TH ST
LOS ALAMOS, NM 87544

KROHN SUSAN E
2377 45TH ST
LOS ALAMOS, NM 87544

LEIBRECHT MARCUS A & ERIKA ARENDT
4531 YUCCA ST
LOS ALAMOS, NM 87544

4477 YUCCA ST CONDOS
4477 YUCCA ST
LOS ALAMOS, NM 87544

GEIST WILLIAM H
4771 YUCCA ST
LOS ALAMOS, NM 87544

J & L DUPLEXES LLC
3807 GOLD ST APT 10
LOS ALAMOS, NM 87544

4788 YUCCA ST CONDOS
4788 YUCCA ST
LOS ALAMOS, NM 87544

NOVAK MICHAEL ALAN
4788 YUCCA ST UNIT A
LOS ALAMOS, NM 87544

DEAL FAMILY LLC
4788 YUCCA ST UNIT B
LOS ALAMOS, NM 875441687

SCHWENGEL ROXANN
572 KIVA ST
LOS ALAMOS, NM 87544

KOETTER THOMAS D & VICKI L
4788 YUCCA ST UNIT D
LOS ALAMOS, NM 87544

SHEDD JOHN & KIMBERLY
2479 46TH ST
LOS ALAMOS, NM 87544-2679

COURTRIGHT INVESTMENTS LLC
2197 LOMA LINDA DR
LOS ALAMOS, NM 87544

HAM MICHAEL & ELISA
2439 D 46TH ST
LOS ALAMOS, NM 87544

2439 46TH ST CONDOS
2439 46TH ST
LOS ALAMOS, NM 87544

MARTINEZ SONJA A
2439 A 46TH ST
LOS ALAMOS, NM 87544

CASPERSEN ALEC R & DEANN REVOC TRUST
360 BRYCE AVE
LOS ALAMOS, NM 87547

WATERS LAURIE S
2439 C 46TH ST
LOS ALAMOS, NM 87544

NORTH PINES CONDOMINIUM
2466 46TH ST
LOS ALAMOS, NM 87544

YOON BORAM & SEONG YUNKYEONG
2460 D 46TH ST
LOS ALAMOS, NM 87544

OKHUYSEN BRETT S
2462 46TH ST
LOS ALAMOS, NM 87544

FADNER CRISTINA E & JEREMY J
2464 46TH ST
LOS ALAMOS, NM 87544

CHERNE III FRANK J
2466 46TH ST
LOS ALAMOS, NM 87544

DUPLECHAIN LENUS III & KIMBERLY
2437 46TH ST
LOS ALAMOS, NM 87544

KLUMPP JOHN & TERESA
2489 45TH ST
LOS ALAMOS, NM 87544

MAES IAN & DAVINA
116 CENTRAL PARK SQ
LOS ALAMOS, NM 87544

ZEYTUN AHMET
2487 45TH ST
LOS ALAMOS, NM 87544

MAES IAN & DAVINA
116 CENTRAL PARK SQ
LOS ALAMOS, NM 87544

COYOTE CROSSING CONDOMINIUM
2483 45TH ST
LOS ALAMOS, NM 87544

WALL ANDREW F & VALERIE L REV TRUST
2483 C 45TH ST
LOS ALAMOS, NM 87544

GRECO RICHARD R & ABIGAIL L
2483 B 45TH ST
LOS ALAMOS, NM 87544

STEINFELD BRYAN C
2483 A 45TH ST
LOS ALAMOS, NM 87544

MAES IAN & DAVINA
116 CENTRAL PARK SQ
LOS ALAMOS, NM 87544

VAN BUREN DALE T & DIANE T TRUST
2148 47TH ST
LOS ALAMOS, NM 87544

J & L DUPLEXES LLC
3807 GOLD ST APT 10
LOS ALAMOS, NM 87544

BRAND HOLMANN V
2136 A 34TH ST
LOS ALAMOS, NM 87544

FERRY MICHAEL R & NICOLE R
2449 45TH ST
LOS ALAMOS, NM 87544

KOSSAR NANCY M
2435 45TH ST
LOS ALAMOS, NM 87544-1665

CLAUSEN BJORN & HESSNER LENE
2425 45TH ST
LOS ALAMOS, NM 87544

LOVATO BOBBIE JO REVOC TRUST
2431 45TH ST
LOS ALAMOS, NM 87544

L A CONGREGATION OF JEHOVAH'S WITNESSES
4542 YUCCA ST
LOS ALAMOS, NM 87544

THOMAS SEAN M & ROSA PRISCILA F S
2472 45TH ST
LOS ALAMOS, NM 87544

YIN GUOHUA
2454 45TH ST
LOS ALAMOS, NM 87544

PIERCE RICHARD A
2436 A 45TH ST
LOS ALAMOS, NM 87544

2406 45TH ST CONDOS
2406 45TH ST
LOS ALAMOS, NM 87544

IRWIN TIMOTHY J & ROBERTA J
548 SULPHUR CREEK RD
JEMEZ SPRINGS, NM 87025

IRWIN TIMOTHY J & ROBERTA J
2406 B 45TH ST
LOS ALAMOS, NM 87544

MIDDLETON RICHARD S & ERIN J
2406 D 45TH ST
LOS ALAMOS, NM 87544

GAUNT ANDREW J & BARTLETT AMY R REVOC TR...
2451 NORTH RD
LOS ALAMOS, NM 87544