

**DEVELOPMENT APPLICATION****PROJECT INFORMATION**Title: **Kiln Equipment Yard Variance Request (Accessory Structure and Building Setback)**Project Address: **UNM - Los Alamos - Building 8, 4000 University Dr., Los Alamos, NM 87544**

Description:

Check all application types, if applicable:

- |  |   |
|--|---|
| <input type="checkbox"/> Administrative Deviation ... \$25   | <input type="checkbox"/> Site Plan* ... \$500 plus<br>\$75 per/Million \$ estimated construction cost   |
| <input type="checkbox"/> Administrative Wireless Telecom ... \$250   | <b>Estimated Construction Cost:</b> _____   |
| <input type="checkbox"/> Encroachment Permit ... \$25  | <input type="checkbox"/> Major Site Plan Amendment* ... \$500   |
| <input type="checkbox"/> Temporary Use Permit ... \$25   | <input type="checkbox"/> Minor Site Plan Amendment ... \$250  |
| <input type="checkbox"/> Comprehensive Plan Adoption &<br>Amendment*... \$250  | <input type="checkbox"/> Major Zone Map Amendment* ... \$500 (+\$25/acre)<br><i>No fee if initiated by County Council<br/>or County Manager</i> |
| <input type="checkbox"/> Conditional Use Permit* ... \$300   | <input type="checkbox"/> Minor Zone Map Amendment* ... \$500 (+\$25/acre)<br><i>No fee if initiated by County Council<br/>or County Manager</i> |
| <input type="checkbox"/> County Landmark or Historic District<br>Adoption/Amendment* ... \$250   | <input type="checkbox"/> Master Plans* (Major, Minor) ...\$250  |
| <input type="checkbox"/> Development Plan* ... \$500   | <input type="checkbox"/> Text Amendment* ... \$150<br><i>No fee if initiated by County Council<br/>or County Manager</i>                        |
| <input type="checkbox"/> Major Development Plan Amendment* ... \$500   | <input checked="" type="checkbox"/> Variance ... \$250<br><i>No fee if application is a part of a Site Plan review</i>                          |
| <input type="checkbox"/> Minor Development Plan Amendment ... \$250  | <input type="checkbox"/> Administrative Wireless Telecommunication<br>Facility ... \$250  |
| <input type="checkbox"/> Summary Plat... \$100 plus \$25 lot; \$10 / acre for<br>non-residential   | <input type="checkbox"/> Discretionary Wireless Telecommunication<br>Facility* ... \$500  |
| <input type="checkbox"/> Sketch Plat, Subdivision*... \$250 plus<br>\$175/lot (1-10 lots)<br>\$125/lot (11-30 lots)<br>\$75/lot (30+ lots)       | <input type="checkbox"/> Small Wireless Facility ...\$250   |
| <input type="checkbox"/> Preliminary Plat, Subdivision* ... \$250 plus<br>\$175/lot (1-10 lots)<br>\$125/lot (11-30 lots)<br>\$75/lot (30+ lots) | <input type="checkbox"/> Major Historic Demolition* ... \$250   |
| <input type="checkbox"/> Final Plat, Subdivision* ... \$250 plus<br>\$175/lot (1-10 lots)<br>\$125/lot (11-30 lots)<br>\$75/lot (30+ lots)       | <input type="checkbox"/> Major Historic Property Alteration<br>Certification* ... \$250   |
| <input type="checkbox"/> Landscaping Plan ...\$500   | <input type="checkbox"/> Minor Historic Property Alteration Certificate ... \$250   |
| <input type="checkbox"/> Lighting Plan ...\$500  |   |

**\* Application reviews require a pre-application meeting.**

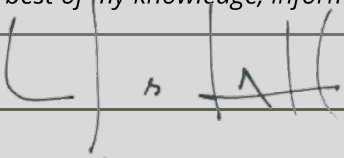
**PROPERTY & OWNER INFORMATION**

Property Address:	<b>4000 University Dr.</b> <small>Address</small>	<b>Los Alamos</b> <small>City</small>	<b>NM</b> <small>State</small>	<b>87544</b> <small>ZIP</small>
Zoning District:	<b>INS</b>	Overlay Zone:	<input checked="" type="checkbox"/> N/A	
Existing Structure(s) Sq. Ft.:	<b>103,896.00</b>	Proposed Structure(s) Sq. Ft.:	<b>115.00</b>	
Lot Area (sq.ft.): <b>15.20</b>				
Property Owner(s) Name: <b>Los Alamos School Board - Mike Holtzclaw (Authorized Owner's Rep.)</b>				
Owner(s) Email: <b>mholtzclaw@unm.edu</b>				
Owner(s) Phone(s)#: <b>505-661-4689</b>				
<input checked="" type="checkbox"/> Owner's Address same as Property Address				
Owner(s) Address:	<small>Address</small>	<small>City</small>	<small>State</small>	<small>ZIP</small>

**APPLICANT / OWNER'S AGENT INFORMATION**

<input type="checkbox"/> Applicant is same as Owner				
Applicant Name: <b>Wesley Lansford</b>				
Applicant Address:	<b>203c Wellesley Dr. SE</b> <small>Address</small>	<b>Albuquerque</b> <small>City</small>	<b>NM</b> <small>State</small>	<b>87106</b> <small>ZIP</small>
Applicant Email: <b>wes@weslansfordarchitecture.com</b>				
Applicant Phone(s)#: <b>505-610-0393</b>				

**ASSOCIATED APPLICATIONS**

Application Type:	
Case Number:	
<i>I hereby certify and affirm, under penalty of perjury, that the information I have provide in this application is true and accurate to the best of my knowledge, information, and belief. [NMSA 1978, §30-25-1]</i>	
Signature: 	Date: <b>6.4.2025</b>
Signature:	Date:

**STAFF USE ONLY**

Date Received:	Staff:
Case No.#:	Meeting Date:

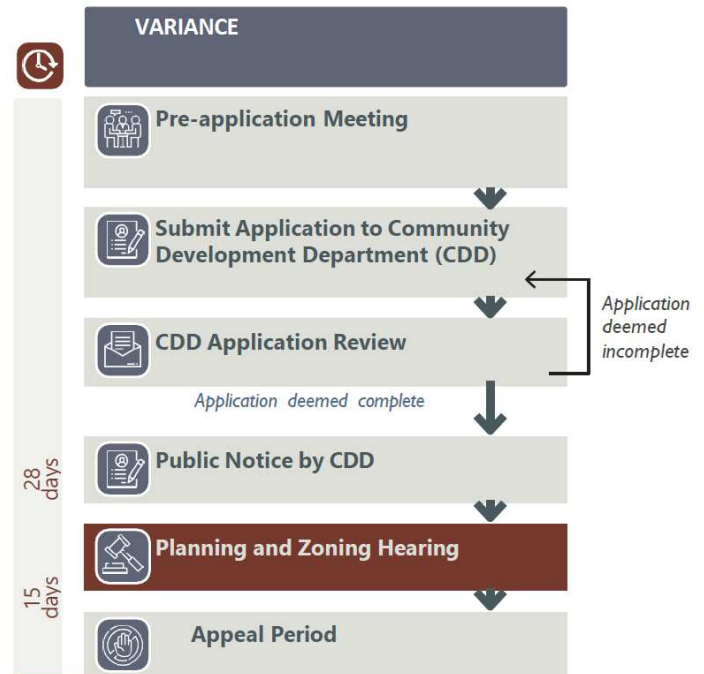
**SUBMITTALS**

- |   |   |
|---|---|
| <input type="checkbox"/> Proof of Ownership or Letter of Authorization from Owner | <input type="checkbox"/> Complete Application – Date: _____   |
| <input type="checkbox"/> Items from associated Application Checklist              | <input type="checkbox"/> Payment – Accepted upon verification of a complete application - Date: _____ |

## VARIANCE CHECKLIST

Applicants for all development application reviews must complete this checklist and submit it with the Development Application. Refer to the referenced code sections for additional information. Contact the Planning Division with questions regarding these requirements: [planning@lacnm.us](mailto:planning@lacnm.us).

PRE-APPLICATION MEETING	
Date Held:	
SITE PLAN	
Scaled site plan at a minimum of 1" = 100' that illustrates the following:	
<input checked="" type="checkbox"/>	Graphic Scale and North Arrow
<input checked="" type="checkbox"/>	Property Lines according to recorded survey
<input checked="" type="checkbox"/>	Existing and proposed structures
<input checked="" type="checkbox"/>	Existing and proposed easements
<input checked="" type="checkbox"/>	Existing and proposed setbacks
<input checked="" type="checkbox"/>	Existing and proposed utility lines
ELEVATIONS	
Elevation drawing(s) at a minimum scale of 1/8" = 1' that indicates:	
<input checked="" type="checkbox"/>	Height (above existing grade) of all four sides
LOT COVERAGE	
Existing (%):	16.00
Proposed (%):	16.00
ADDITIONAL SUBMITTALS	
Based on staff's review and Interdepartmental Review Committee's recommendation – additional submittals may be required and will be communicated to the applicant by the assigned Case Manager.	



See Reverse.

## DECISION CRITERIA 16-74(g)(3)

- a. The variance will not be contrary to the public safety, health, or welfare. Explain.

Correct. The proposed structure has been designed by a qualified, professionally licensed, full Design Team, following all applicable life safety and building codes.

The project has been issued, reviewed and approved by Construction Industries Division of New Mexico (CID) for Permit.

☐ Staff finds that this criterion has been met

☐ Staff finds that this criterion has not been met – more information is needed

- b. The variance request will not undermine the intent of the Development Code, the applicable zone district, other County adopted policies or plans, or violate the Building Code. Explain.

Correct. Our variance request will not undermine the intent of the Development Code, the applicable zone district, other County adopted policies or plans, or violate the Building Code. \*Note: The project has been issued - reviewed for Code Compliance - and approved by CID for Building Permit.

☐ Staff finds that this criterion has been met

☐ Staff finds that this criterion has not been met – more information is needed

- c. Granting of the variance will not cause an intrusion into any utility or other easements unless approved by the owner of the easement. Explain.

Correct. The structure is not located on any existing easements.

☐ Staff finds that this criterion has been met

☐ Staff finds that this criterion has not been met – more information is needed



**DECISION CRITERIA 16-74-(g)(3)**

- d. The variance request is caused by an unusual physical characteristic or hardship inherent in the lot or lot improvements and that the peculiarity or hardship is not self-imposed. Explain.

Correct. The existing nature of the site leaves no other zone for the structure to be placed.

The structure - covering pottery kilns - needs to be adjacent to the ceramics classroom on the east. This available area on the west for the structure is constrained - locked-in in area/shape by the existing roadway, existing adjacent building, boundary lines - leaving a small irregular shape to work with.

UNM-Los Alamos is looking to update their accessibility routes campus-wide. Part of these improvements calls for an ADA connection to the ceramics classroom and kiln storage area, so locating the kiln structure elsewhere would make it not universally accessible for all students and staff, along with making for a problematic/long/sloped route for wheeling pottery to the kilns.

☐ Staff finds that this criterion has been met

☐ Staff finds that this criterion has not been met – more information is needed

- e. The variance will not create any significant adverse impacts on properties within the vicinity. Explain.

No. The structure itself will be low-impact visually - mostly open air / see through. The wall panels are of perforated metal - 57% open. Additionally, the structure will sit approx. 1.5 feet lower than adjacent grade. This allows the kilns to sit level with the finish floor of the ceramics classroom and provides less of a visual impact for neighboring properties. It will be the lowest structure on the campus.

☐ Staff finds that this criterion has been met

☐ Staff finds that this criterion has not been met – more information is needed

- f. Granting of the approved variance is the minimum necessary easing of the Code requirements making possible the reasonable use of the land, structure, or building. Explain.

Correct. We are only seeking to request: 1) Chapter 16, Development Code, Article III – Use Regulations, Division 1 – Permitted Uses to allow a 115-square-foot accessory structure in INS zoning, and 2) Section 16-18(b)(8) to reduce the required setback from 10 feet to 5 feet from another accessory structure.

☐ Staff finds that this criterion has been met

☐ Staff finds that this criterion has not been met – more information is needed

**Attach additional sheets, if needed.**

**POST IN A CONSPICUOUS PLACE**  
**NOTICE**

PERMIT NO: GENC\_20253376269

HAS BEEN ISSUED FOR THIS CONSTRUCTION BY  
THE STATE OF NEW MEXICO  
REGULATION AND LICENSING DEPARTMENT  
CONSTRUCTION INDUSTRIES DIVISION  
GENERAL CONSTRUCTION BUREAU

<b>JOB SITE ADDRESS</b> 4000 University Dr., Los Alamos, New Mexico, USA		<b>Issued:</b>	05/20/2025
		<b>Occupancy:</b>	B
<b>PROPERTY OWNER</b> Greg Skinner		<b>Types of Construction:</b>	IIA
		<b>Square Footage:</b>	729
<b>CONTRACTOR</b>	ALL-RITE CONSTRUCTION INC.	<b>Valuation:</b>	
<b>PHONE NUMBER:</b>	5053447663	<b>Total Fees:</b>	388.00
<b>INSPECTOR:</b> Julian Gonzales			
<b>INSPECTOR NUMBER:</b> 5054902989			
<b>SCOPE OF WORK:</b>  > General Building			
<b>DESCRIPTION OF WORK:</b> Select Alterations of interior space for a ceramics studio			

This is General Construction Permit and does not cover electrical or mechanical permit requirements for the State of New Mexico.

Notice: it is the responsibility of the permit holder to call for the required inspections in advance. Please wait for the inspector to perform the inspection.

Notice: every permit issued by cid will expire and be voided if the work authorized by such permit is not commenced Within 180 days from the date such permit was issued.

To schedule an inspection please contact our call center at 505-222-9813 or 1-877-243-0979.  
[CID.Inspection@state.nm.us](mailto:CID.Inspection@state.nm.us). If by email you must include permit number, site address, contact name and phone number. The email submission is an easy, efficient method for requesting inspections. Upon receipt of emailed inspection request, a confirmation email will be sent to the requestor

Record of Inspection:

	GENERAL BUILDING		ELECTRICAL		MECHANICAL
DATE	PURPOSE	DATE	PURPOSE	DATE	PURPOSE

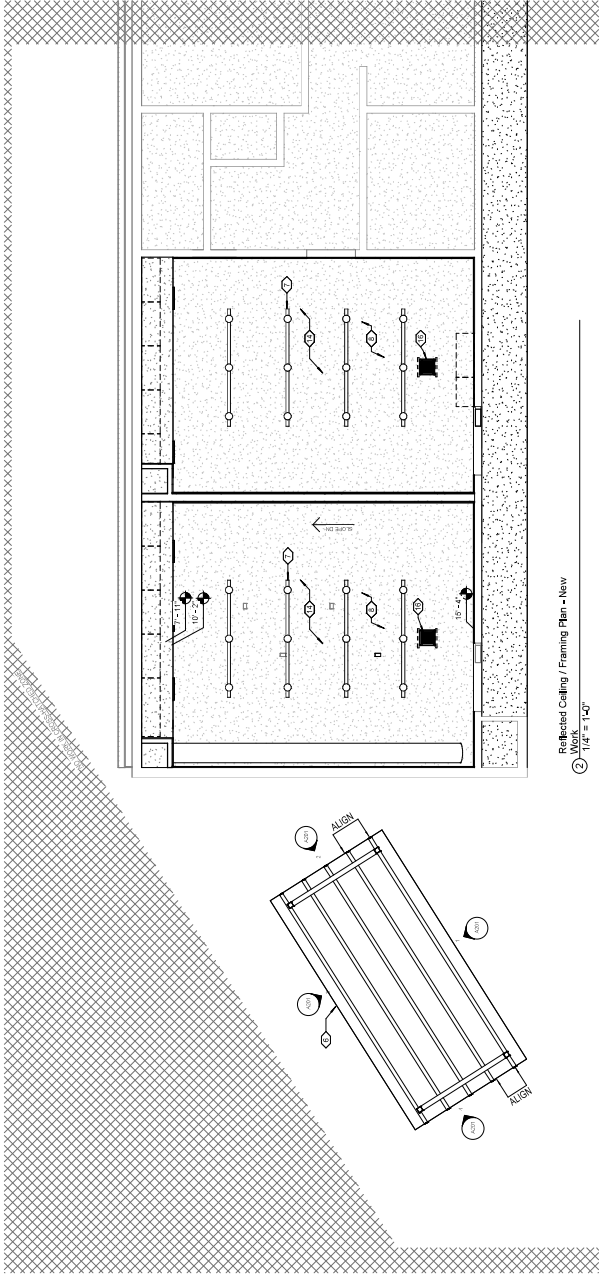




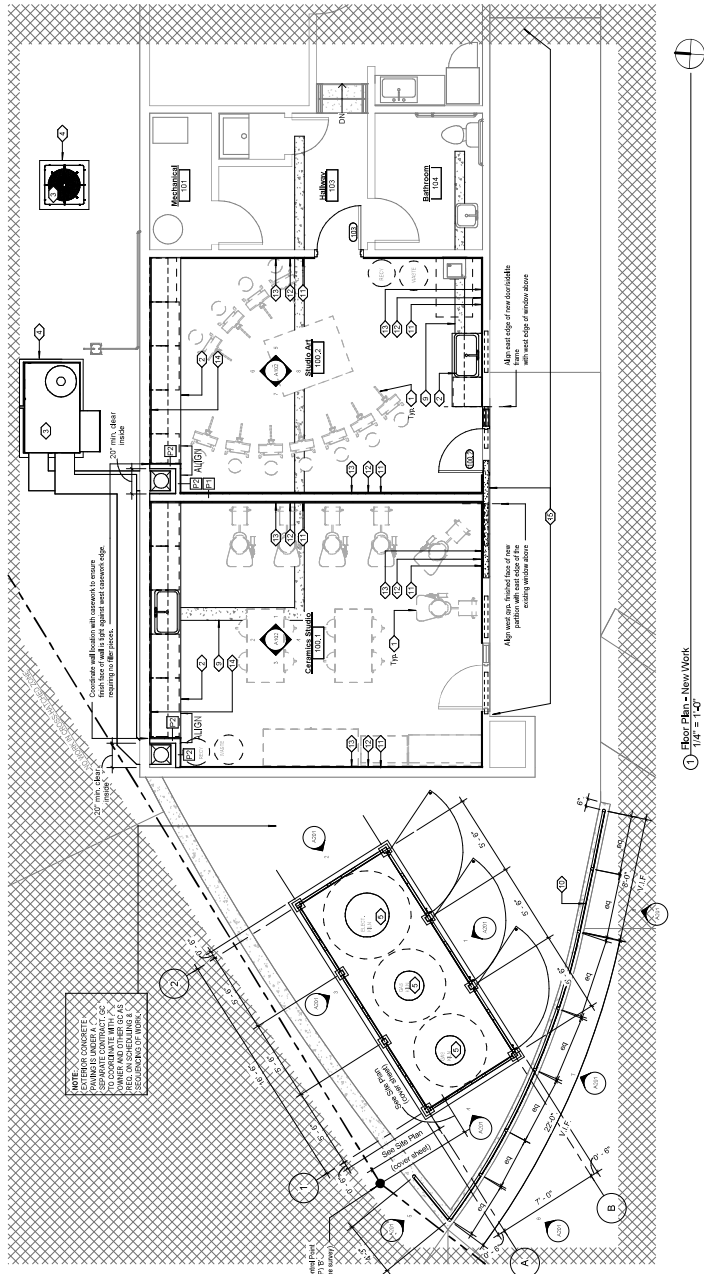
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ESTADOS  
UNIDOS  
MEXICANOS  
06.2.2025  
REGISTRADO  
MEXLEY  
LA  
INSTRUMENTAL  
No. 3000

ARCHITECT

**WLA** architects  
410 2nd St. W., 4th Floor, Minneapolis, MN 55401  
612.691.1000 [info@wla-architects.com](mailto:info@wla-architects.com)



- KEYNOTE LEGEND**
1. Furniture indicated by grey shaded panel - OF C.L. unless noted otherwise.
  2. New steel pipe support network with epoxy counter top. See Interior Elevations.
  3. New mechanical equipment. See Mechanical Schedule.
  4. New electrical equipment. See Electrical Schedule.
  5. New lighting. See Electrical Schedule.
  6. New lighting. See Electrical Schedule.
  7. New lighting. See Electrical Schedule.
  8. New lighting. See Electrical Schedule.
  9. New lighting. See Electrical Schedule.
  10. New lighting. See Electrical Schedule.
  11. New lighting. See Electrical Schedule.
  12. New lighting. See Electrical Schedule.
  13. New lighting. See Electrical Schedule.
  14. New lighting. See Electrical Schedule.
  15. New lighting. See Electrical Schedule.
  16. New lighting. See Electrical Schedule.



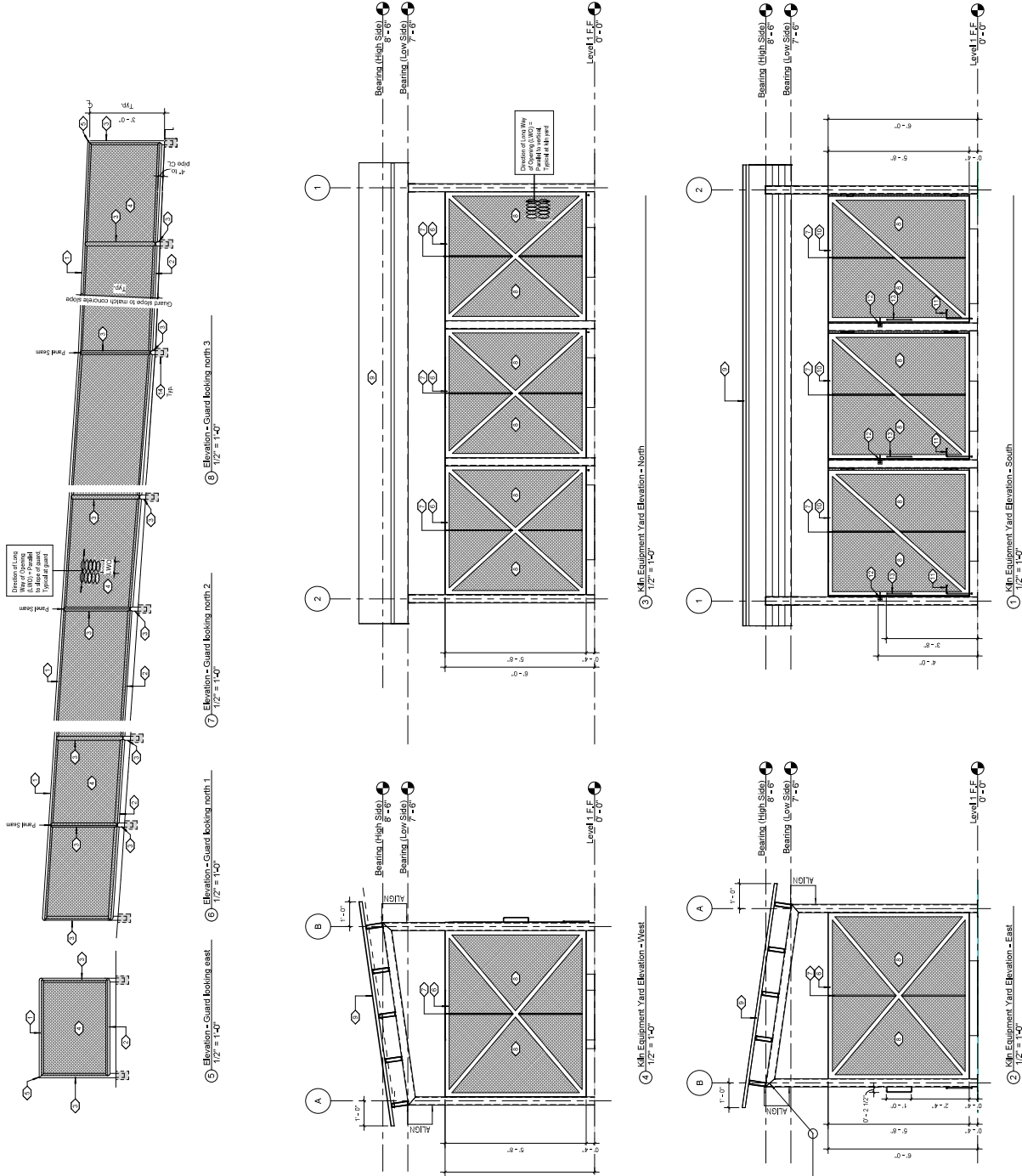




PHASE	100% Construction Documents
DATE	6.2.2025
REV	No.
Description	Date
DRAWN BY:	VL
CHECKED BY:	VL
A201	
Building Elevations	

KEYNOTE LEGEND

1. Conc. 2" dia. hot rolled steel pipe top rail. Rail steel to curve to match existing bearing wall inside.
2. Hot rolled steel pipe top rail. Rail steel to curve to match existing bearing wall inside.
3. Hot rolled steel pipe top rail. Rail steel to curve to match existing bearing wall inside.
4. Expanded metal - hot rolled 1/2" No. 13 flannel, 57% open.
5. Expanded metal - hot rolled 1/2" No. 13 flannel, 57% open.
6. After at corner.
7. Open expanded metal welded to steel framing on INTERIOR side frame with perimeter framing on (4) sides and 2" frame.
8. 1/2" x 1" hot rolled steel flat bar at expanded metal seam.
9. Open expanded metal welded to steel framing on INTERIOR side frame with perimeter framing on (4) sides and 2" frame.
10. Cold rolled 20 GA. corrugated metal roof panel (Western Corrugated Metal Co. 20 GA. 12" x 24" x .01875" thick welded steel frame with 2" x 2" x 1/4" steel framing on (4) sides and diagonal bracing. Girds all welds smooth.
11. Hot rolled steel pipe top rail.
12. Hot rolled steel pipe top rail.
13. Hot rolled steel pipe top rail.
14. Cold rolled 20 GA. corrugated metal roof panel (Western Corrugated Metal Co. 20 GA. 12" x 24" x .01875" thick welded steel frame with 2" x 2" x 1/4" steel framing on (4) sides and diagonal bracing. Girds all welds smooth.

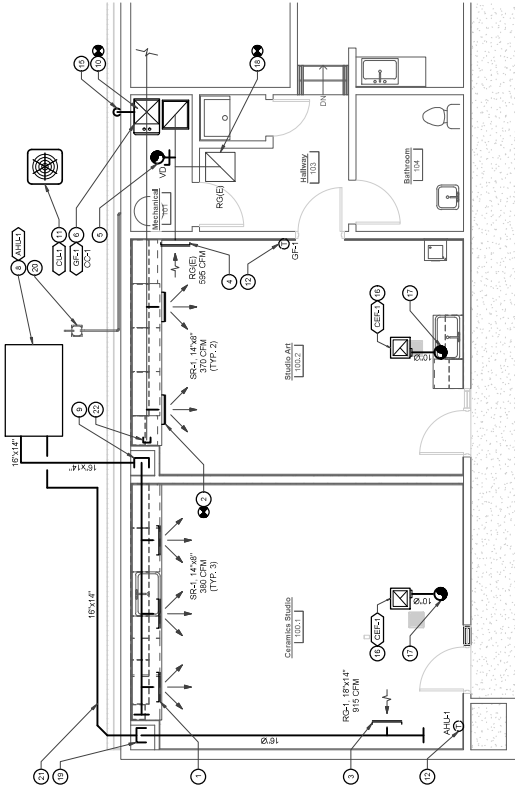


## GENERAL NOTES

- REFER TO SHEET M101 FOR DETAILS.
- REFER TO SHEET M101 FOR GENERAL NOTES, SPECIFICATIONS, LEGEND & SCHEDULES.

## KEYED NOTES

- NEW SUPPLY REGISTER TO BE INSTALLED ON TO NEW SUPPLY DUCTWORK AND CONNECTED TO EXISTING RETURN DUCTWORK.
- NEW SUPPLY REGISTER TO BE INSTALLED ON TO EXISTING SUPPLY DUCTWORK AND BALANCE TO INDICATED AIRFLOW. PROVIDE ALL ACCESSORIES REQUIRED TO ALLOW FOR PROPER INSTALLATION ON TO EXISTING DUCTWORK. (TYP-2)
- NEW RETURN GRILLE TO BE INSTALLED ON TO NEW RETURN DUCTWORK AND BALANCE TO INDICATED AIRFLOW.
- EXISTING RETURN GRILLE TO BE BALANCE TO INDICATED AIRFLOW.
- NEW 18"X14" DOOR AIR HANDLING UNIT TO BE INSTALLED ON TO NEW RETURN DUCTWORK AND CONNECTED TO EXISTING RETURN DUCTWORK. PROVIDE ALL ACCESSORIES REQUIRED TO ALLOW FOR PROPER INSTALLATION ON TO EXISTING DUCTWORK. (TYP-2)
- REINSTALL NEW GAS FIRED FURNACE ON TO NEW PLATFORM AND PROVIDE ALL ACCESSORIES REQUIRED TO ALLOW FOR PROPER INSTALLATION ON TO EXISTING DUCTWORK. REFER TO DETAIL ON DRAWING M101 FOR ADDITIONAL INFORMATION.
- RECONNECT EXISTING RETURN DUCT ON TO NEW PLUMB. REFER TO DETAIL ON DRAWING M101 FOR ADDITIONAL INFORMATION.
- NEW AIR HANDLING UNIT TO BE MOUNTED ON NEW SIX INCH CONCRETE PAD. PROVIDE ALL ACCESSORIES REQUIRED TO ALLOW FOR PROPER INSTALLATION ON TO EXISTING DUCTWORK. (TYP-2)
- NEW SUPPLY DUCTWORK THROUGH WALL AND CONCEAL IN VERTICAL CHASE. WALL PENETRATION SHALL BE SEALED WEATHER TIGHT. REFER TO DETAIL ON DRAWING M101 FOR DUCT SUPPORT AND DUCT PENETRATION DETAIL. PROVIDE NEW COOLING COIL ON TO EXISTING GAS FIRED FURNACE. MODIFY CONNECTION & INSTALLATION.
- NEW CONDENSING UNIT TO BE CONNECTED ON TO THEIR RESPECTIVE EQUIPMENT. INSTALL ON CONCRETE PAD & LARGER EACH WAY LARGER THAN EXISTING. PROVIDE ALL ACCESSORIES REQUIRED TO ALLOW FOR PROPER INSTALLATION AND CLEARANCE.
- NEW THIRDSIDEAT TO BE MOUNTED 48" A.F.F.
- EXISTING SUPPLY DUCT TO REMAIN.
- NEW 18"X14" ROLLED STEEL EXHAUST DUCT TO BE CONNECTED TO ELECTRIC EXHAUST FAN. PROVIDE ALL ACCESSORIES REQUIRED TO ALLOW FOR PROPER INSTALLATION ON TO EXISTING DUCTWORK. (TYP-2)
- NEW 34" CONDENSATE DRAIN LINE FROM NEW COOLING COIL AND TERMINATE ABOVE DRYWELL.
- CEILING EXHAUST FAN TO BE INSTALLED AT THIS LOCATION. REFER TO CEILING EXHAUST FAN DETAIL ON DRAWING M101 FOR ADDITIONAL INFORMATION.
- 10"X EXHAUST DUCT UP THRU ROOF TO GOOSENECK TERMINATION. ROOF PENETRATION SHALL BE SEALED WEATHER TIGHT.
- NEW RETURN DUCT TO BE CONNECTED TO EXISTING.
- NEW RETURN DUCTWORK THROUGH WALL AND CONCEAL IN VERTICAL CHASE. WALL PENETRATION SHALL BE SEALED WEATHER TIGHT. REFER TO DETAIL ON DRAWING M101 FOR DUCT SUPPORT AND DUCT PENETRATION DETAIL.
- EXISTING GAS METER TO REMAIN.
- INSTALL DUCTWORK LOW TO GROUND.
- EXISTING DUCTWORK CAP & SEAL.
- GAS RISERS PROVIDED BY OTHERS.



## HVAC PLAN

SCALE: 1/4\"=1'-0"

ARCHITECT

Los Alamos, NM 87544  
4000 UNIVERSITY DRIVE  
UNIVERSITY OF NEW MEXICO  
Los Alamos, NM 87544

University of New Mexico  
Los Alamos Campus  
Alterations for Art Classrooms  
and Kline Equipment Yard

CONSULTANT



PHASE	100% Construction Documents
DATE	5.2.2025

REV	No.	Description	Date
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DRAWN BY: ML  
CHECKED BY: WAY

M101  
HVAC Plan



## GENERAL NOTES

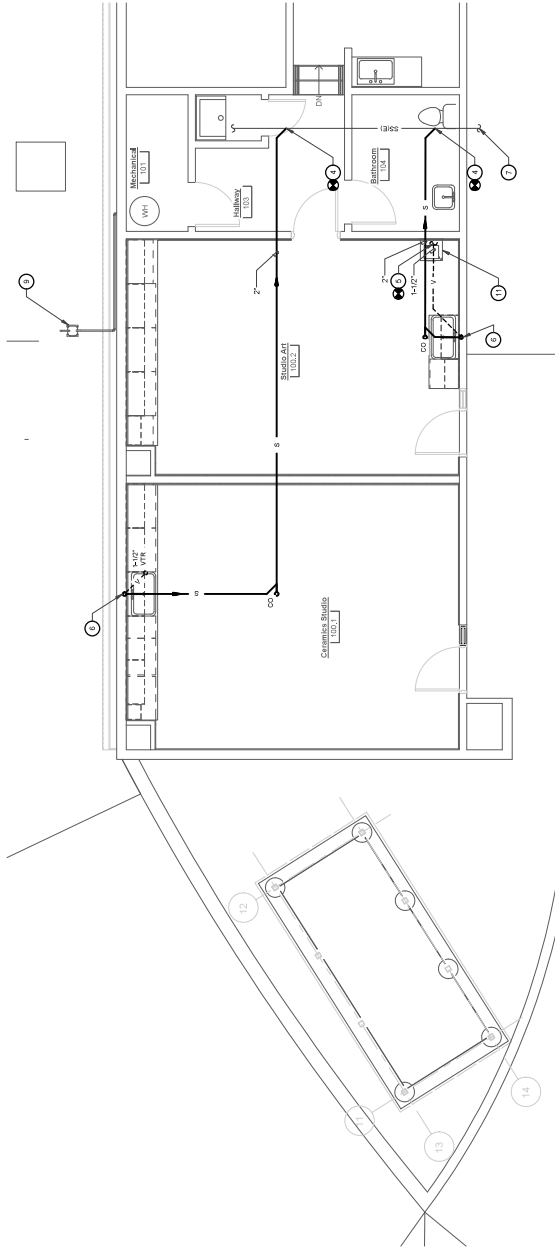
- REFER TO SHEET M1001 FOR DETAILS.
- REFER TO SHEET M1001 FOR GENERAL NOTES, SPECIFICATIONS, LEGEND & SYMBOLS.

## KEYED NOTES

- EXTEND 3/4" COWAY FROM NEW SINK TO CEILING SPACE AND EXTEND/CONNECT TO EXISTING 1/2" COWAY FROM NEW SINK TO CEILING SPACE. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND EXACT LOCATION.
- INSTALL NEW SINK AT LOCATION SHOWN WITH EMERGENCY EYE WASH. PROVIDE SLOPED INTERCEPTOR WITHIN ADJACENT CLOSET.
- NEW 3/4" COWAY DOWN TO NEW SINK AND EMERGENCY EYE WASH.
- EXTEND 2" WASTE PIPING FROM NEW SINK AND CONNECT TO EXISTING WASTE PIPING AS SHOWN. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND EXACT LOCATION.
- EXISTING 1/2" COWAY SPRING FROM NEW EYE WASH SINK AND CONNECT TO EXISTING VENT PIPING AS SHOWN. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND EXACT LOCATION.
- NEW 2" WASTE DOWN AND 1/2" VENT UP FROM NEW SINK.
- EXISTING WASTE LINE TO REMAIN. EXACT LOCATION SHALL BE VERIFIED BY CONTRACTOR.
- NEW CIRCULATION PUMP TO BE INSTALLED IN MECHANICAL ROOM. REFER TO SHEET M1001 FOR DETAILS AND SPECIFICATIONS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND EXACT LOCATION.
- EXISTING GAS METER TO REMAIN.
- NEW 1/2" HWV LINE CONNECT TO HOT WATER LINE.
- EXISTING WATER COOLER TO REMAIN.
- NEW GAS LINE CONNECT TO EXISTING GAS LINE AND RUN UNDER GRADE. GAS LINE INSTALLED UNDERGROUND SHALL BE SLOPED. CONTRACTOR SHALL PROVIDE PROTECTION FOR GAS LINE. CONTRACTOR TO ENSURE ADDITIONAL SAFETY IS PROVIDED TO THE GAS NOTES.
- NEW GAS LINE TO NEW WASH HANDING UNIT. PROVIDE NEW GAS COCK, UNION, AND DIRT LEGS WITH REMOVABLE CAP. PROVIDE NEW GAS LINE FOR LEAKS AFTER INSTALLATION.
- NEW GAS LINE TO NEW WASH HANDING UNIT. PROVIDE NEW GAS COCK, UNION, AND DIRT LEGS WITH REMOVABLE CAP. PROVIDE NEW GAS LINE FOR LEAKS AFTER INSTALLATION. ALN PROVIDED BY OTHERS.
- NEW GAS LINE TO NEW WASH HANDING UNIT. PROVIDE NEW GAS COCK, UNION, AND DIRT LEGS WITH REMOVABLE CAP. PROVIDE NEW GAS LINE FOR LEAKS AFTER INSTALLATION. ALN PROVIDED BY OTHERS.
- NEW GAS LINE SHALL RUN BELOW GRADE AND CONCRETE SLAB.
- ELECTRIC ALN PROVIDED BY OTHERS.

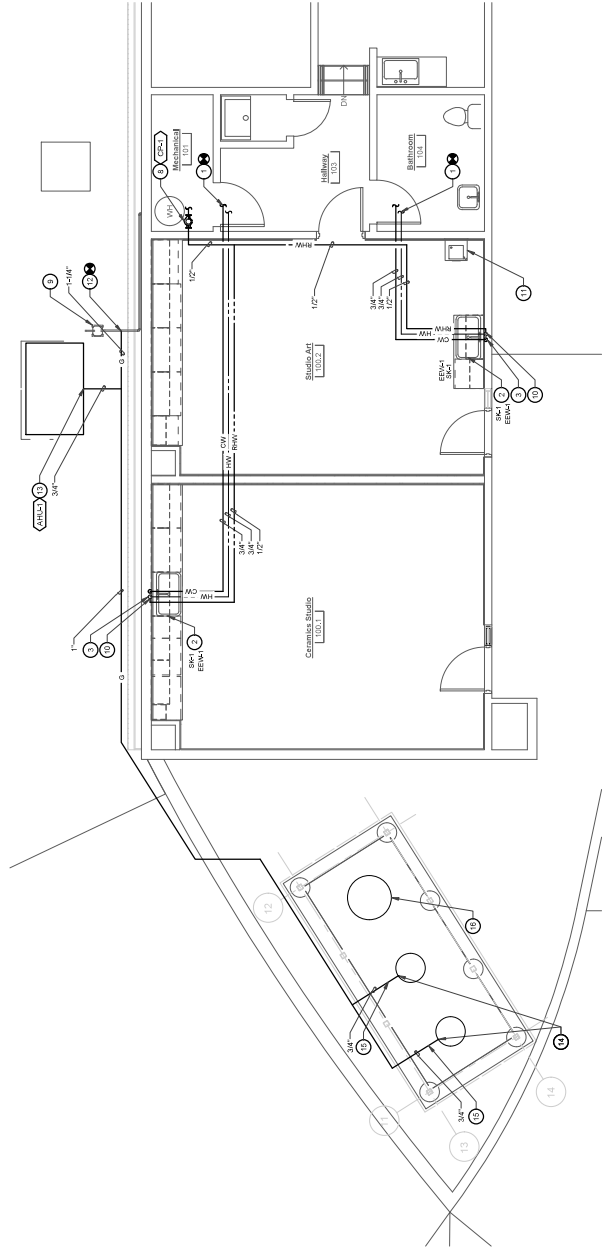
## WASTE & VENT PLAN

SCALE: 1/4"=1'-0"



## DOMESTIC WATER PLAN

SCALE: 1/4"=1'-0"



University of New Mexico  
Los Alamos Campus  
Alterations for Art Classrooms  
and Kline Equipment Yard

UNM-Los Alamos Building 8 (ML0008)  
4000 UNIVERSITY DR.  
LOS ALAMOS, NM 87544

ARCHITECT

CONSULTANT



PHASE: 100% Construction Documents  
DATE: 5.2.2025

REV: No. Description Date

DRAWN BY: ML  
CHECKED BY: MAY

P101  
Waste & Vent Plan and  
Domestic Water Plan

1. COMBUSTION BATTERY EMERGENCY TWIRK-UP LINE TYPE "VNH" CONNECT TO EMERGENCY BATTERY PACK, RETURN TO LUMINAIRE SCHEDULE. CONNECT TO EMERGENCY BATTERY PACK.
2. EXTENDING EMERGENCY FEEDERS LIGHTING UPON TYPE "VNH" UPON EMERGENCY BATTERY PACK, RETURN TO LUMINAIRE SCHEDULE. CONNECT TO EMERGENCY BATTERY PACK.
3. EMERGENCY BATTERY PACK, RETURN TO LUMINAIRE SCHEDULE. CONNECT TO EMERGENCY BATTERY PACK.
4. EMERGENCY BATTERY PACK, RETURN TO LUMINAIRE SCHEDULE. CONNECT TO EMERGENCY BATTERY PACK.
5. EMERGENCY BATTERY PACK, RETURN TO LUMINAIRE SCHEDULE. CONNECT TO EMERGENCY BATTERY PACK.
6. EMERGENCY BATTERY PACK, RETURN TO LUMINAIRE SCHEDULE. CONNECT TO EMERGENCY BATTERY PACK.
7. EMERGENCY BATTERY PACK, RETURN TO LUMINAIRE SCHEDULE. CONNECT TO EMERGENCY BATTERY PACK.
8. EMERGENCY BATTERY PACK, RETURN TO LUMINAIRE SCHEDULE. CONNECT TO EMERGENCY BATTERY PACK.
9. EMERGENCY BATTERY PACK, RETURN TO LUMINAIRE SCHEDULE. CONNECT TO EMERGENCY BATTERY PACK.
10. EMERGENCY BATTERY PACK, RETURN TO LUMINAIRE SCHEDULE. CONNECT TO EMERGENCY BATTERY PACK.

4000 University Dr.  
Los Alamos, NM 87544

Architect



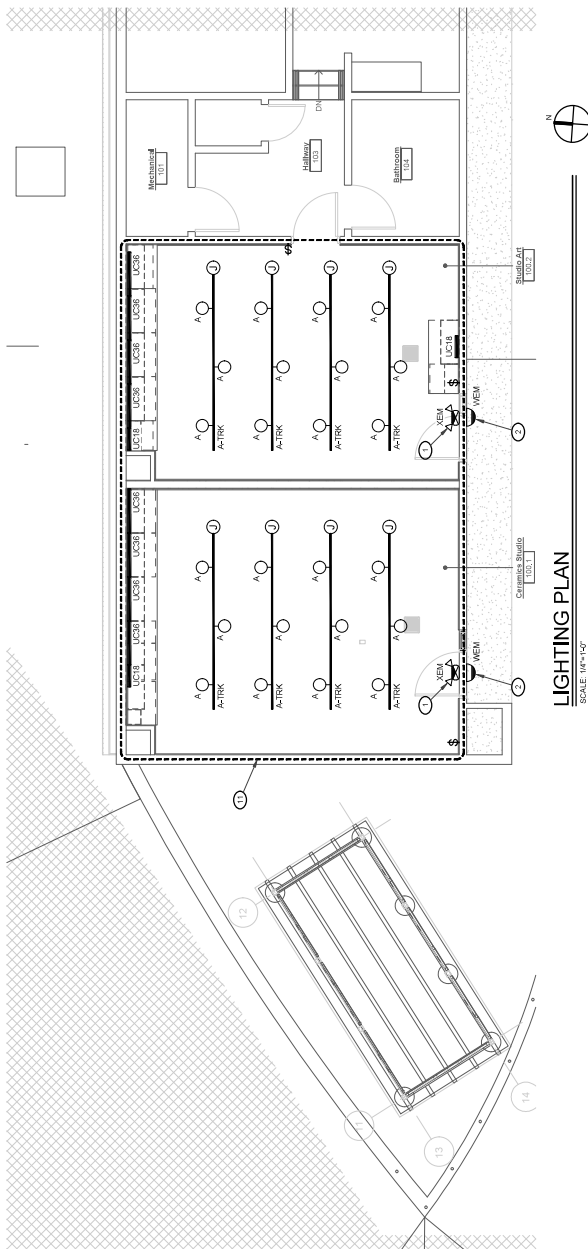
PHASE:	100% Construction Documents
DATE:	5.2.2025

REV:	Description	Date
No.		

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E101

## Lighting Plan and Power & Special Systems Plan



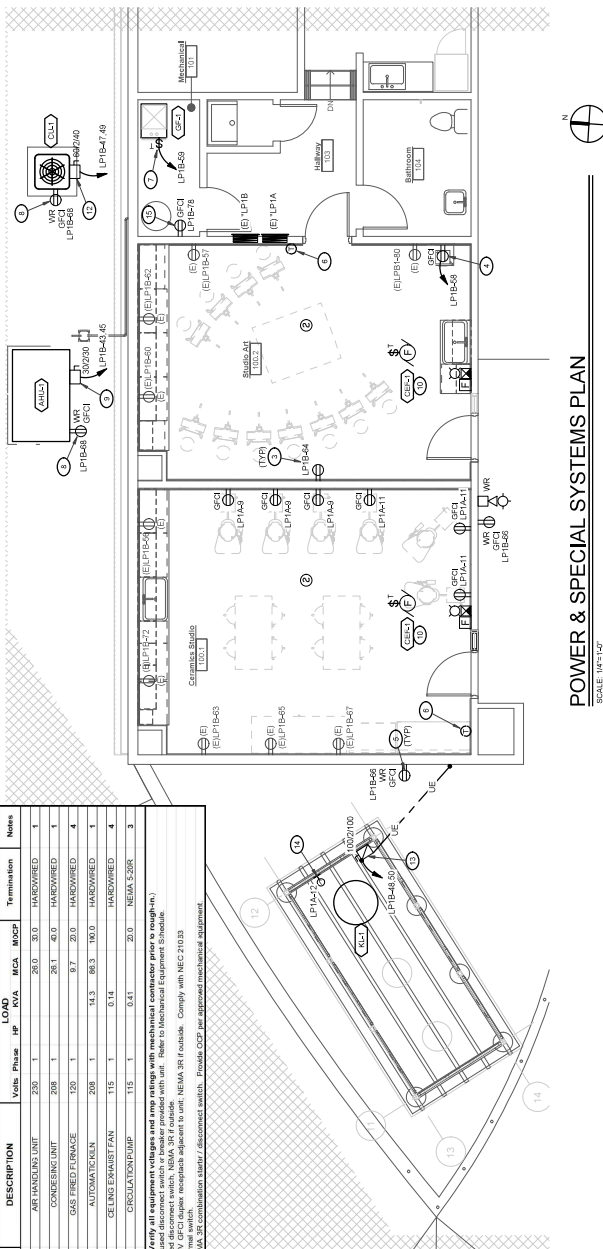
## LIGHTING PLAN

MECHANICAL EQUIPMENT CONNECTION SCHEDULE									
ITEM	DESCRIPTION	Equip. Phase	IP	LOAD	NEMA	MOFG	Termination	Notes	
		250V	1	25.0	25.0	HAZARDOUS	1		
AMU-4	AIR HANDLING UNIT	250V	1	25.0	25.0	HAZARDOUS	1		
CU-1	CONDENSING UNIT	208V	1	26.1	26.0	HAZARDOUS	1		
GP-1	GAS FLOW CONTROL	120V	1	1.7	2.0	HAZARDOUS	4		
KL-1	AUTOMATIC KILN	208V	1	41.3	66.0	HAZARDOUS	1		
GP-1	CEILING EXHAUST FAN	115V	1	0.14		HAZARDOUS	4		
GP-1	CIRCULATION FAN	115V	1	0.41	20.0	NEMA 250R	3		

**NOTES:** *Verify all equipment voltages and amp ratings with mechanical contractor prior to rough-in.*  
1. NEMA 3P disconnect switch to breaker provided with unit. Refer to Mechanical Equipment Schedule.  
2. NEMA 3P disconnect switch to breaker provided with unit. Refer to Mechanical Equipment Schedule.  
3. Provide 120V GFCI receptacle adjacent to unit. NEMA 3P at outside. Comply with NEC 210.63  
4. Provide NEMA 3P disconnect adjacent to unit. Provide OCP per mechanical equipment.

**NOTES:** (Verify all equipment voltages and amp ratings with mechanical contractor prior to rough-in.)

1. NEMA 3R used disconnect switch & breaker provided with unit. Refer to Mechanical Equipment Schedule.
2. Provide fused disconnect switch, NEMA 3R if outside.
3. Provide 120V GFCI duplex receptacle adjacent to unit; NEMA 3R if outside. Comply with NEC 210.33
4. Provide thermal switch.
5. Provide NEMA 3R combination starter / disconnect switch. Provide OCP per approved mechanical equipment.



POWER &amp; SPECIAL SYSTEMS PLAN







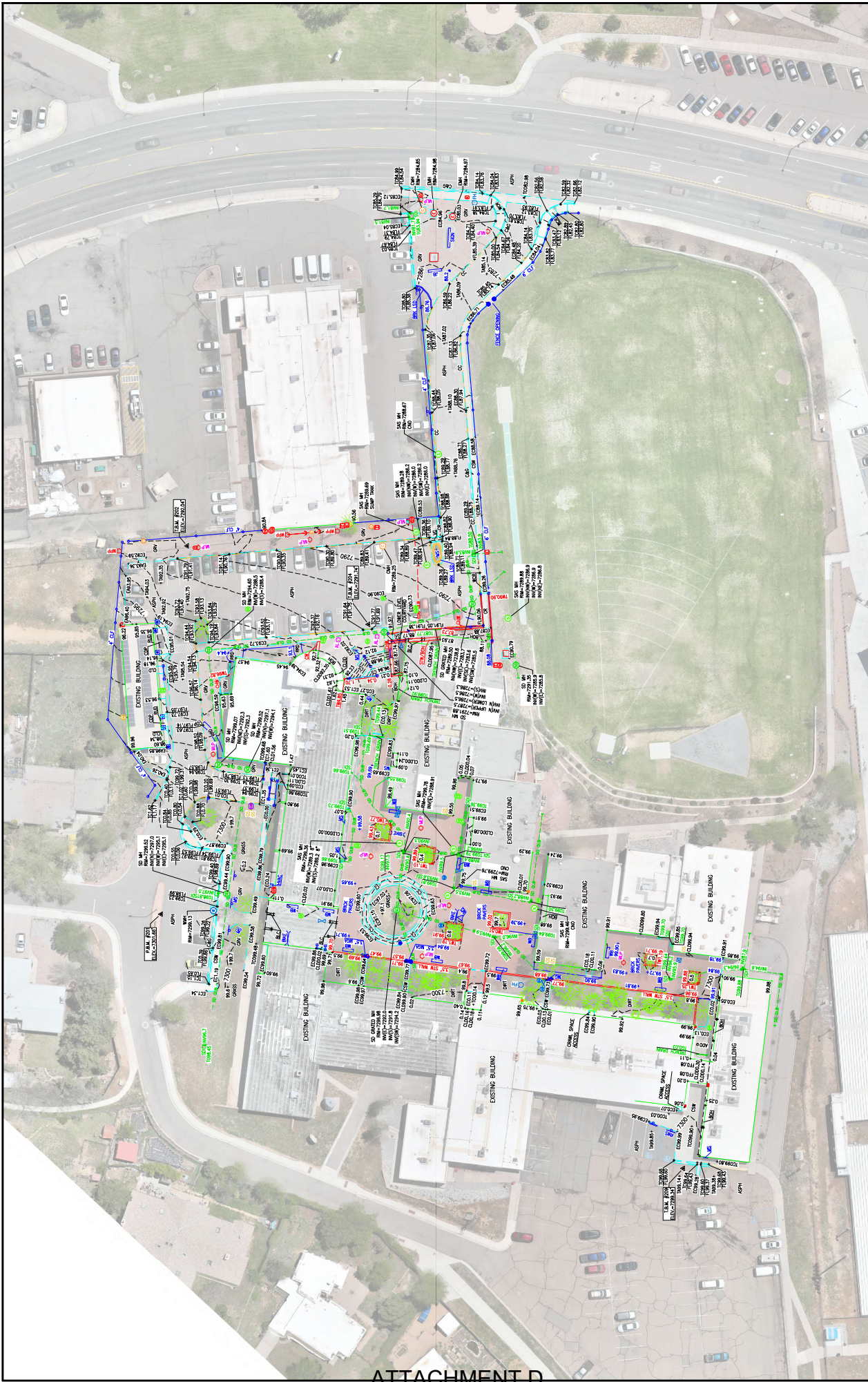
UAV BASED IMAGERY-MAY 13, 2024  
UNM LOS ALAMOS CAMPUS  
LOS ALAMOS, NM

REVISIONS		NO.	DATE	BY	APP.
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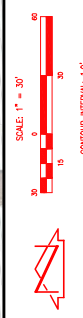


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TOPOGRAPHIC SURVEY  
UNM LOS ALAMOS CAMPUS  
LOS ALAMOS, NM



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SIGNED BY		R.G.P.T.		DATE	
DRAWN BY		E.E.S.		DATE	
APPROVED BY		J.M.S.		DATE	
JOB NO.		2024.045.2		DATE	
PROJECT		06-2024		DATE	
SHEET		3		DATE	
		4		DATE	



