



Community Development—Planning

1000 Central Ave, Suite 150 Los Alamos, NM 87544 505.662.8120 planning@lacnm.us

DEVELOPMENT APPLICATION

| PROJECT INFORMATION | | | | |
|---|---|--|--|--|
| Title: Kiln Equipment Yard Variance Request (Accessory Structure and Building Setback) | | | | |
| Project Address: UNM - Los Alamos - Building 8, 400 | 00 University Dr., Los Alamos, NM 87544 | | | |
| Chack all application types if applicables | | | | |
| Check all application types, if applicable: Administrative Deviation \$25 Administrative Wireless Telecom \$250 Encroachment Permit \$25 Temporary Use Permit \$25 Comprehensive Plan Adoption & Amendment* \$250 Conditional Use Permit* \$300 County Landmark or Historic District Adoption/Amendment* \$250 Development Plan* \$500 Major Development Plan Amendment* \$500 Minor Development Plan Amendment \$250 Summary Plat \$100 plus \$25 lot; \$10 / acre for non-residential Sketch Plat, Subdivision* \$250 plus \$175/lot (1-10 lots) \$125/lot (11-30 lots) \$75/lot (30+ lots) Preliminary Plat, Subdivision* \$250 plus \$175/lot (1-10 lots) \$125/lot (11-30 lots) \$75/lot (30+ lots) Final Plat, Subdivision* \$250 plus \$175/lot (1-10 lots) \$175/lot (1-10 lots) \$175/lot (11-30 lots) \$75/lot (30+ lots) Landscaping Plan\$500 Lighting Plan\$500 | Site Plan* \$500 plus \$75 per/Million \$ estimated construction cost Estimated Construction Cost: Major Site Plan Amendment* \$500 Minor Site Plan Amendment \$250 Major Zone Map Amendment* \$500 (+\$25/acre) No fee if initiated by County Council or County Manager Minor Zone Map Amendment* \$500 (+\$25/acre) No fee if initiated by County Council or County Manager Master Plans* (Major, Minor) \$250 Text Amendment* \$150 No fee if initiated by County Council or County Manager Variance \$250 No fee if application is a part of a Site Plan review Administrative Wireless Telecommunication Facility \$250 Discretionary Wireless Telecommunication Facility* \$500 Small Wireless Facility \$250 Major Historic Demolition* \$250 Major Historic Property Alteration Certification* \$250 Minor Historic Property Alteration Certificate \$250 | | | |
| * Application reviews require a pre-application meeting. | | | | |

| PROPERTY & OW | NER INFORMATION | | | |
|---|---|----------------------|---|--------------|
| Property Address: | | Los Alamos | NM | 87544 |
| 7 | Address | City | State | ZIP |
| Zoning District: | <u> </u> | Overlay Zone: | | ☑ N/A |
| | (s) Sq. Ft.: 103,896.00 | Proposed Structure(| s) Sq. Ft.: 115.00 | |
| Lot Area (sq.ft.): 1 | 5.20 | | | |
| |) Name: Los Alamos School B | oard - Mike Holtzcla | w (Authorized Ov | vner's Rep.) |
| | nholtzclaw@unm.edu | | | |
| Owner(s) Phone(s | ^{)#:} 505-661-4689 | | | |
| ⊠ Owner's Addre | ess same as Property Address | | | |
| Owner(s) | | | | |
| Address: | Address | City | State | ZIP |
| APPLICANT / OW | NER'S AGENT INFORMATION | | | |
| Applicant is sa | me as Owner | | | |
| Applicant Name: | Wesley Lansford | | | |
| Applicant Address: | 203c Wellesley Dr. SE | Albuquerque | NM State | 87106 |
| Applicant Email: | wes@weslansfordarchitectu | ire.com | | |
| Applicant Phone(s | i)#: 505-610-0393 | | | |
| ASSOCIATED APP | LICATONS | | | |
| Application Type: | | | | |
| Case Number: | | | | |
| I hereby certify and affirm, under penalty of perjury, that the information I have provide in this application is true and accurate to the best of my knowledge, information, and belief. [NMSA 1978, §30-25-1] | | | | |
| Signature: | - h | Date: 6.4.2025 | | |
| Signature: | | Date: | | |
| STAFF USE ONLY | | | | |
| Date Received: | | Staff: | | |
| Case No.#: | | Meeting Date: | | |
| SUBMITTALS | | | | |
| | ship or rization from Owner ociated Application Checklist | | cion – Date: ed upon verification c : | |



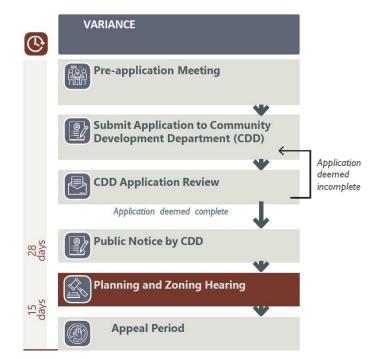
Community Development—Planning

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VARIANCE CHECKLIST

Applicants for all development application reviews must complete this checklist and submit it with the Development Application. Refer to the referenced code sections for additional information. Contact the Planning Division with questions regarding these requirements: planning@lacnm.us.

PRE-APPLICATION MEETING Date Held: **SITE PLAN** Scaled site plan at a minimum of 1" = 100' that illustrates the following: ✓ Graphic Scale and North Arrow ✓ Property Lines according to recorded survey Existing and proposed structures Existing and proposed easements Existing and proposed setbacks ✓ Existing and proposed utility lines **ELEVATIONS** Elevation drawing(s) at a minimum scale of 1/8" = 1' that indicates: Height (above existing grade) of all four sides **LOT COVERAGE** Existing (%): 16.00 Proposed (%): 16.00 **ADDITIONAL SUBMITTALS** Based on staff's review and Interdepartmental Review Committee's recommendation – additional submittals may be required and will be communicated to the applicant by the assigned Case Manager.



See Reverse.

Revision-Jan2023 Code Reference: 16-74 (g)

| DECISION CRITERIA 16-74-(g)(3) |
|--|
| a. The variance will not be contrary to the public safety, health, or welfare. Explain. Correct. The proposed structure has been designed by a qualified, professionally licensed, full Design Team, following all applicable life safety and building codes. The project has been issued, reviewed and approved by Construction Industries Division of New Mexico (CID) for Permit. |
| Staff finds that this criterion has been met Staff finds that this criterion has not been met – more information is needed |
| b. The variance request will not undermine the intent of the Development Code, the applicable zone district, other County adopted policies or plans, or violate the Building Code. Explain. Correct. Our variance request will not undermine the intent of the Development Code, the applicable zone district, |
| other County adopted policies or plans, or violate the Building Code. *Note: The project has been issued - reviewed for Code Compliance - and approved by CID for Building Permit. |
| Staff finds that this criterion has been met Staff finds that this criterion has not been met – more information is needed |
| c. Granting of the variance will not cause an intrusion into any utility or other easements unless approved by the owner of the easement. Explain. Correct. The structure is not located on any existing easements. |
| Staff finds that this criterion has been met Staff finds that this criterion has not been met – more information is needed |

Revision-Jan2023 Code Reference: 16-74 (g)

| | DECISION CRITERIA 16-74-(g)(3) |
|----|---|
| d. | The variance request is caused by an unusual physical characteristic or hardship inherent in the lot or lot improvements and that the peculiarity or hardship is not self-imposed. Explain. |
| | Correct. The existing nature of the site leaves no other zone for the structure to be placed. |
| | The structure - covering pottery kilns - needs to be adjacent to the ceramics classroom on the east. This available |
| | area on the west for the structure is constrained - locked-in in area/shape by the existing roadway, existing |
| | adjacent building, boundary lines - leaving a small irregular shape to work with. |
| | UNM-Los Alamos is looking to update their accessibility routes campus-wide. Part of these |
| | improvements calls for an ADA connection to the ceramics classroom and kiln storage area, so locating the kiln |
| | structure elsewhere would make it not universally accessible for all students and staff, along with making for |
| | a problematic/long/sloped route for wheeling pottery to the kilns. |
| | Staff finds that this criterion has been met |
| | Staff finds that this criterion has not been met – more information is needed |
| e. | The variance will not create any significant adverse impacts on properties within the vicinity. Explain. |
| | No. The structure itself will be low-impact visually - mostly open air / see through. The wall panels are of perforated |
| | metal - 57% open. Additionally, the structure will sit approx. 1.5 feet lower than adjacent grade. This allows the |
| | kilns to sit level with the finish floor of the ceramics classroom and provides less of a visual impact for |
| | neighboring properties. It will be the lowest structure on the campus. |
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| | Staff finds that this criterion has been met |
| | Staff finds that this criterion has not been met – more information is needed |
| f. | Granting of the approved variance is the minimum necessary easing of the Code requirements making possible |
| ٠. | the reasonable use of the land, structure, or building. Explain. |
| | Correct. We are only seeking to request: 1) Chapter 16, Development Code, Article III – Use Regulations, |
| | Division 1 – Permitted Uses to allow a 115-square-foot accessory structure in INS zoning, and |
| | 2) Section 16-18(b)(8) to reduce the required setback from 10 feet to 5 feet from another accessory structure. |
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| | Staff finds that this criterion has been met |
| | Staff finds that this criterion has not been met – more information is needed |

Attach additional sheets, if needed.

Revision-Jan2023 Code Reference: 16-74 (g)



STATE OF NEW MEXICO MICHELLE LUJAN GRISHAM, GOVERNOR Clay Bailey, Superintendent Clay Bailey, Director

POST IN A CONSPICUOUS PLACE NOTICE

PERMIT NO: GENC 20253376269

HAS BEEN ISSUED FOR THIS CONSTRUCTION BY
THE STATE OF NEW MEXICO
REGULATION AND LICENSING DEPARTMENT
CONSTRUCTION INDUSTRIES DIVISION
GENERAL CONSTRUCTION BUREAU

| JOB SITE ADDRESS 4000 University Dr., Los Alamos, New Mexico, USA | | Issued: | 05/20/2025 | | |
|---|-------------------------------|------------------------|------------|--|--|
| | | Occupancy: | В | | |
| PROPERTY OWNER Greg Skinner | | Types of Construction: | IIA | | |
| | | Square Footage: | 729 | | |
| CONTRACTOR | ALL-RITE CONSTRUCTION INC. | Valuation: | | | |
| PHONE NUMBER: 5053447663 | | Total Fees: | 388.00 | | |
| INSPECTOR: Julian Gonzales | | | | | |
| INSPECTOR NUMBER: 5054902989 | | | | | |
| SCOPE OF WORK: | | | | | |
| > General Building | | | | | |
| DESCRIPTION OF WORK: | | | | | |
| Select Alterations of inte | rior space for a ceramics | studio | | | |

This is General Construction Permit and does not cover electrical or mechanical permit requirements for the State of New Mexico.

Notice: it is the responsibility of the permit holder to call for the required inspections in advance. Please wait for the inspector to perform the inspection.

Notice:every permit issued by cid will expire and be voided if the work authorized by such permit is not commenced Within 180 days from the date such permit was issued.

To schedule an inspection please contact our call center at 505-222-9813 or 1-877-243-0979. CID.lnspection@state.nm.us. If by email you must include permit number, site address, contact name and phone number. The email submission is an easy, efficient method for requesting inspections. Upon receipt of emailed inspection request, a confirmation email will be sent to the requestor

Record of Inspection:

| | GENERAL BUILDING | | ELECTRICAL | | MECHANICAL |
|------|-------------------------|------|-------------------|------|-------------------|
| DATE | PURPOSE | DATE | PURPOSE | DATE | PURPOSE |
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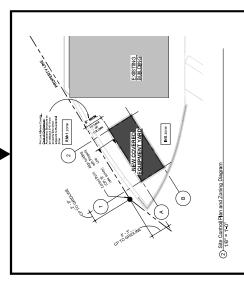
100% Construction Documents 5.2.2025

0005 ©

Alterations for Art Classrooms and Kiln Equipment Yard

University of New Mexico Los Alamos Campus

Wike Holzzlaw, Ph.D., Char mholzclaw@unm.edu PROJECT TEAM



Drawing Verification: Before proceeding to lay out the Work, verify layout information shown on * discrepancies are discovered notify the Owner, Owner's Representative, and Architect promptly

SITE PLAN

Alterations for Art Classrooms and Kiln Equipment Yard

SITE UNM-Los Alamos MAINTENANCE BUILDING #L0008 4000 University Dr. Los Alamos, NM 87544

All work described by these documents shall be performed in full accordance with all applicable codes ordi & regulations adopted by national agencies, all codes adopted by the State of New Mexico, & all local entit

GENERAL NOTES

All codes listed in Specifications and Drawings shall be inclusive of all codes, regulation adopted by the City Of Albuquerque and State of New Mexico, including all Amendment

The General Notes and Typical Debite apply throughout the job unless otherwise noted or shown on thess dawnings. Noted dimensions has been colorated one or so the longer such ever smaller scale, addends and this representations of programmingly or electronically.

University of New Mexico - Los Alamos Campus Building 8 (#L0008) 4000 University Dr. Los Alamos, NM 87544

100% Construction Documents

SUMMARY OF WORK:

Select a ferations of interior space with an existing building for a Ceramics Studio ceramic kiln equipment yard adjacent to the existing building.



CODE ANALYSIS

| Construction Type: Type 5-B |
|--|
| Total Square Footage of Building: |
| 1. Building 8 (Entire Existing Building); 2.240 SF |
| Occupant Load (IBC Table 1004.1); |
| Education: 19 |
| Storage Mech.: 1 |
| Business 2 |
| Warehouse: 1 |
| 23 |
| Egress Requirements (IEBC-Section 704) |
| See Life Safety and Code Disoram on this sheet. |
| Plumbing Fixture Count (IBC table 2902.1) |
| "Water Closets: Required: 1, Provided: 1 (1 per 25 for the first 50) |
| Drinking Fountain: Required: 1, Provided: 1 (1 per 100) |
| 3. Service Sink: Required: 1, Provided: 1 |
| "Note: Per IBC 2502.2: Separate facilities shall not be required in business occupancies in which the max |
| or fewer. |
| Classification of Work Alteration - Level 2 (IEBC-Sec.801) |
| - Areas of Work SF |
| 1. Interior Attentions 792 SF |
| |
| "Note: At a percentage of Area of Work vs. Area of Building of approx. 35% (729 SF / 2,240 SF), the Work Area is |
| colonily admire roomage (ligare-section). Abo, there are no climitaes (administrationals) of most or to extend |

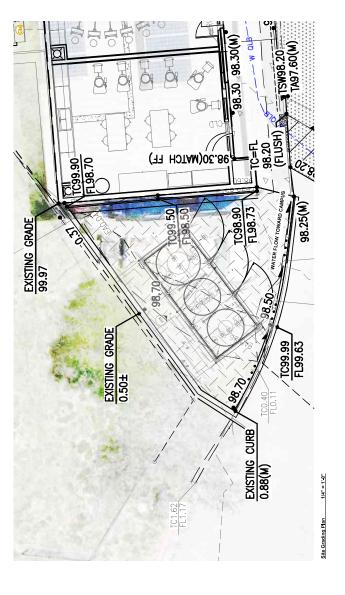
DRAWING INDEX

| GENERAL | PLUMBING / MECHANICAL |
|---|--|
| G000 - Cover | MP001 - Mechanical & Plumbing Legend, Notes & Deta |
| G101 - Images - Existing Conditions | MD101 - Mechanical Demolition Plan |
| G102 - Renderings | M101 - HVAC Plan |
| G103 - Site Grading at Kiln Equipment Yard | PD101 - Plumbing Demolition Plan |
| STRUCTURAL | P101 - Waste & Vent Plan and Domestic Water Plan |
| S101 - Foundation & Framing Plan | MP501 - Mechanical & Plumbing Details |
| ARCHITECTURAL | ELECTRICAL |
| AD101 - Floor Plan and RCP - Demolition | E001 - Electrical Legend, IEEC Calcs, Fixture Schedule |
| A101 - Floor Plan and RCP -New Work | E002 - Electrical Specifications |
| A102 - Interior Elevations | ED101 - Electrical Demolition Plan |
| A201 - Building Elevations | E101 - Lighting Plan and Power & Special Systems Plan |
| A501 - Schedules, Partition Types & Details | E601 - Electrical Panel Schedule & Power Riser Diagrar |
| | TECHNOLOGY T501 - Technology Plan |
| | |

Segorated Cusamines. Nether the final certificate of payment not any provision in the Context Cocuments nor parti or entities excusately of the posted the downer shall corretable acceptance of wak not done in accordance with the context Comments or refere the Contextor of Ibality in respect to any expressed varianties or responsibility

100% Construction Documents 5.2.2025 G103 Site Grading Strategy at Kiln Equipment Yard (provided for reference)







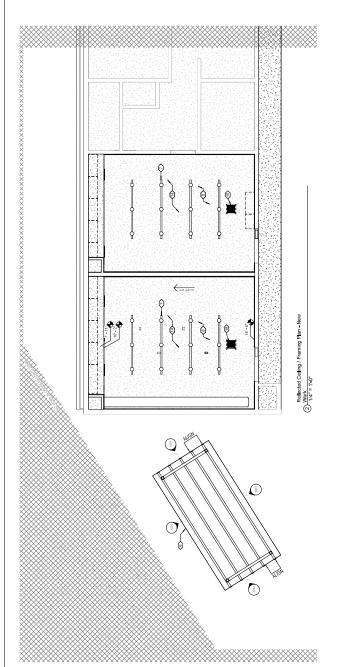
A101 Floor Plan and RCP - New Work

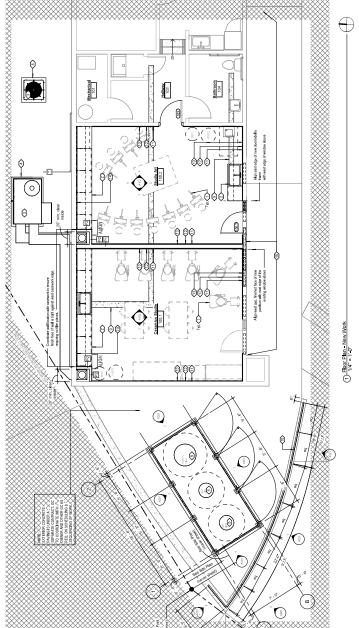
Alterations for Art Classrooms and Kiln Equipment Yard

University of New Mexico Los Alamos Campus









100% Construction Documents 5.2.2025 A201 Building Elevations

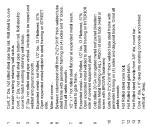
Alterations for Art Classrooms and Kiln Equipment Yard

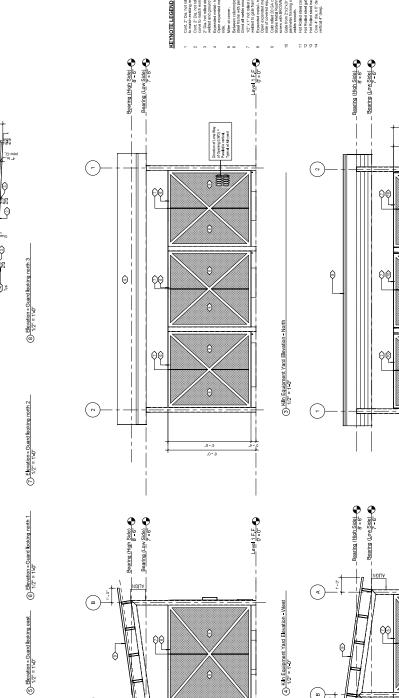
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University of New Mexico Los Alamos Campus





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(2) Kiln Equipment Yard Elevation - East 1/2" = 1'-0"

(1) Kiln Equipment Yard Elevation - South 1/2" = 1-0"

Level 1 F.F.



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Alterations for Art Classrooms and Kiln Equipment Yard

University of New Mexico Los Alamos Campus

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| 13. EXISTING SUPPLY DUCT TO REMAIN. | 13 | |
| 12. NEW THERMOSTAT TO BE IMOUNTED 48" A.F.F. | 12 | |
| REFER TO INSTALLATION MANUAL FOR PROPER INSTALLATION AND CLEARANCES. | | |

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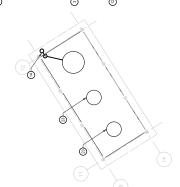
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| 18. NEW RETURN DUCTT DEE COMBETED TO BESTAND. 19. NEW RETURN DUCHYORK THROUGH WALL AND COACEAL IN VERTICAL WALL DE ESALED WARNINGS TIDENT REFER TO DE DEVANNE AND CORD CATE AND DUCT PENETRATION DETAIL. 20. PROPERTY AND DUCT PENETRATION DETAIL. 20. PROPERTY AND DUCT PENETRATION DETAIL. 21. DETAIL DUCK AND DUCT PENETRATION DETAIL. 22. DETAIL DUCK AND DUCK PENETRATION DETAIL. |
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| PIX.91 | Section (Section 1) | Coreanics Studio | | |





P101 Waste & Vent Plan and Domestic Water Plan

Alterations for Art Classrooms and Kiln Equipment Yard

University of New Mexico Los Alamos Campus

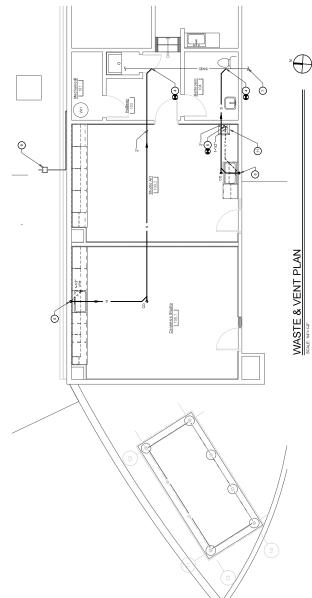
| 61 | INSTALL NEW SINK AT LOCATION SHOWN WITH EMERGENCY EYE WASH- PROVIDE SOLIDS INTERCEPTOR WITHIN ADJACENT CABINET |
|----|--|
| e | 3. NEW 3/4" CWIHN DOWN TO NEW SINK AND EMERGENCY EYE WASH. |
| 4 | EXTEND 2" WASTE PIPING FROM NEW SINK AND CONNECT TO EXISTING WAST PIPING AS SHOWN. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AN EXACT LOCATION. |
| 4ó | EXTEND 1-172" VENT PIPING FROM NEW FIXTURE AS SHOWN AND CONNECT TO |

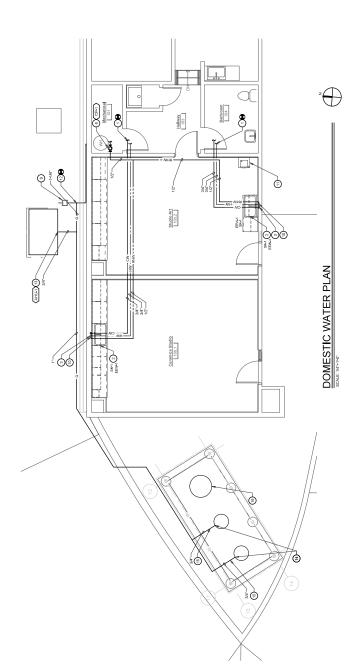
GENERAL NOTES

KEYED NOTES

| oi. | 9. EXISTING GAS METER TO REMAIN. |
|-----|--|
| 6 | 10. NEW 1/2" HWR LINE CONNECT TO HOT WATER LINE. |
| Ξ. | 11. EXISTING WATER COOLER TO REMAIN. |
| 54 | NEW GAS LINE CONNECT TO EXISTING GAS LINE AND RUNU LINE INSTALLED UNDERGROUND SHALL BE SLEEVED, CONT COORDINATE WITH LOCAL GAS COMPANY TO ENSURE ADDIT |
| | |

| 13. NEW GAS LINETO NEW AR HANDLING UNIT. PROVIDE NEW GAS COC | 14. NEW GAS LINE UP FROM BELOW GRADE AND CONNECT TO GAS HRE |
|--|---|
| AND DIRT LEG WITH REMOYABLE CAP. PRESSURE TEST GAS LINE FO | PROVIDE NEW GAS COCK, UNION, AND DIRT LEG WITH REMOVABLE OF |
| AFTER INSTALLATION. | PRESSURE TEST GAS LINE FOR LEAKS AFTER INSTALLATION. KILN POTHERS |







| 100% Construction Documents | 5.2.2025 | |
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Bathroom 104

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E101 Lightling Plan and Power & Special Systems Plan

Alterations for Art Classrooms and Kiln Equipment Yard

University of New Mexico Los Alamos Campus

0.75° BUSHED CONDUIT STUBBED INTO ACCESSIBLE CEILING SPACE FOR CONTROL WIRING INSTALLED BY MECHANICAL.

SINGLE POLE 20-4MP THERMAL SWITCH INSTALLED ON, OR ADJACEN INDOOR UNIT. EXTEND #12 CU CONDUCTORS TO GIRCUIT INDICATED.

CONNECT NEW LIGHTING IN RENOVATED SPACE -CIRCUIT PREVIOUSLY SERVING THIS AREA.

WARNING:

KEYED NOTES

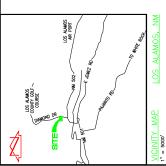
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NUMBER ADJACENT TO RECEPTACLE INDICATES CIRCUIT NUMBER. SIZE CONDUCTORS ACCORDING TO CORRESPONDING BREAKER RATING AND ALL FINAL POWER CONNECTIONS.

z Mechanica 101 Q Q Q LIGHTING PLAN Ŷ Ó Ŷ

POWER & SPECIAL SYSTEMS PLAN **Ε**Θ **Ε**Φ ₽Ф° MECHANICAL EQUIPMENT CONNECTION SCHEDULE

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APWA UTILITY COLOR CODE UTILITY SUE QUALITY LEVEL 8 (QLB)-SOURCE: DESIGATION/PAINT MARK

ORANGE - COMMUNICATION, FIBER OPTIC LINES ORANGE — COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT YELLOW — CAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS RED - ELECTRIC POWER LINES, CABLES, AND LIGHTING CABLES GREEN - SANITARY SEWER AND DRAIN LINES -STORM SEMER AND DRAIN LINES BLUE - POTABLE WATER

ATTACHMENT D

A CONTROL SURPEY WAS COUNCIDED AT THE STEE ON BUY, 2004, SERVERS ARE STEE PARK GROWN CHIRAL SURPEY, CONTROL WAS PROJECTED ONTO THE SUBJECT STEE UNLINES SPATIO DESCRIPTIONS OF DESCRIPTIONS OF STEELEN STEEL STEEL

1. A TOCOMBREA ON HIGH SUBSTY WERFERHERD IN IMV AND JUNE, 2024. THIS IS NOT A BOUNDARY SURFECT OR A RIGHT-OF-WIN SURFECT.

2. STIT LOCATION WHITH SCHOULDER IN HIGH CHANNEND JERBAL VEHICLE (LIM) ON LIM 13, 2027-FOR THE CHANNEND JERBAL VEHICLE (LIM) ON LIM 13, 4. ALL DETENDERS ARE GROUND OF SURFACES. DOWN WHO BE DUTUL MEDIOLOGIS SURFACES OF THIS CHANNEND AS FROMED MEDIOLOGIS UNIVERSITY OF THE CHANNEND MEDIOLOGIS SURFACES OF THIS CHANNEND AS FROUND DE SURFACES WHICH CHANNEND MEDIOLOGIS SURFACES OF THIS CHANNEND SURFACES O

A PROJECT EDICHAMARK WAS ESTABLISHED ON SITE AS SHOWN ON THE DRAWING AND IS DESCRIBED AS CLUDINS PROJECT BENDIALMEN, A PREME WAS A SHOWN ON SHEETS 3 MID 14. EXCEPT PROPRISH OF THE SUBJECT SITE, AS SHOWN ON SHEETS 3 MID 14.

ALL HORZONTAL COORDINATES ARE MODIFED IND 83 GRID VALUES AND HAVE BEEN ADJUSTED THE GROUND AT THIS SAME CONTROL POINT FROM, \$200 THE SCALE FACTOR USED 1/G=1.00004584618743) WITH MAD 83 GRID COORDINATES OF:

NORTHING = 1,777,946.39 EASTING = 1,619,745.86 LATITUDE = 35'53'11.28556" NORTH LONGITUDE = 106'19'11,22694" WEST

POINT (P.B.M. SAME CONTROL THE VERTICAL COURTOL BENCHMARK USED FOR THIS PROJECT IS THE #201) WITH A NAVD 88 ELEVATION OF: ELEVATION = 7301.66 (NAVD 88).

THE ELEVATIONS ARE BASED UPON THE NAVD 88 DATUM AND REQUIRE NO FURTHER ADJUSTMENT.

A 45 REBR WHO, PLOS STATEST EPANSON DATEST EPANSON DATE.

THE BLOK OF THE SOUTH CHRB. IN AN ISLAND AT 46TH ST. AND THE NORTH ERITAMES RHOUT ON HE UNK LOS ALAMOS CAMPUS, NEAR THE NORTHERS A SHOW TO HE SHEETS 3. AND 4.

OQUATT LEGT. D. (QLD).— ULTUT RIPOBALINON DERENE TROUGH ESTIMATOR RECORDED WE ASSET STATES TO TAILTY RECORDED WE ASSET STATES OF THE RESOURCES OF UTILITY PRESENTING NECLUDING BUT NOT LAMITED TO: RECORDED OW RECORDED. TO THE TOTAL THE TOTAL STATES OF THE CONTROL STATES OF THE TOTAL THE TOTAL STATES OF THE

THIS SHOW ARE A DEPCTION OF VISIBLE UNITED SHOWS AND EXECUTAVEES LIBERARIES. ISSUERING UNITY LOCATIONS THAT HAVE BEEN DESCHAPED AND/OR OBSERVED BY. AND SHEEZEDURAND SHEETED BY HIGH ACCESSION OR CORPORATE A CENTRAL ASSESSMENCE OF THIS ADMINISTRATION OF THE ACCESSMENCE OF THE ACCE

QUALITY LEVEL A (QLA) — UTILITY COMPOSITION, SIZE AND PRECISE VERTICAL AND HORIZONTAL POSITION OF DESIGNATION LINE OF REFERRED TO AS POTHOLING OF RECOMMEND. ALSO REFERRED TO AS POTHOLING OR DAYLIGHTING.

QUALITY LEVEL B (QLB) — HORIZONTAL UTILITY LOCATIONS ASCERTANED THROUGH THE APPLICATION OF APPROADRATE SURFACE (ECPATACIAL MITHIDACIOGIES, AND UTILITY LOCATING TECHNIQUES, ALSO REFERRED TO AS DESIGNATION OF UNE—SPOTTING.

QUALITY LEVEL C (QLC) - SURVEYING OF VISIBLE SURFACE FEATURES.

MODIFIED GROUND COORDINATES:
NORTHING = 1,777,946.39 FEET
PASTING = 1,619,745.86 FEET
ELEVATION = 7301.66 FEET (NAVD 1988)

A #5 REBAR W/CAP STAMPED "HUGG CONTROL NAPS 15075", SET IN A GRAVEL LANDSCAPED AREA, NORTHERST WORTHERST CORNER OF THE PROJECT SITE, AS SHOWN ON SHEETS 3 AND 4.

MODIFIED GROUND COORDINATES:
NORTHING = 1,77,292.01 FEET
RESTING = 1,620,018,50 FEET
ELEVATION = 7292.04 FEET (NAVD 1988)

EAST TEMPORARY BENCHMARK #204 (T.B.M.)
A MAG NALL WYWSHER, SET IN ASPAULT. IN A HANDICAP PARKING PANTED ISLAND, NEAR THE I BETRANCE OF THE UNIT LOS ALANGS CANDES BULLIANS, ABOUT IT NEARFIEST OF AN AREA LE BULLYON, IN THE CENTRAL AREA OF THE PROJECT STE, AS SHOWN ON SHEETS A MAG 4.

IN REPORTED HAND SHOULD BE PRESENTED ON THIS SUPPLY HANG EEDS IDENTIFIED BY THE OWNER IN RESPONSE, ENDED HAD SHOULD HAVE SUPPLY BY A RESPONSE, ENDED HAD SHOULD HAVE SUPPLY BY THE OWNER STATE DIVERS TO THE OWNER STATE DIVERS TO THE OWNER STATE TROUBLE SHOULD HAVE SUPPLY BY THE OWNER HAS OWNERS OF THIS THE OWNER STATE THE OWNER STATE SUPPLY OWNERS RESISTERED WITH MARTH HAS THE OWNERS HE OWNERS H

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MODIFIED GROUND COORDINATES:
NORTHING = 1,77792.84 FEET
NORTHING = 1,77792.84 FEET
ELEVATING = 7291.74 FEET (NAVD 1988)

A MAC NALL W/MASHER, SET IN ASPHALT PAYDENTI, NEAR THE ENTRYMY TO THE SOUTHWEST BUILDING ON THE UNIT LOS ALMOS CAMPLES, SET OF THE EDIDE OF A CONDETTE SIDEMALK, NEAR THE SOUTHWEST CHRENE OF THE PROLECT SITE, AS SHOWN ON SHEETS 3 AND 4.

1988) MODIFIED GROUND COORDINATES:
NORTHING = 1,777,559,72 FEET
EASTING = 1,619,557.62 FEET
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UTILITY KEY NOTES

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LOCATION OF STORM DRAIN (SD) PIPELINE COULD NOT BE DETERMINED BEYOND THIS POINT.

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*TELEPHONE NUMBERS OBTAINED THROUGH NM811 WEB PORTAL

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- STORM DRAIN DROP INLET (DI) WAS FULL OF SEDIMENT AND DEBRIS. THE CONTENTS OF THE DI INCLUDING INVERTS, PIPE SIZE AND DIRECTION COULD NOT BE OBTAINED. ⊚ ⊕
- THE EXACT LOCATION OF THE SANITARY SEWER (SAS)/STORM DRAIN (SD) PIPELNE COULD NOT BE ASCEPTAINED THROUGH THIS GEOPHYSICAL INVESTIGATION, DESIGNATION IS INCOMPLETE. MULTIPLE TELECOMMUNICATION CABLES INCLUDING UNARMORED FIBER OFTIC CABLES DOSCOFEED IN TELECOMMUNICATIONS VALLIFAMENDEL. A TRACER WITE WAS NOT ACCOMPANIOR THE FIBER OFTIC CABLES TO COMPLETE DESIGNATION OF THOSE CABLES. **6**

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June 28, 2024

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