



County of Los Alamos

1000 Central Avenue
Los Alamos, NM 87544

Agenda - Final Planning and Zoning Commission

Terry Priestley, Chair; Beverly Neal-Clinton, Vice-Chair; Jean Dewart; Michelle Griffin; Stephanie Nakhleh; Craig Martin; Neal Martin; April Wade, and Sean Williams, Commissioners

Wednesday, July 22, 2020

5:30 PM

Council Chambers
1000 Central Avenue

1. **CALL TO ORDER/ROLL CALL**

2. **PUBLIC COMMENT**

This section of the agenda is reserved for comments from the public on items that are not otherwise included in this agenda.

3. **APPROVAL OF AGENDA**

4. **PUBLIC HEARING(S)**

- A. [13187-20](#) A request for Site Plan approval for changed use of an existing building, located at 557 Oppenheimer Drive, Subdivision Timber Ridge 2, tract A, lot 2. The proposed re-development will consist of remodeling 5,000 square feet from office to residential in an existing building.

Attachments: [SIT-2020-0048 557 Oppenheimer Staff Report](#)

- B. [13186-20](#) A request for site plan approval for a financial institution at 1010 Central Avenue. The proposed development will consist of a new credit union building, with associated on-site parking and traffic circulation, on 0.60± acres of land zoned (DT-TCO)

Attachments: [SIT-2020-0046 LASCUC Staff Report](#)

5. **PLANNING AND ZONING COMMISSION BUSINESS**

- A. [13185-20](#) Minutes from the Planning And Zoning Commission Meeting on June 24, 2020.

Attachments: [Minutes for P&Z 22June-2020](#)

6. **COMMISSION/DIRECTOR COMMUNICATIONS**

- A. **Department Report**

B. Chair's Report**C. Commissioners' Comments****7. PUBLIC COMMENT****8. ADJOURNMENT**

PLEASE NOTE: Any action by the Planning and Zoning Commission in granting approval, conditional approval or disapproval of an application may be appealed by the applicant or by persons who have a personal or pecuniary interest adversely affected by the decision as defined by Section 16-454 of the County Code. Such appeals must be filed with the Community Development Department within 15 days of the action in accordance with Section 16-492.

If you are an individual with a disability who is in need of a reader, amplifier, qualified sign language interpreter, or any other form of auxiliary aid or service to attend or participate in the hearing or meeting, please contact the County Human Resources Division at 505-662-8040 at least one week prior to the meeting or as soon as possible.

Public documents, including the agenda and minutes can be provided in various accessible formats. Please contact the personnel in the Community Development Department Office at 505-662-8006 if a summary or other type of accessible format is needed.



County of Los Alamos

Staff Report

July 22, 2020

Los Alamos, NM 87544
www.losalamosnm.us

Agenda No.: A.

Index (Council Goals):

Presenters:

Legislative File: 13187-20

Title

A request for Site Plan approval for changed use of an existing building, located at 557 Oppenheimer Drive, Subdivision Timber Ridge 2, tract A, lot 2. The proposed re-development will consist of remodeling 5,000 square feet from office to residential in an existing building.

Attachments

A - Staff Report



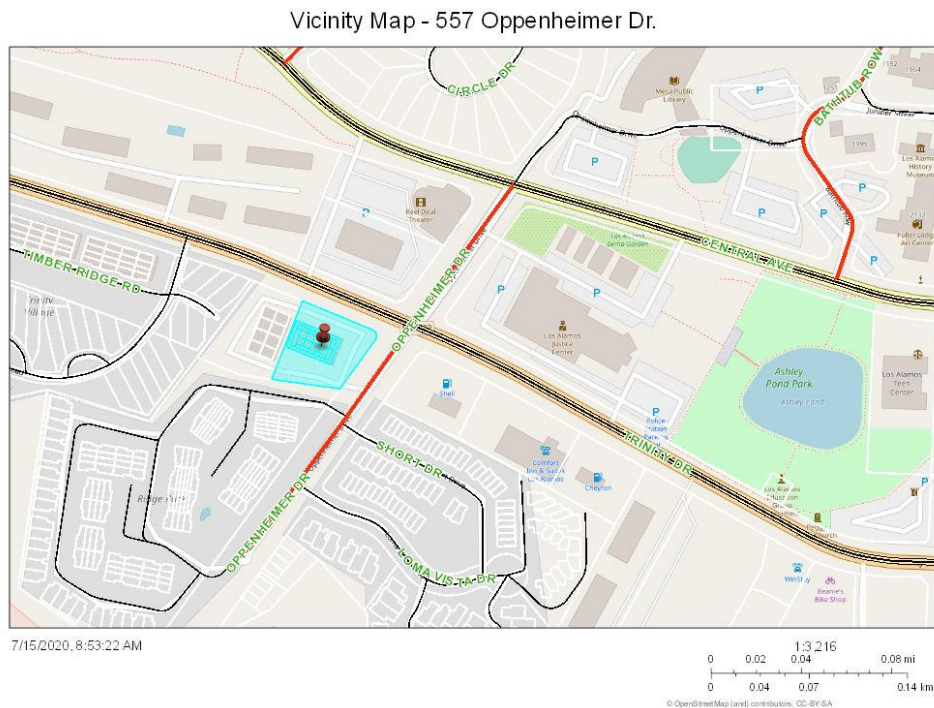
Los Alamos County
Community Development Department
PLANNING & ZONING COMMISSION STAFF REPORT

Public Hearing Date: July 22, 2020
Subject: Case No. SIT-2020-0048
Owners/Applicants: Rick Brenner, Property Owner/Paul Mifsud, Applicant
Case Manager: Ryan Foster, AICP, Principal Planner

Case No. SIT-2020-0048:

A request for Site Plan approval for changed use of an existing building, located at 557 Oppenheimer Drive, Subdivision Timber Ridge 2, tract A, lot 2. The proposed re-development will consist of remodeling 3,000 square feet from office to residential in an existing building, zoned Mixed-Use (MU).

Exhibit A



I move to **approve** Case No. SIT-2020-0048 — request for Site Plan approval for remodeling 3,000 square feet from office to residential in an existing building, located at 557 Oppenheimer Drive. Approval is based on the reasons stated within the staff report and per testimony entered at the public hearing, subject to the following condition(s):

1. Sprinkler system needs to be operational and approved on the first floor by the FMO before construction begins.

I further move to authorize the Chair to sign Findings of Fact for this case and, based on this decision, to be prepared by County staff.

I move to **deny** Case No. SIT-2020-0048 — request for Site Plan approval remodeling 3,000 square feet from office to residential in an existing building, located at 557 Oppenheimer Drive. Denial is due to the proposal failing to meet the Los Alamos County Code of Ordinances, Chapter 16 — Development Code review criteria within §16-152A, for the following reasons:

1. ...

In 2018 a rezoning and subsequent site plan was approved from professional office (P-O) to mixed-use (MU). On May 12, 2020 a certificate of approval was issued for SIT-2020-0044, a request to amend the parking and landscaping approved on the 2018 Site Plan for 557 Oppenheimer Drive. The Exhibit B (below) illustrates the site plan showing the footprint of the existing building at 557 Oppenheimer Drive.

[illegible]

Interdepartmental Review Committee (IDRC) REVIEW

On June 25, 2020, the IDRC reviewed the application and approved to move the Site Plan application forward to the Planning and Zoning Commission with two conditions that must be met before the July 22, 2020 hearing date.

IDRC Conditions

The following comments are regarding the interdepartmental review of the site plan application:

1. Per Public Works and Fire Department:
Indicate on the site plan whether the traffic circulation is one-way and provide evidence of an access agreement around 557 and 555 Oppenheimer. If two-way circulation is proposed, circulation and parking lot design standards must be met.
2. Per Fire Department:
Sprinkler system needs to be operational and approved on the first floor by the FMO before construction begins.

Additional IDRC Comments

1. Per Planning Division: Provide parking calculations for the proposed ground floor residential use (the site plan currently has the parking calculations for commercial on the ground floor) on the site plan sheet.
2. Per Planning Division: Provide a current signed parking and access agreement since 555 and 557 Oppenheimer are sharing parking and access.
3. Per Building Division: Request all floor plans with the residential units identified.
4. Per Department of Public Utilities: As part of the building permit review the applicant must provide a revised electric load and gas load that reflects the final configuration of the building after the modifications. We will need this to evaluate if the existing gas and electric metering and service are adequate or will need modification.

VOTING MEMBERS IN ATTENDANCE

Planning Division, Community Development	Ryan Foster, Principal Planner	✓
Building Division, Community Development	Michael Arellano, Chief Building Official	✗
Planning Division, Community Development	Margaret Ambrosino, Senior Planner	✗
Traffic & Streets Division, Public Works	Juan Rael, Traffic and Streets Mgr.	✓
Department of Public Utilities	James Alarid, Deputy Utility Manager	✓
Fire Department	Wendy Servey, Fire Marshal	✓
Environmental Services, Public Works	Angelica Gurule, Environmental Services Manager	✓

PUBLIC NOTICE

Notice of this public hearing has been given per the requirements of the Los Alamos County Code of Ordinances, Chapter 16, Development Code, Sec. 16-192 (a), and included: U.S. mail to owners of real property within 100 yards (300') of the subject property as shown in Exhibit 3; publication in the Los

Alamos Daily Post (published 7/2/20), the County's official newspaper of record; and posting at the Los Alamos County Municipal Building.

SITE PLAN REVIEW CRITERIA

Section 16-152A of the Los Alamos County Development Code states that during the course of the review of any Site Plan, the Planning and Zoning Commission shall utilize the following criteria in making its determination of approval, conditional approval or denial:

- (a) *The site plan shall substantially conform to the comprehensive plan and shall not be materially detrimental to the health, safety and general welfare of the county.***

Applicant Response: The building site has existed for many years. The plan was recently updated and approved by Los Alamos County. There will be no changes or additions to the exterior of the building.

Staff Response: The proposed site plan substantially conforms to the Comprehensive Plan in the following ways:

- Housing Goals (p.62):
 - Provide a variety of housing types, sizes, and densities.
 - Promote development of housing stock that would accommodate downsizing households.
- Housing Policy Economic Vitality (p.62):
 - Promote expanding the housing supply to meet the demand from employment growth and support economic diversification.
- Housing Policy Land Use (p.63):
 - Encourage new housing developments in proximity to workplaces.

- (b) *Ingress, egress, traffic circulation and parking on the site shall be accomplished with safety for motorists, bicyclists and pedestrians. Provisions shall be made for the safe ingress, egress and circulation of vehicles, bicyclists and pedestrians.***

Applicant Response: The building parking, ingress, egress, traffic circulation has existed for many years including the access to Oppenheimer Drive. There will not be any changes to the items of concern noted above. However, the change to residential will result in a reduced traffic count and reduced parking needs. This is especially true during the normal working hours when, in fact, there will be fewer cars in the 557 Oppenheimer parking lot.

Staff Response: Off-street parking has been provided in accordance with Section 16-579. According to those specifications, the total amount of parking spaces required is 22, of

Location	Net Usable Area	ADA Required	Total Spaces Required
557 Oppenheimer Dr	16,156 SF approximately	1	22
Total Required Parking Spaces:		1	22
Total Provided Parking Spaces:		4	38

which one (1) is required to be an ADA space. The site plan exceeds the parking requirements by providing a total of 38 parking spaces; 34 standard spaces and 4 ADA spaces.

Ingress and egress to the property remains unchanged, with one-way traffic circulation around 557 and 555 Oppenheimer Dr as indicated on the site plan.

There are three conditions and comments by the Interdepartmental Review Committee (IDRC) related to these criteria:

- Condition #1 Per Public Works and Fire Department: Indicate on the site plan whether the traffic circulation is one-way and provide evidence of an access agreement around 557 and 555 Oppenheimer. If two-way circulation is proposed, circulation and parking lot design standards must be met.
- Comment #1 Per Planning Division: Provide parking calculations for the proposed ground floor residential use (the site plan currently has the parking calculations for commercial on the ground floor) on the site plan sheet.
- Comment #2 Per Planning Division: Provide a current signed parking and access agreement since 555 and 557 Oppenheimer are sharing parking and access.

A current signed parking agreement is no longer required, the applicant indicated that parking spaces will not be shared.

- (c) ***The necessary provisions shall be made for controlling stormwater drainage on-site and off-site as required by the county engineer in accordance with the county's storm drainage construction standards or such other ordinances or storm water management plans as may exist.***

Applicant Response: The building including stormwater drainage has existed for many years. No additional impervious surface shall be installed as a part of this proposed work, which is changing the first floor to a residential use. No additional utilities will be required as a result of the residential use on the first floor.

Staff Response: There are no proposed changes for these criteria.

- (d) ***The necessary easements shall be provided for both existing and proposed utilities, on-site and off-site. No existing easement shall be terminated without provision of alternate service, and all new services shall be provided.***

Applicant Response: All utilities exist and are within easements as depicted in the plat for the property.

Staff Response: There are no proposed easement changes.

- (e) ***The site plan shall include a conceptual landscape plan that will enhance the site and immediate vicinity and provide adequate screening and buffering, if appropriate, between properties. The final landscape plan shall conform to the requirements set forth in sections 16-574 and 16-575.***

Applicant Response: The existing landscape has recently been upgraded and approved by Los Alamos County. The landscaping is connected to an irrigation system and is being well maintained.

Staff Response: The applicant has an approved landscape plan and no changes are associated with this site plan application.

(f) *Parking lots, outside storage areas, outside mechanical equipment and outdoor lighting shall be designed to serve the intended use of the development while minimizing adverse impacts adjacent properties or public right-of-way.*

Applicant Response: All of the noted issues have been addressed and comply with applicable ordinances. No changes will be required. New condensing units will be placed at grade and screened.

Staff Response: No changes for outdoor lighting are proposed in this site plan application. Parking lot lighting standards and additional outdoor lighting shall be in accordance with Sec. 16-276.

(g) *The capacity of those public services and facilities required to serve the proposed development (including but not limited to water, sanitary sewer, electricity, gas, storm sewer, streets, etc.) shall conform with, or if improvements are required, shall be made to conform with the requirements of the county's construction standards.*

Applicant Response: All services and facilities conform requirements of the Los Alamos County standards and were upgraded recently to accommodate the remodel of the building, and this work was reviewed and approved. No changes are planned.

Staff Response: There are no proposed changes to a utilities plan in this site plan application. There is a comment by the Interdepartmental Review Committee (IDRC) in order to meet these criteria:

- Comment #3 Per Department of Public Utilities: As part of the building permit review the applicant must provide a revised electric load and gas load that reflects the final configuration of the building after the modifications. We will need this to evaluate if the existing gas and electric metering and service are adequate or will need modification.

(h) *Structures, site grading, and all other aspects of the development shall meet all applicable design standards or guidelines, as may be adopted and made a part of this code, and shall preserve, to the extent practical, outstanding topographical features and natural amenities on the site.*

Applicant Response: The structures, site grading, and all other related aspects of the development exist.

Staff Response: There are no proposed changes for these criteria.

(i) *Provisions shall be made to serve the development with tot lots and/or neighborhood parks in accordance with the adopted comprehensive plan. A fee may be paid as approved by county council to accomplish the purpose of the comprehensive plan in lieu of the development of tot lots or neighborhood parks.*

Applicant Response: These concerns were address recently as a part of the recent remodel of the building.

Staff Response: The applicant has an approved landscape plan and no changes are associated with this site plan application.

STAFF RECOMMENDATION

Staff has applied the applicable review criteria for a Site Plan and recommends approval for the change from office to residential in an existing building, located at 557 Oppenheimer Drive.

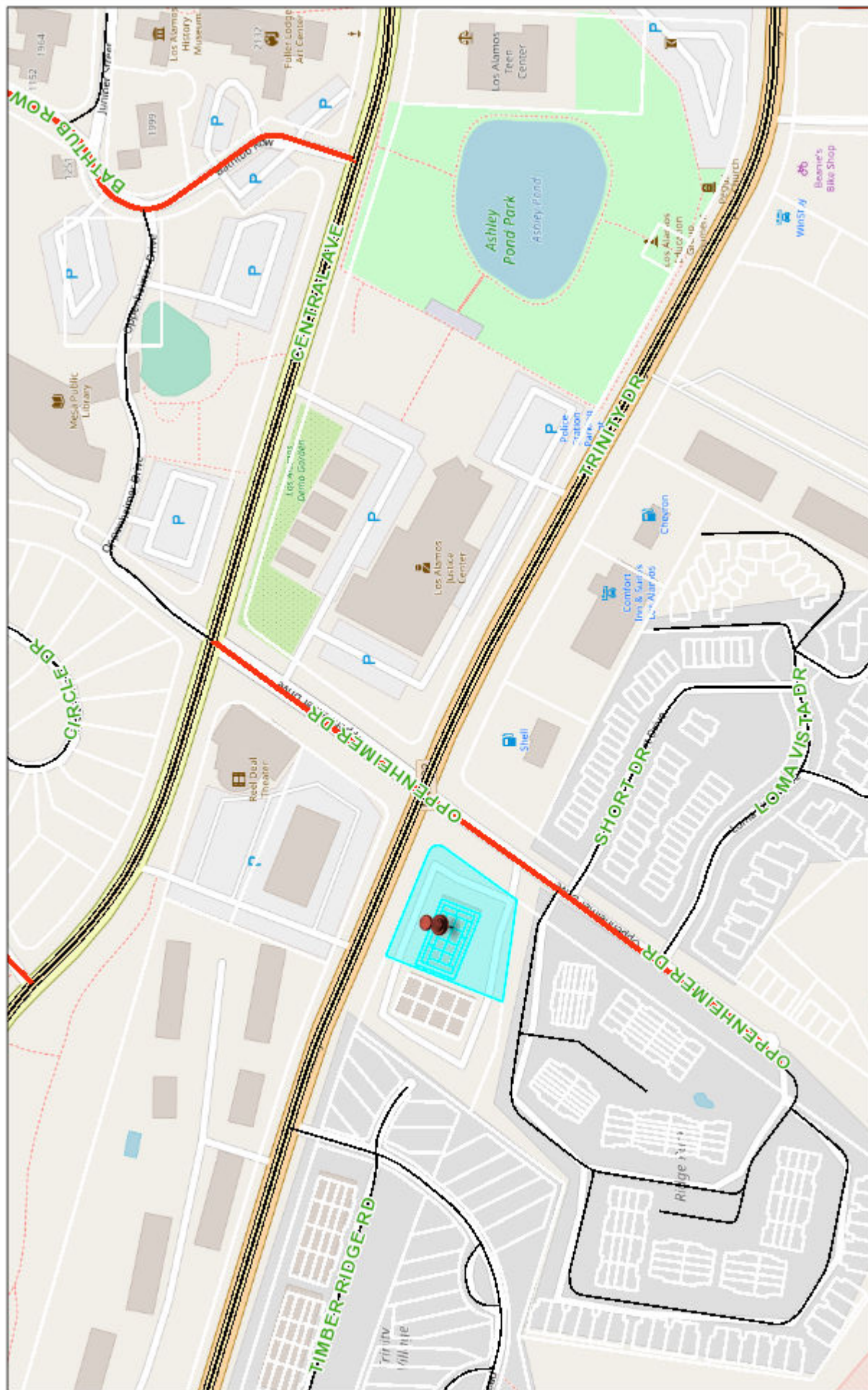
FINDINGS OF FACT

- The Site Plan application is a request for remodeling the ground floor from office to residential in an existing building located at 557 Oppenheimer Drive, zoned Mixed-Use (MU).
- The Site Plan review criteria, Section 16-152A, has been applied and was met.
- Notice of this public hearing, setting forth the nature of the request, the specific parcel of property affected, and the date, time and place of the public hearing, was announced and published in The Los Alamos Daily Post, the official newspaper of record; and property owners of real property located within 100 yards of the subject property were notified of this public hearing by U.S. mail, all in accordance with the requirements of §16-192 of the Los Alamos County Development Code.

EXHIBITS

- Exhibit 1: Vicinity Map
- Exhibit 2: Application Submittal- Site Plans
- Exhibit 3: Notification Map– 100 yards (300') from site location
- Exhibit 4: IDRC Conditions and Comments

Vicinity Map - 557 Oppenheimer Dr.



7/15/2020, 8:53:22 AM

SITE PLAN APPLICATION

Los Alamos County Community Development Department
1000 Central Ave, Suite 150, Los Alamos NM 87544
(505) 662-8120

Address and Use of Property to which the application applies:

557 Oppenheimer Drive, Los Alamos

Current Use: ☐ Vacant Other: Existing Mixed Use Building

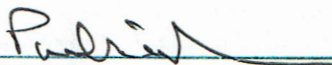
Zoning District: MU Acreage: .7125 Lot Coverage: 23.6% Related Applications (if any):

APPLICANT (Unless otherwise specified, all communication regarding this application shall be to Applicant):

Name: Paul Mifsud, Architect Phone: 505 982 8363 Cell #:
Please Print

Company Name: Mifsud Associates Architects

Address: 1700 A Paseo de Peralta, SANTA FE, NM Email: sfarchitect@comcast.net


SIGNATURE

6-18-20
DATE

PROPERTY OWNER

☐ Check here if same as above

Name: Los Alamos Prof. Investment Partnership, LLC Phone: 505 216 1618 Cell #:
Please Print

Address: PO Box 9146, Santa Fe, NM 87504 Email: info@lenastreetlofts.com
Owner's Address

My signature below indicates that I authorize the Applicant to make this Amendment application on my behalf.


SIGNATURE

6/17/20
DATE

Pre-Application Meeting Date(s):

IDRC Date:

THIS SECTION TO BE COMPLETED BY THE COMMUNITY DEVELOPMENT DEPARTMENT

Date of Submittal: _____

Staff Initial: _____

CDD Application Number: _____

Fees Paid: _____

SITE PLAN REVIEW CRITERIA

The Los Alamos County Code of Ordinances, Chapter 16, Development Code, Sec. 16-152A establishes the following criteria for recommendation by IDRC, or for determination by the CDD Director or P&Z, of approval, conditional approval or denial of the application. Please review each of the criteria listed and provide short comments on how your application meets the criteria in the space provided. (Attach additional sheets if needed.)

- (a) *The site plan shall substantially conform to the comprehensive plan and shall not be materially detrimental to the health, safety and general welfare of the county.*

The building site plan has existed for many years. The plan was recently updated and approved by Los County. There will be no changes or additions to the exterior of the building.

- (b) *Ingress, egress, traffic circulation and parking on the site shall be accomplished with safety for motorists, bicyclists and pedestrians. Provisions shall be made for the safe ingress, egress and circulation of vehicles, bicyclists and pedestrians.*

The building, parking, ingress, egress, traffic circulation has existed for many years including the access to Oppenheimer Drive.

There will not be any changes to the items of concern noted above. However, the change to residential will result in a reduced traffic count and reduced parking needs. This is especially true during the normal working hours when, in fact, there will be fewer cars in the 557 Oppenheimer parking lot.

- (c) *The necessary provisions shall be made for controlling stormwater drainage on-site and off-site as required by the county engineer in accordance with the county's storm drainage construction standards or such other ordinances or storm water management plans as may exist.*

The building including stormwater drainage has existed for many years. No additional impervious surface shall be installed as a part of this proposed work, which is changing the first floor to a residential use.

No additional utilities will be required as a result of the residential use on the first floor.

- (d) *The necessary easements shall be provided for both existing and proposed utilities, on-site and off-site. No existing easement shall be terminated without provision of alternate service, and all new services shall be provided.*

All utilities exist and are within easements as depicted in the plat for the property.

- (e) *The site plan shall include a conceptual landscape plan that will enhance the site and immediate vicinity and provide adequate screening and buffering, if appropriate, between properties. The final landscape plan shall conform to the requirements set forth in sections 16-574 and 16-575.*

The existing landscape has recently been upgraded and approved by Los Alamos County.

The landscaping is connected to an irrigation system and is being well maintained.

- (f) *Parking lots, outside storage areas, outside mechanical equipment and outdoor lighting shall be designed to serve the intended use of the development while minimizing adverse impacts on adjacent properties or public rights-of-way.*

All of the noted issues have been addressed and comply with applicable ordinances.

No changes will be required. New condensing units will be placed at grade and screened.

- (g) *The capacity of those public services and facilities required to serve the proposed development (including but not limited to water, sanitary sewer, electricity, gas, storm sewer, streets, etc.) shall conform with, or if improvements are required, shall be made to conform with the requirements of the county's construction standards.*

All services and facilities conform requirements of the Los Alamos County standards and were upgraded recently to accommodate the remodel of the building, and this work was reviewed and approved.

No changes are planned.

- (h) *Structures, site grading, and all other aspects of the development shall meet all applicable design standards or guidelines, as may be adopted and made a part of this code, and shall preserve, to the extent practical, outstanding topographical features and natural amenities on the site.*

The structures, site grading, and all other related aspects of the development exist.

- (i) Provisions shall be made to serve the development with tot lots and/or neighborhood parks in accordance with the adopted comprehensive plan. A fee may be paid as approved by county council to accomplish the purpose of a comprehensive plan in lieu of the development of tot lots or neighborhood parks.

These concerns were address recently as a part of the recent remodel of the building.

SUBMITTALS:

Provide all information necessary for a complete review of the Site Plan request. Check each of the boxes to indicate which information you have provided. Provide two hard copies of all plans and also provide one complete copy of all materials on disk:

- ☐ Agent Authorization, if applicable.
- ☐ Proof of property ownership (Warranty deed, recorded Plat, etc.).
- ☐ Scaleable copies of Site Plan drawings including:
 - ☐ Footprint and square footage of all buildings and structures on the site.
 - ☐ Building/structure elevations.
 - ☐ Existing and proposed lot coverage.
 - ☐ All existing and proposed easements.
 - ☐ All existing and proposed setbacks.
 - ☐ Existing and proposed trails.
- ☐ Preliminary Landscape Plan.
- ☐ Preliminary Grading and Drainage Plan.
- ☐ Preliminary Utilities Plan.

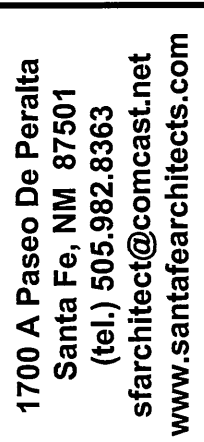
Note: Final construction plan set will be required at Building Permit.

Additionally, per Sec. 16-571, at or before the first IDRC meeting, the County Engineer may require the following Impact Studies:

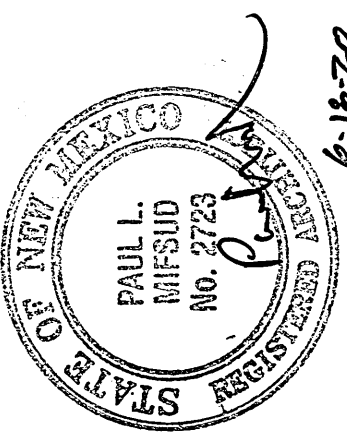
- ☐ Traffic impact analysis (TIA).
- ☐ Stormwater drainage report.
- ☐ Utility capacity analysis.
- ☐ Soils report.
- ☐ Other. Describe: _____

You are advised to meet with the County Engineer early in the planning process to determine which studies will be required.

Please provide any other information that you believe is relevant to or supports this application.

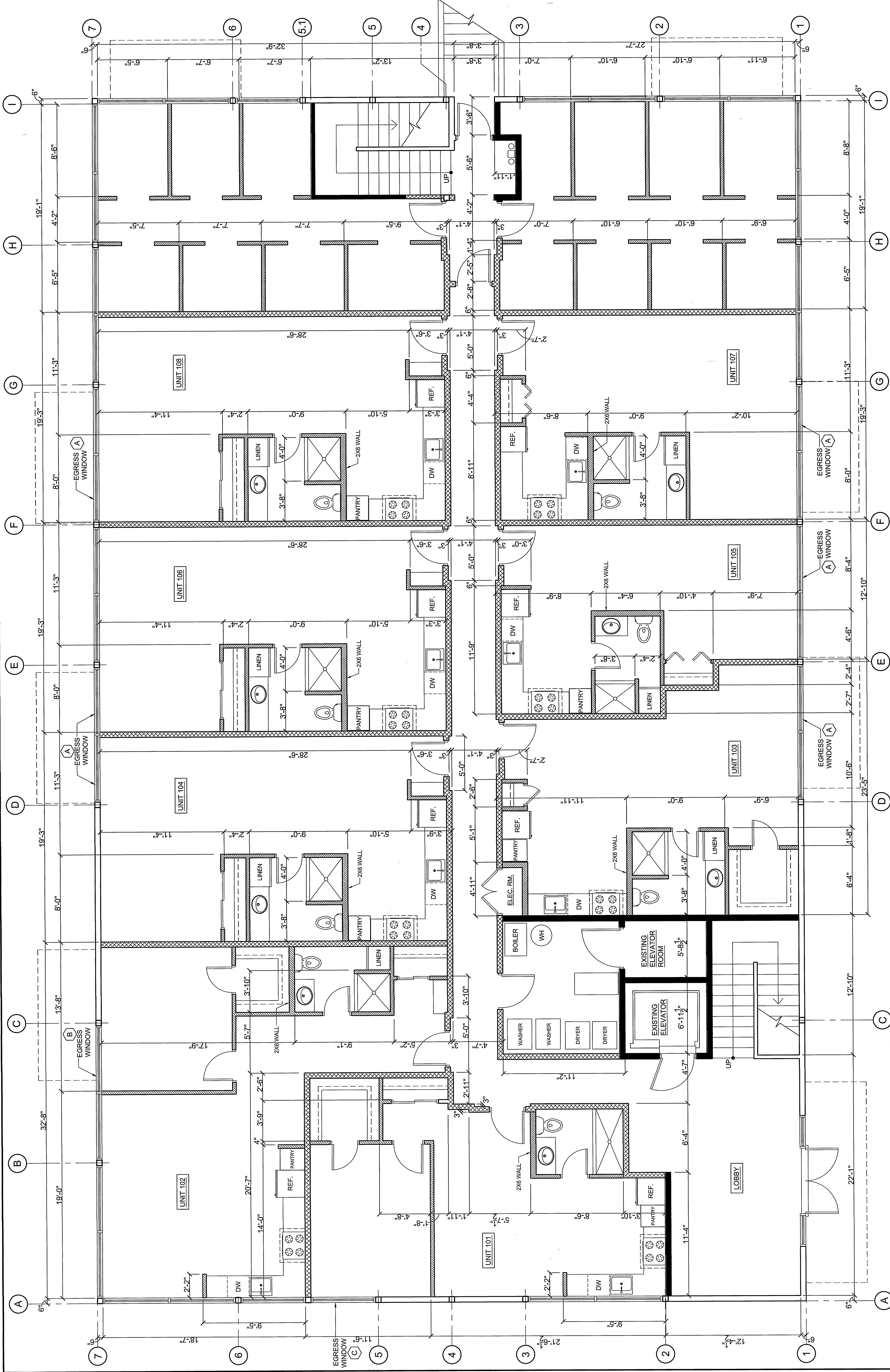






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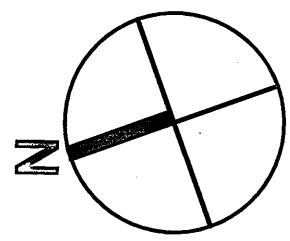
SHEET

A-2



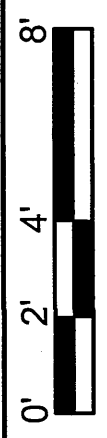
	NEW 1-HR. RATED SEPARATION WALL
	EXISTING 1-HR. RATED SEPARATION WALL
	NEW 2X4 WALL U.N.O.
	EXISTING WALL TO REMAIN

NOTE: ALL DIMENSIONS ARE APPROXIMATE. FIELD VERIFY.



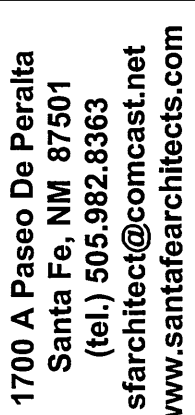
FLOOR PLAN
SCALE: 1/4"= 1'-0"

SCALE: 1/4"= 1'-0"



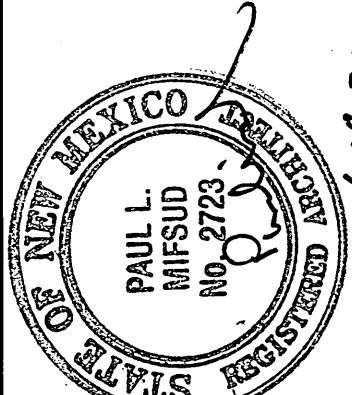
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EXHIBIT 2



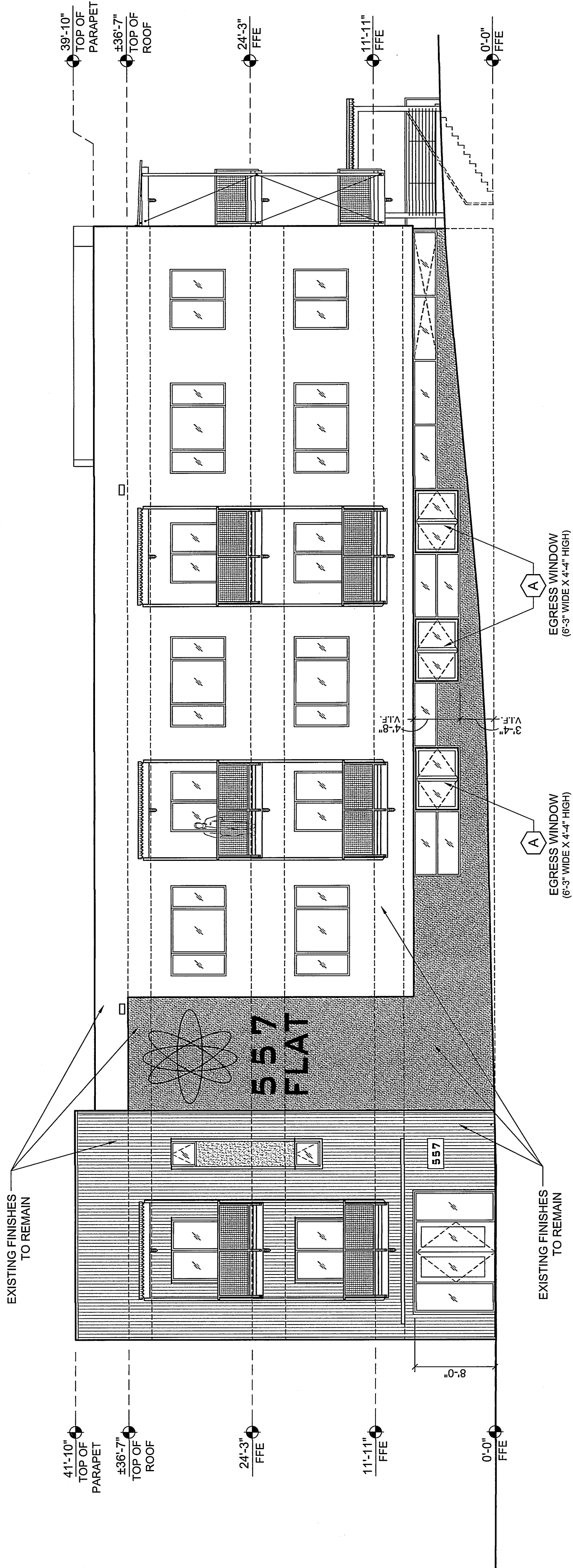
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557 Oppenheimer
557 Oppenheimer Dr.
Los Alamos, New Mexico

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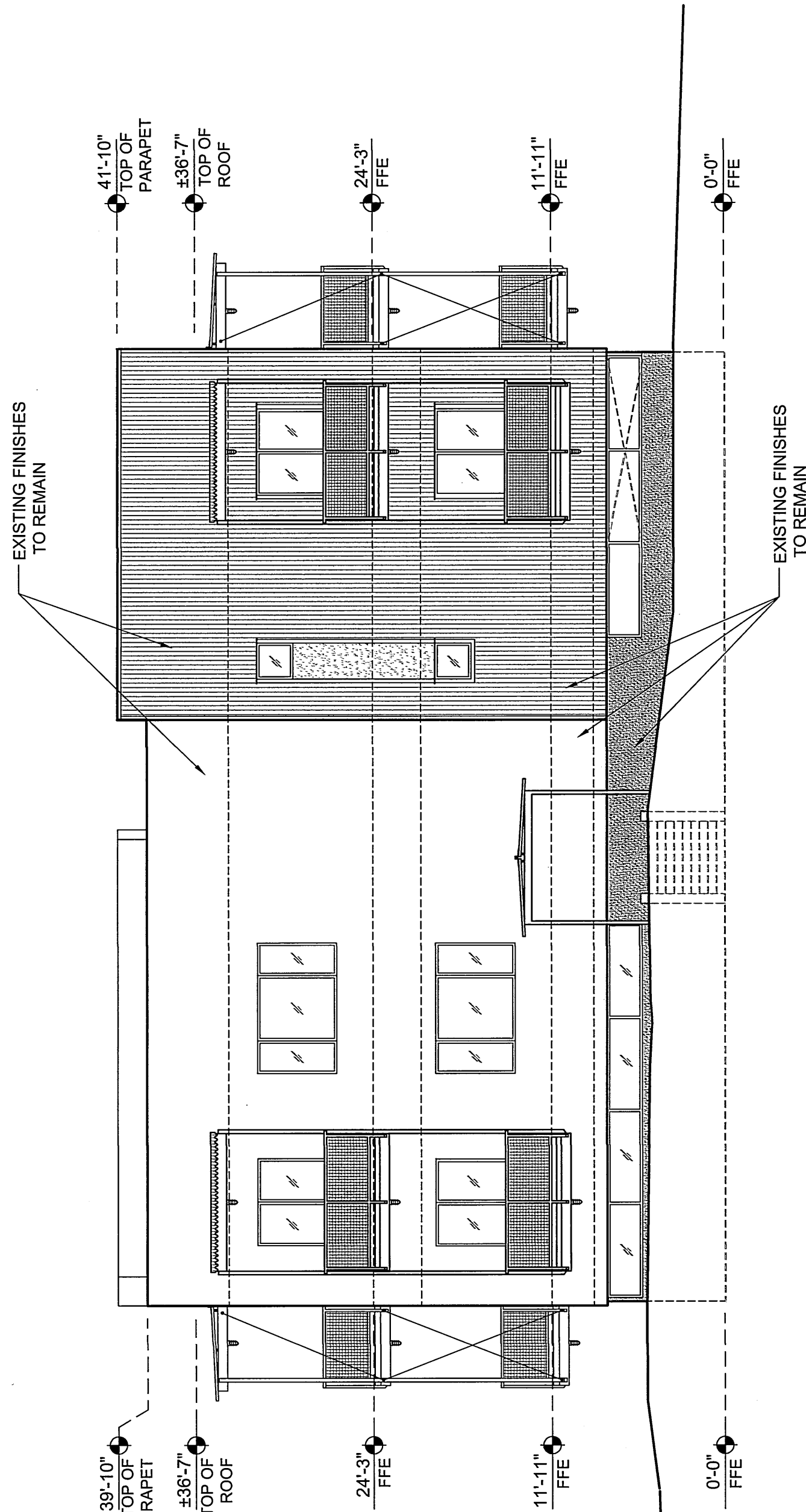
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A-3



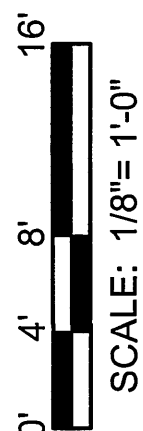
SOUTH ELEVATION

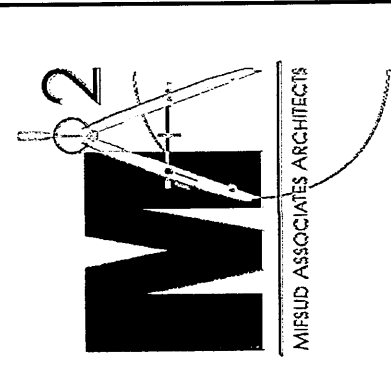
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EAST ELEVATION

SCALE: 1/8"= 1'-0"





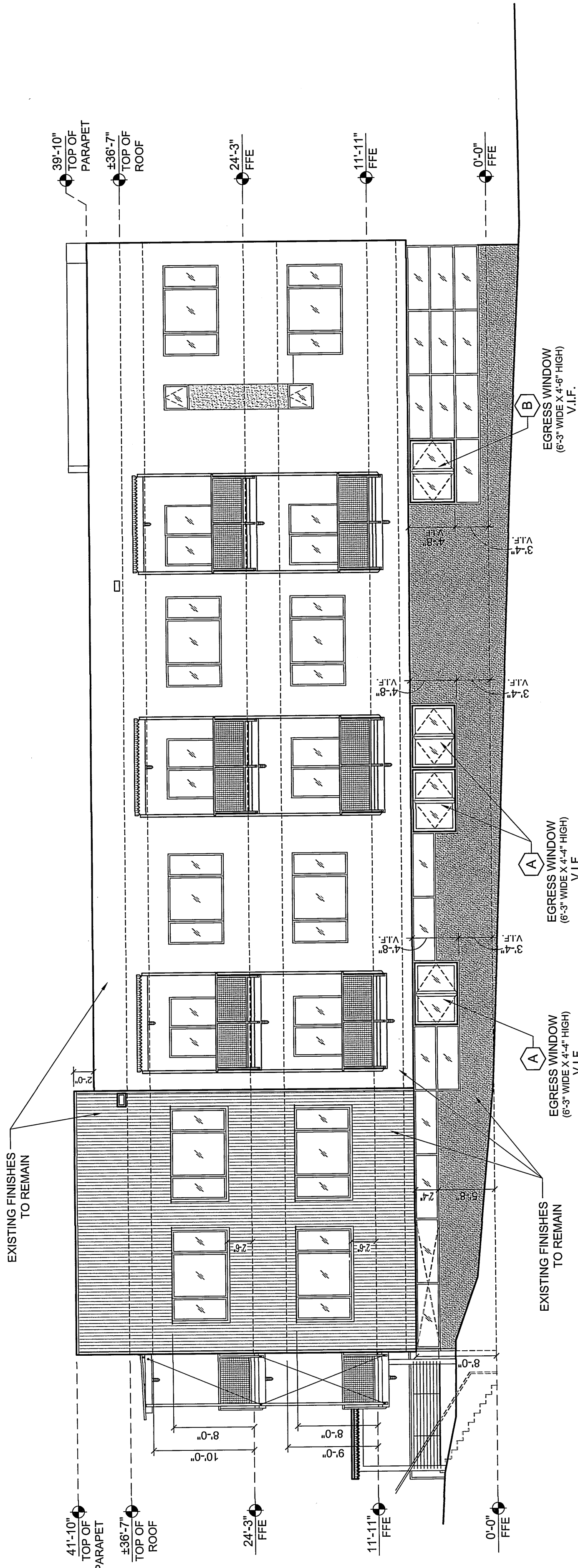
1700 A Paseo De Peralta
Santa Fe, NM 87501
(tel.) 505.982.8363
sfarchitect@comcast.net
www.santafearchitects.com

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557 Oppenheimer
557 Oppenheimer Dr.
Los Alamos, New Mexico

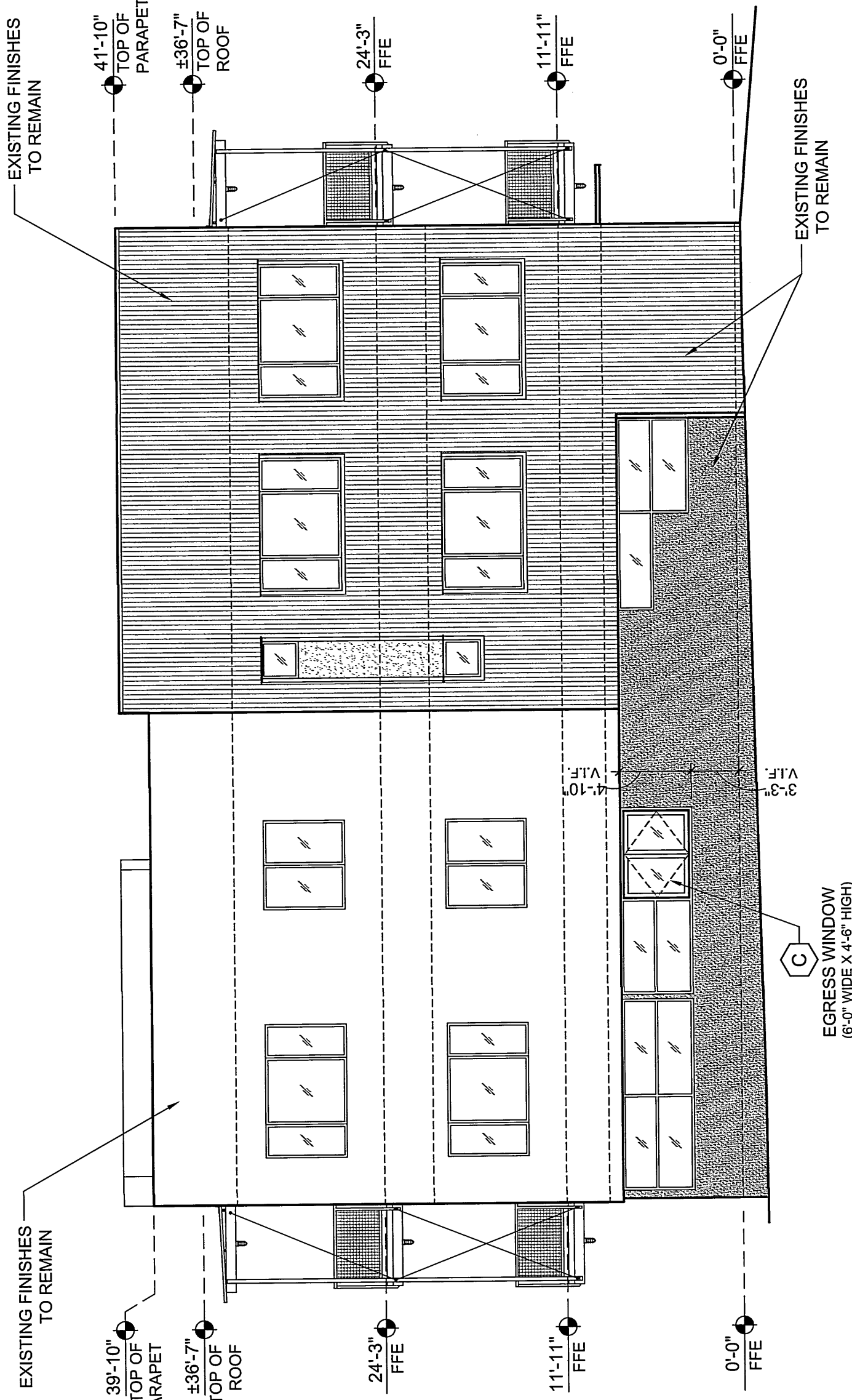
REVISIONS:

NO. DATE



NORTH ELEVATION

SCALE: 1/8"= 1'-0"



WEST ELEVATION

SCALE: 1/8"= 1'-0"

SHEET

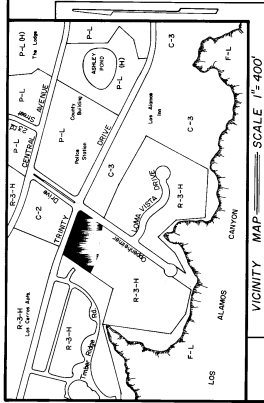
A-4



557 OPPENHEIMER BUILDING FLOOR PLAN

Second and Third Floor Plans Are Identical





FINAL PLAT **TRINITY / OPPENHEIMER SUBDIVISION** BEING A SUBDIVISION OF TRACT "A", REPLAT OF TIMBER RIDGE SUBDIVISION, UNIT 2 LOS ALAMOS, NEW MEXICO

JUNE, 1988

GENERAL NOTES

Total No. of Lots - 2
 Total Area - 14.825 acres or 62,863.72 square feet
 Maximum Lot Area - Lot 1 - 0.7304 acres or 31,818.23 square feet
 Minimum Lot Area - Lot 2 - 0.7125 acres or 31,035.50 square feet
 The plat is subject to all existing easements, rights, and interests of record.
 Structures, setbacks, separation between structures, height of structures, and lot coverage to be determined by the Zoning Commission of the time they approve the Improvement Plan.

DRAINAGE EASEMENTS

The areas designated herein as drainage easements are granted to the Incorporated County of Los Alamos, its successors and assigns and are reserved for that purpose. Said easements are for the drainage of surface waters from the lots and are not to be used for any other purpose.
 The owner of any lot or tract burdened by these easements shall not, without the written consent of the County of Los Alamos, place any structure, building, or other material which might reasonably change the direction or flow of surface waters within the easement way.

TEMPORARY DRAINAGE, INGRESS & EGRESS EASEMENT

The easements of Lot 1 and Lot 2 are granted to the owners of Lot One of Temporary Drainage, Ingress and Egress Easement, and the easements of Lot One and Lot Two are granted to the owners of Lot Two of Temporary Drainage, Ingress and Egress Easement, and the easements of Lot One and Lot Two are granted to the owners of Lot Two of Temporary Drainage, Ingress and Egress Easement.

NOTE ON ACCESS:
 There shall be no vehicle access from Lot One and/or Lot Two on to Trinity Drive. All vehicle access shall be from Oppenheimer Drive.

LOS ALAMOS PROFESSIONAL INVESTMENT SURVEYORS
LYNNE STEELE - GENERAL PARTNER
LYNNE STEELE - GENERAL PARTNER
 STATE OF NEW MEXICO
 COUNTY OF LOS ALAMOS
 I, the undersigned, do hereby certify that the foregoing instrument was acknowledged before me this 10th day of June, 1988, by the undersigned, General Partners of the Professional Investment Partnership, a general partnership, and the undersigned, Notary Public.
 My commission expires 7-30-89

APPROVAL

This plat is hereby approved this 27th day of July, 1988, in accordance with a resolution of the Planning Commission, County of Los Alamos, New Mexico.

Chairman
 [Signature]
 SECRETARY

STATE OF NEW MEXICO
 COUNTY OF LOS ALAMOS

I, the undersigned, do hereby certify that the instrument was filed for record as Document No. 33,309 on the 27th day of July, 1988, at 2:27 o'clock PM and duly recorded in Plat Book 3, Page 36.

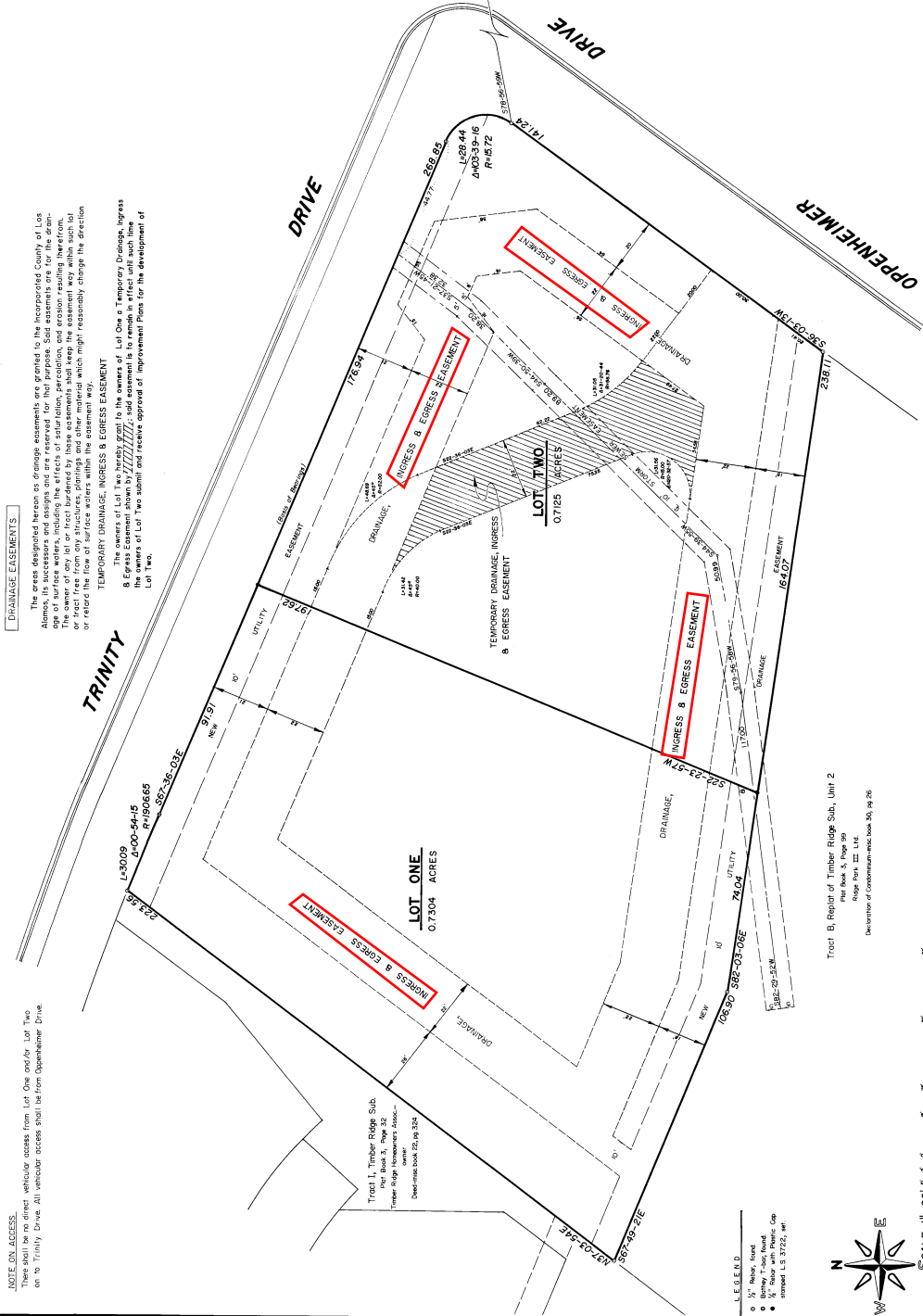


COUNTY CLERK
 [Signature]
 Deputy

CERTIFICATION

I, John R. Mendez, hereby certify that I am a registered Professional Surveyor under the laws of the State of New Mexico and that this plat and the notes hereon were prepared from the official Record of the Survey of the Timber Ridge Subdivision, Unit 2, Los Alamos County, New Mexico, State of New Mexico and from field notes of an actual survey made under my supervision on the 27th day of July, 1988, and meets the minimum requirements of the Standards of Land Surveys in New Mexico as adopted by the State Board of Registration for Professional Engineers and Professional Surveyors and is true and correct to the best of my knowledge and belief.

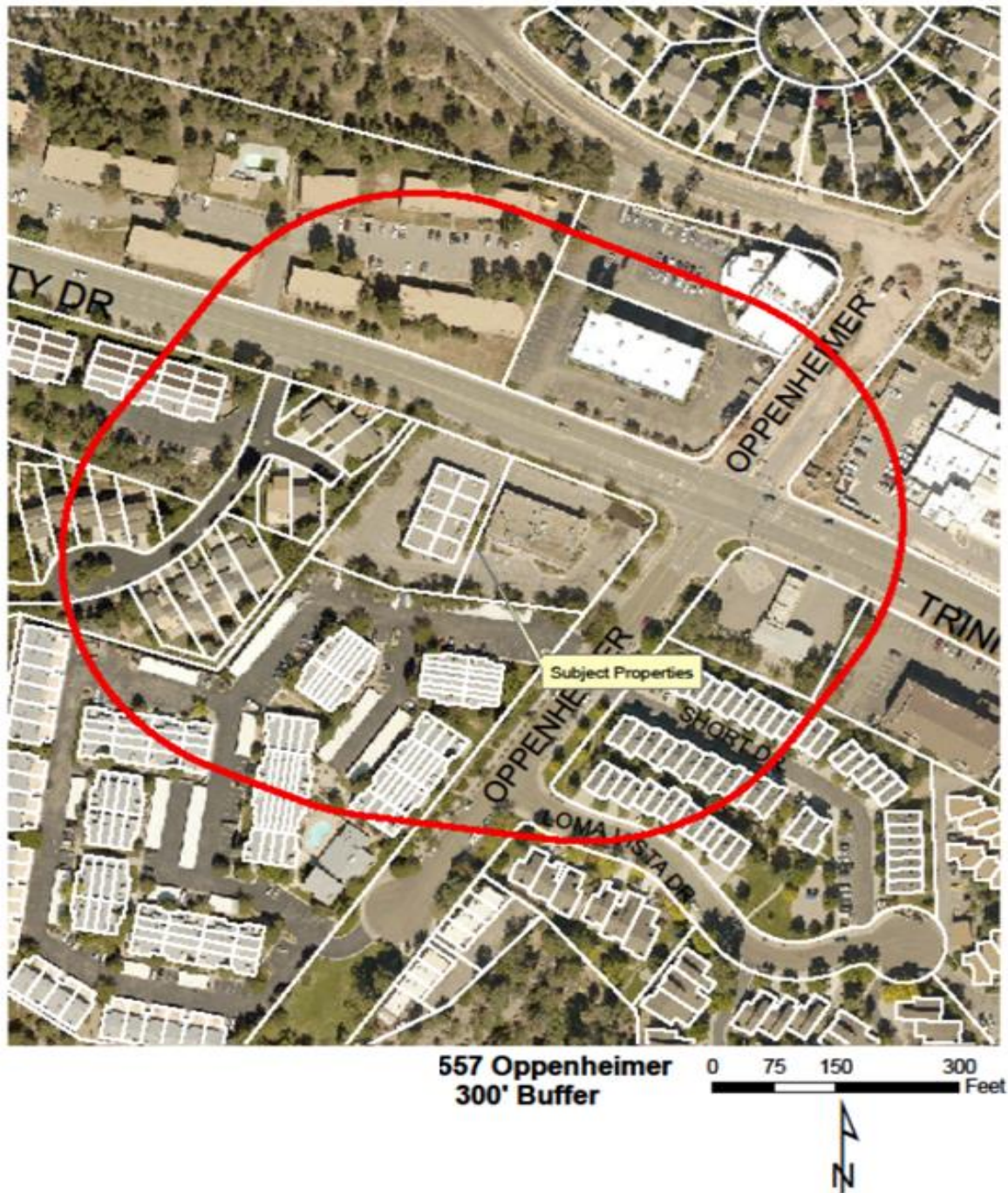
John R. Mendez
 State of New Mexico
 Los Alamos, N.M.
 87004



Tract B, Replat of Timber Ridge Sub, Unit 2
 Plat Book 3, Page 36
 Declaration of Condominium Book 30, pg 26

LEGEND
 1" = 1 mile
 1" = 1 mile
 1" = 1 mile
 1" = 1 mile

300 Foot Notification Map for 557 Oppenheimer





IDRC CONDITIONS & COMMENTS: 557 Oppenheimer, June 25, 2020

CONDITIONS AND COMMENTS FOR SITE PLAN APPROVAL DUE BY JULY 13, 2020 FOR JULY 22, 2020 HEARING DATE

- | | |
|---|--|
| 1 | <p><u>Per Public Works and Fire Department:</u>
Indicate on the site plan whether the traffic circulation is one-way and provide evidence of an access agreement around 557 and 555 Oppenheimer. If two-way circulation is proposed, circulation and parking lot design standards must be met.</p> |
| 2 | <p><u>Fire Department:</u>
Sprinkler system needs to be operational and approved on the first floor by the FMO before construction begins.</p> |

ADDITIONAL COMMENTS

- | | |
|---|--|
| 1 | <p><u>Per Planning Division:</u>
Provide parking calculations for the proposed ground floor residential use (the site plan currently has the parking calculations for commercial on the ground floor) on the site plan sheet.</p> |
| 2 | <p><u>Per Planning Division:</u>
Provide a current signed parking and access agreement since 555 and 557 Oppenheimer are sharing parking and access.</p> |
| 3 | <p><u>Per Building Division:</u>
Request all floor plans with the residential units identified.</p> |
| 4 | <p><u>Per Utilities Department:</u>
As part of the building permit review the applicant must provide a revised electric load and gas load that reflects the final configuration of the building after the modifications. We will need this to evaluate if the existing gas and electric metering and service are adequate or will need modification.</p> |



County of Los Alamos

Staff Report

July 22, 2020

Los Alamos, NM 87544
www.losalamosnm.us

Agenda No.: B.

Index (Council Goals):

Presenters:

Legislative File: 13186-20

Title

A request for site plan approval for a financial institution at 1010 Central Avenue, located in the Eastern Area 2 Subdivision, Lot EA2 2. The proposed development will consist of a new credit union building, with associated on-site parking and traffic circulation, on 0.60± acres of land zoned (DT-TCO)

Attachments

A - Staff Report



Los Alamos County

Community Development Department

PLANNING & ZONING COMMISSION STAFF REPORT

Public Hearing Date: July 22, 2020

Subject: Case No. SIT-2020-0046

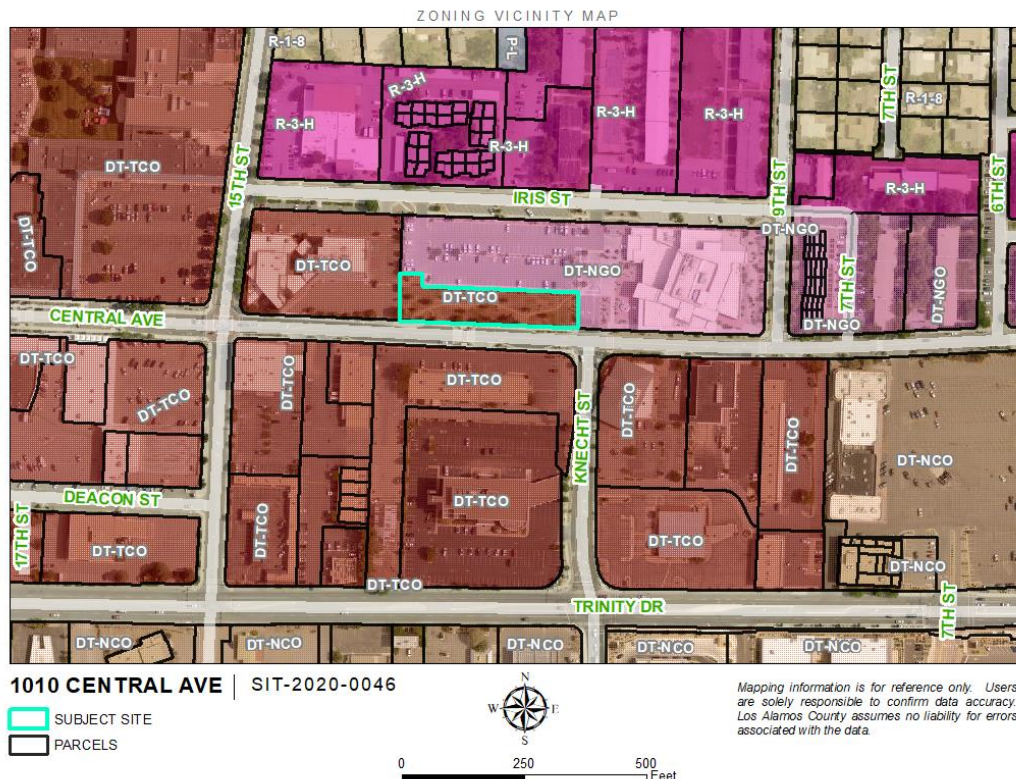
Owners/Applicants: Los Alamos Schools Credit Union, Property Owner/Matt Schmidt, Applicant

Case Manager: Ryan Foster, AICP, Principal Planner

Case No. SIT-2020-0046:

A request for site plan approval for a financial institution at 1010 Central Avenue, located in the Eastern Area 2 Subdivision, Lot EA2 2. The proposed development will consist of a new credit union building, with associated on-site parking and traffic circulation, on 0.60± acres of land zoned Downtown district-Town center overlay zone (DT-TCO), as shown in Exhibit A below.

Exhibit A



Case No. SIT-2020-0046, Motion Option 1:

I move to **approve** Case No. SIT-2020-0046 — request for Site Plan approval for construction of a Los Alamos Schools Credit Union building, located at 1010 Central Avenue. Approval is based on the reasons stated within the staff report and per testimony entered at the public hearing, subject to the following condition(s):

1. ...

I further move to authorize the Chair to sign Findings of Fact for this case and, based on this decision, to be prepared by County staff.

Case No. SIT-2020-0046, Motion Option 2:

I move to **deny** Case No. SIT-2020-0046 — request for Site Plan approval for construction of a Los Alamos Schools Credit Union building, located at 1010 Central Avenue. Denial is due to the proposal failing to meet the Los Alamos County Code of Ordinances, Chapter 16 — Development Code review criteria within §16-152A, for the following reasons:

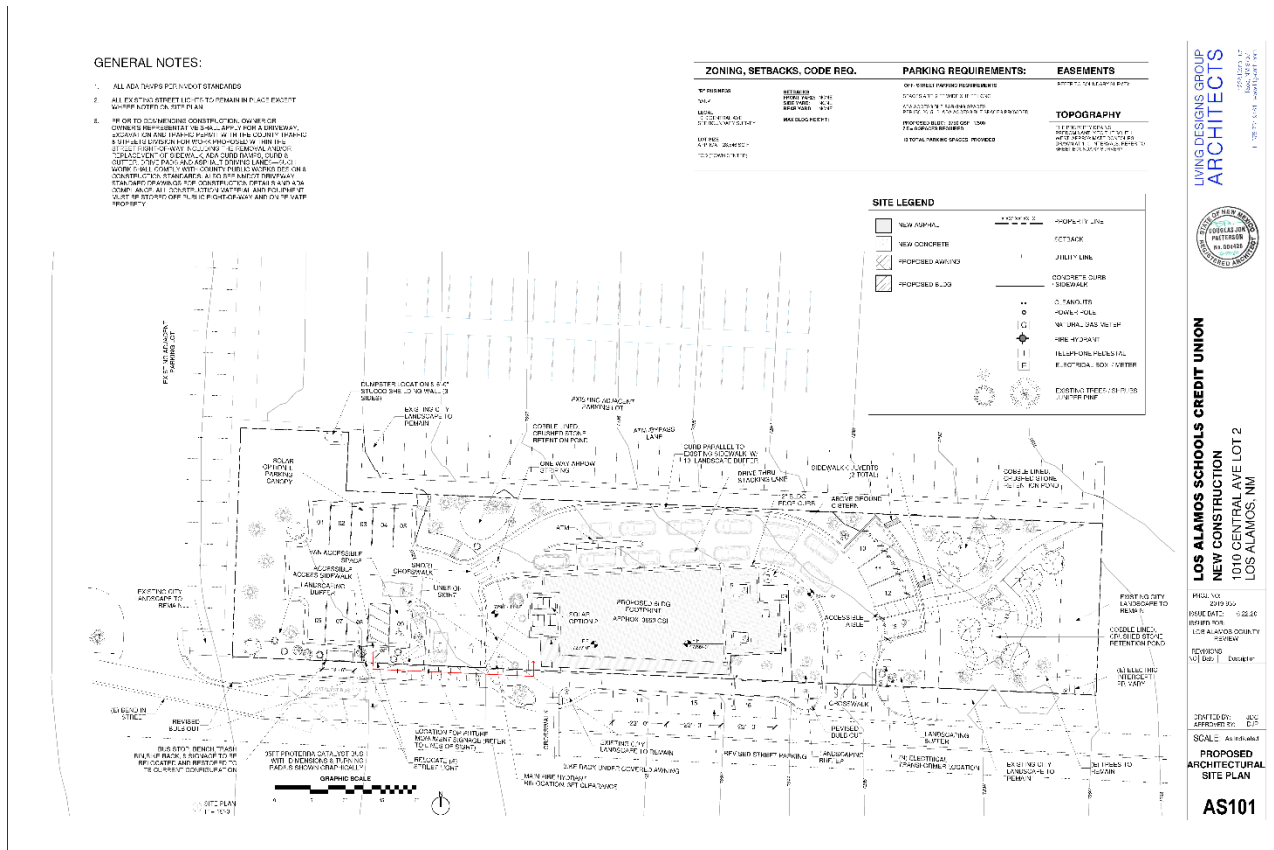
1. ...

SUMMARY AND HISTORY

Until June 2020, 1010 Central Avenue was a County owned parcel that was associated with the Los Alamos County Municipal Building project. In 2012, before the completion of the Municipal Building, the County presented a request for proposal for the 1010 Central property, with the goal of finding a retail/office developer with the following key objectives:

- To realize a project that implements the Downtown Element of the Comprehensive Plan and which adds to the mixed-use character and vibrancy of downtown.
- To provide increased shopping/entertainment/employment opportunities for citizens.
- To provide increased business opportunities for locally owned businesses.
- To generate additional revenue by selling land at appraised value.
- To return improved property to County tax rolls within three years.
- To comply with all applicable zoning and building codes.

An interim park has been located on the subject property while actively pursuing a project suitable for the Downtown district-Town center overlay zone (DT-TCO). Exhibit B (below) illustrates the site plan showing the footprint of the proposed credit union building.



Interdepartmental Review Committee (IDRC) REVIEW

On May 28, 2020, the IDRC reviewed the application and approved to move the Site Plan application forward to the Planning and Zoning Commission with three conditions that must be met before the June 24, 2020 hearing date. The case was postponed from June 24, 2020 to July 22, 2020 for the applicant to meet the conditions of the IDRC. All the following conditions have been met.

IDRC Conditions

The following comments are regarding the interdepartmental review of the site plan application:

1. **Per Planning Division:** The application signature will be considered correct and complete if the closing of the property occurs before June 15, 2020. If it is estimated that the property closing will not occur by then, please contact Ryan Foster the Principal Planner by Monday, June 8, 2020 to discuss.
2. **Per County Engineer, Public Works:**
Update the Grading & Drainage Plan in coordination with the Public Works Department to include:
 - Additional detail for storm water to reach proposed outfall/ponding areas, i.e. additional flow patterns, curb cuts, sidewalk culverts, drain inlets, etc. and clarify elevations shown.
 - Provide a statement on the plan to indicate that the drainage design meets the requirements of the County's Public Works Design & Construction Standards.
3. **Per County Engineer, Public Works:**

Update and provide additional geometric design details of the bus pullout lane and both driveways in coordination with the Public Works Department to include:

- Exiting taper/reverse curve design of the bus pullout lane
- Removal of the western bulb-outs at each driveway.
- Provide a note that the bus pad will be relocated and restored to its current size and configuration including all appurtenances, i.e. bench, trash bin, bike rack and signage.

Additional IDRC Comments

1. Per County Engineer, Public Works: Monument sign proposed shall not obstruct sight distance and visibility for exiting vehicles.
2. Per County Engineer, Public Works: Driveway construction details shall be addressed in the construction drawings submitted for building permit. Also note:
 - Prior to commencing construction, the applicant shall apply for a driveway, excavation and traffic permit with the County Traffic & Streets Division for work proposed within the street right-of-way including the removal and/or replacement of sidewalk, ADA curb ramps, curb & gutter, drive pads and asphalt driving lanes—such work shall comply with County Public Works Design & Construction Standards; also reference NMDOT driveway standard drawings for construction details and ADA compliance. All construction material and equipment must be stored off the right-of-way and on private property.
3. Per Public Works, Streets Division: A comment regarding the placement of the last parking space (#14 on the site plan) being too close to the eastern entrance. Perhaps this could be moved next to parking space 5, if needed.
4. Per Public Works, Streets Division: Provide a sidewalk connection from the eastern parking area through the landscape buffer, to the building. Especially if the only ADA space is in the eastern parking area.
5. Per Public Works, Streets Division: Perhaps the 3ft. space next to the ADA space can be swapped to get it farther from the driveway entrance.
6. Per Department of Public Utilities: The utility plan does not show the electric service. This needs to be added to the utility plan. See attached comments from prior submittal regarding electric service connection.
7. Per Public Works, Environmental Services: Refuse Collection – Previously recommended to utilize roll carts in lieu of dumpster w/enclosure due to expected low waste generation. Discussed possibility to share cardboard recycle bin with Municipal Bldg. Recommend obtaining input from Angelica Gurule, Environmental Services Director. Does the current dumpster layout require access through County property? Yes, the dumpster will be accessed through the main municipal building parking lot.

VOTING MEMBERS IN ATTENDANCE

Planning Division, Community Development	Ryan Foster, Principal Planner	✓
Building Division, Community Development	Michael Arellano, Chief Building Official	✓
Engineering Division, Public Works	Eric Martinez, P.E., County Engineer	✓
Traffic & Streets Division, Public Works	Juan Rael, Traffic and Streets Mgr.	✓
Department of Public Utilities	James Alarid, Deputy Utility Manager	✓
Fire Department	Wendy Servey, Fire Marshal	✓

PUBLIC NOTICE

Notice of this public hearing has been given per the requirements of the Los Alamos County Code of Ordinances, Chapter 16, Development Code, Sec. 16-192 (a), and included: U.S. mail to owners of real property within 100 yards (300') of the subject property as shown in Exhibit 3; publication in the Los Alamos Daily Post (published 7/2/20), the County's official newspaper of record; and posting at the Los Alamos County Municipal Building.

SITE PLAN REVIEW CRITERIA

Section 16-152A of the Los Alamos County Development Code states that during the course of the review of any Site Plan, the Planning and Zoning Commission shall utilize the following criteria in making its determination of approval, conditional approval or denial:

- (a) *The site plan shall substantially conform to the comprehensive plan and shall not be materially detrimental to the health, safety and general welfare of the county.***

Applicant Response: The Los Alamos Schools Credit Union site plan is a proposal for new development in the DT-TCO (Downtown district: Town Center overlay zone). The proposed site plan simplifies the development review process through the use of an overlay zone. The proposed site plan is designed to be uniform in quality with the downtown district design quality and promote the vision of a downtown Los Alamos which is lively, economically vital, pedestrian friendly, and convenient mixed-use traditional town center with attractive buildings. The proposed site plan conforms to the goals of the DT-TCO overlay zone by providing a new variety of commercial enterprise on a challenging site in a high density area. The site plan protects property values, supports and furthers community values and goals for encouraging economic development and services for citizens of Los Alamos County. The design promotes visual quality, mutual compatibility, and identifiable imagery of downtown buildings through the application of appropriate architectural design standards. **[EXHIBIT H** utilizing similar stucco colors, storefront, and a colonnade on the South façade to the adjacent Bradbury Science Museum and County Building. Design standards compatibility discussed in more detail in **review criteria (H)]** The proposed site plan conforms to the comprehensive plan by providing more diversity of commercial options within the downtown district, while helping to eliminate downtown blight by encouraging infill development and promoting higher density commercial development. Through innovative site planning and design standards the LASCUC development enhances environmental quality and sustainability while preserving and enhancing environmentally sensitive areas. Compatibility of land uses is ensured through open communication with neighboring property owners, and enhanced connectivity of existing sidewalks and pathways adjacent to and across the site. Through open communication with Los Alamos County departments, the Los Alamos Schools Credit Union site plan has been developed to be sensitive to a number of factors including the health, safety and general welfare of the county. The proposed site plan promotes:

A. Maximum And Safe Walk-Ability: The existing crosswalk at Central Ave. is maintained and reinforced by aligning it with the new entrance to the building. Existing pathways are maintained and enhanced by aligning them with parking circulation. Additional connectivity is achieved on West and East ends of site through the addition of new curvilinear pathways which connect existing sidewalks and pathways. These pathways also provide safe and clear circulation for accessible parking, along with aesthetic appeal.

B. Safe and Effective Traffic Flow: The Eastern entrance is characterized as a one-way ingress. It is reduced to 20' width in order to provide a safe crosswalk environment and clear one-way teller access along with staff parking access. Clear and visible signage and striping are provided. East entrance parking is designed to prevent vehicles from backing into crosswalk for pedestrian, bicycle and motorist safety. Existing pathways and sidewalks are utilized to provide clear accessible pathways from parking to building.

The Western two-way ingress/egress access point has ample and visible signage, striping and turning radii. This entrance provides access for customer parking along with clear accessible pathways from parking to building which reinforce and enhance existing/proposed pathways and crosswalks. The Western access also provides motorist egress for the entire site. A single point of egress creates a safer environment for pedestrians, bicyclist and motorists. Clear lines of site, fire department access and bus stop requirements are accommodated in this design.

C. Public Transportation Accessibility and Continuity: The bus stop has been relocated to the Western boundary of the site and is restored to its current size and configuration including all appurtenances, i.e. bench, trash bin, bike rack and signage.

D. Ease of solid waste disposal: Roll-carts are utilized to reduce need for dump truck access. This promotes a safer environment for pedestrians, bicyclist and motorist.

E. Maximum Accessibility for Fire Department and utility providers: Entrance geometry and hydrant relocations address suggestions from the Fire department. All appropriate easements and services are maintained or relocated to provide ample access.

Staff Response: The proposed site plan substantially conforms to the Comprehensive Plan in the following ways:

- Council Goals to promote Economic Vitality (p.34):
 - Maximize the utilization of county owned land.
- Downtown Goals (p.84):
 - Focus development priorities downtown.
- Downtown Policy (p.84):
 - Policy: Support development of a range of retail and service uses that complement one another.
 - Policy: Support small businesses in the downtown.
- Redevelopment Goals (p.80):
 - Encourage infill development on underused or blighted sites.
- Development Goals (p.76):
 - Keep the focus of development primarily within current development boundaries.
 - Enhance and maintain a vibrant downtown while keeping a small-town character and feel.
- Development Policy (p.76):

- Actively solicit new development opportunities.

(b) *Ingress, egress, traffic circulation and parking on the site shall be accomplished with safety for motorists, bicyclists and pedestrians. Provisions shall be made for the safe ingress, egress and circulation of vehicles, bicyclists and pedestrians.*

Applicant Response: The proposed site plan is developed to promote safety for motorists, bicyclists and pedestrians while working within the confines of a long and narrow site that has limited access. This is achieved by limiting width of entrances, creating clear and directional traffic flow, and providing clear paths from parking to building with ample signage and striping. The proposed site plan maximizes the functionality and aesthetic appeal of the site, while reinforcing and enhancing existing site circulation. Various site studies were generated before developing the proposed site plan, and access permissions were pursued and denied from neighboring properties. (EXHIBIT G). The proposed site plan reinforces existing crosswalks across Central Ave., and addresses the needs of public transportation through the relocation of an existing bus pad. The development of the site is constrained by its long and narrow property boundaries. The proposed site plan accomplishes 5 items the other site plans did not address as successfully.

#1 The positioning of the proposed Credit Union's building footprint aligns the primary entrance with the existing Central Ave Southern access crosswalk.

#2 We determined it was not appropriate to enter or exit the site via the parking lot to the north as site access would need to be permitted and the risk of collisions would be greater with reversing parked vehicles.

#3 We determined that entering or exiting the site via 10th St was not desirable as it would require the partial demolition of an existing landscaped buffer and the demolition of an existing pedestrian walking path, along with added potential for collisions at the intersection with Central. Our proposed site plan solution places the vehicular ingress and egress driveways immediately adjacent to the building's footprint so that there isn't a long ingress lane cutting across the site from 10th St to get to the banks drive thru window and designated parking area.

#4 Central Ave is a major thoroughfare which makes it an intuitive point of vehicle ingress and egress. Motorists will have greater visibility and forewarning to site access from Central Ave than from 10th St.

#5 The proposed site plan is more efficient than the previously generated schemes in that there is less overall pavement on the site. As a result, there is more area for landscaping, which is better for storm water management and reducing urban heat island effect, as well as being more aesthetically pleasing to the inhabitants of the city.

Traffic study results performed by owner:

This study was created from annual transaction averages of monthly volume of walk-in visitors. The study was generated from core computer system, which provides a high level of accuracy per daily volume. Additionally the staff was surveyed for their observational numbers of visitors. Staff numbers were very consistent. These numbers are based on current volume. Growth of 10-20% to be expected. Maximum stacking is illustrated on proposed site plan.

Sample time period: 1 year

Credit Unions business hours: 9am-5pm

Daily average office traffic from the month of February before the pandemic affected business.

Average AM Traffic (8a-11a)- 10

Average Noon Traffic (11a-2p)- 15

Average PM Traffic (2p-5p)- 14

Total Daily Traffic- 39

Staff Response: Off-street parking has been provided in accordance with Section 16-579. According to those specifications, the total amount of parking spaces required is 8, with one (1) required ADA space.

Location	Net Usable Area	ADA Required	Total Spaces Required
1010 Central Avenue	3,650 SF approximately	1	8
Total Required Parking Spaces:		1	8
Total Provided Parking Spaces:		2	13

The site plan exceeds the parking requirements by providing a total of 13 parking spaces; 11 standard spaces and 2 ADA spaces.

Ingress to the property is via Central Avenue with a one-way traffic circulation pattern from the eastern entrance and a two-way traffic pattern from the western entrance. Exhibit G of the site plan application demonstrates that the ingress and egress to the parcel was explored extensively. Other traffic patterns explored were from neighboring properties, the Bradbury Complex and the Municipal Building, but were unable to find agreement when exploring those options.

Pedestrian access is provided via sidewalks, paths, and crosswalks illustrated on the site plan.

There is a condition recommended by the Interdepartmental Review Committee (IDRC) in order to meet these criteria:

- **Condition #3 Per County Engineer, Public Works:** Update and provide additional geometric design details of the bus pullout lane and both driveways in coordination with the Public Works Department to include:
 - Exiting taper/reverse curve design of the bus pullout lane
 - Removal of the western bulb-outs at each driveway.
 - Provide a note that the bus pad will be relocated and restored to its current size and configuration including all appurtenances, i.e. bench, trash bin, bike rack and signage.

The geometric design details of the bus pullout lane have been incorporated in this application. The bus stop platform and pullout lane have been shifted to the west in order to accommodate the proposed site plan.

- (c) *The necessary provisions shall be made for controlling stormwater drainage on-site and off-site as required by the county engineer in accordance with the county's storm drainage construction standards or such other ordinances or storm water management plans as may exist.***

Applicant Response: Storm water drainage shall be coordinated with county engineer and be in accordance with the County's Public Works Design & Construction Standards. On-site drainage will be directed to aesthetically pleasing on-site drainage ponds. Ponds are sized for the increase of runoff for the additional impervious area. Drainage structures will be design as required by the County's Public Works Design & Construction Standards. See Exhibit E Grading and drainage plan.

Staff Response: All drainage configurations are shown on the site plan and are subject to any technical corrections from the County Engineer. The following condition of approval by the Interdepartmental Review Committee (IDRC) was completed before public hearing in order to meet this criterion:

- Condition #2. Per County Engineer, Public Works: Update the Grading & Drainage Plan in coordination with the Public Works Department to include:
 - Additional detail for storm water to reach proposed outfall/ponding areas, i.e. additional flow patterns, curb cuts, sidewalk culverts, drain inlets, etc. and clarify elevations shown.
 - Provide a statement on the plan to indicate that the drainage design meets the requirements of the County's Public Works Design & Construction Standards.

(d) *The necessary easements shall be provided for both existing and proposed utilities, on-site and off-site. No existing easement shall be terminated without provision of alternate service, and all new services shall be provided.*

Applicant Response: Proposed utility easements are provided around the relocated fire hydrant and new water meter. Existing utility easements are maintained or relocated as required. Bus pad will be relocated and restored to its current size and configuration including all appurtenances, i.e. bench, trash bin, bike rack and signage.

[See Exhibit B recorded plat and Alta Survey for existing easements.]

[See Exhibit F for Preliminary Utilities Plan]

Staff Response: For the transfer of the property from the County to the Los Alamos Schools Credit Union, a recorded plat and Alta Survey have been provided (Exhibit B of the application). Any changes due to the site planning or building permit processes will require updating the plat.

(e) *The site plan shall include a conceptual landscape plan that will enhance the site and immediate vicinity and provide adequate screening and buffering, if appropriate, between properties. The final landscape plan shall conform to the requirements set forth in sections 16-574 and 16-575.*

Applicant Response: The proposed landscape plan is characterized by xeriscape design with a variety of native drought-resistant species. Xeriscape is the process of landscaping that reduces or eliminates the need for supplemental water from irrigation. Irrigation will be limited but sufficient to ensure the resiliency of the xeriscape design. The proposed landscape plan emphasizes native plants and water conservation practices while the variety of species addresses blight/disease concerns. Buffer areas for parking lot facilities take into account compatibility with adjacent properties, while existing desirable trees and shrubs are preserved wherever possible. Paved surface runoff is directed towards attractively landscaped retention ponds located throughout the site. Rooftop runoff will be connected

via hard-lined piping to existing storm water drain connection on the Western border of the property. Over 45% of the property is landscaped.

Staff Response: The applicant has submitted a landscape plan in accordance with site plan requirements in Sec. 16-575, with over 45% total landscape area provided, exceeding the 5% required by Code. Many existing trees have been preserved when possible. Landscape plans may be subject to minor technical corrections prior to building permit.

(f) *Parking lots, outside storage areas, outside mechanical equipment and outdoor lighting shall be designed to serve the intended use of the development while minimizing adverse impacts adjacent properties or public right-of-way.*

Applicant Response: Proposed parking exceeds off-street parking requirements. Appropriate parking lot shielding (3' minimum height and 50% or more opacity) will be provided. Proposed outdoor lighting will be selected and designed with the goals of the New Mexico Dark Sky Protection Act: Lighting levels will be no higher than recommended by the Illuminating Engineering Society of North America (IESNA). Wall mounted outdoor fixtures will be installed at egress doors only as required by safety codes and will be fully shielded. Rooftop mechanical equipment will be screened via parapet walls. There is no proposed outdoor storage. All public rights-of-way and adjacent properties have been considered to minimize any adverse impacts.

Staff Response: The proposed parking lot is in conformance to lighting standards and additional outdoor lighting shall be in accordance with Sec. 16-276.

(g) *The capacity of those public services and facilities required to serve the proposed development (including but not limited to water, sanitary sewer, electricity, gas, storm sewer, streets, etc.) shall conform with, or if improvements are required, shall be made to conform with the requirements of the county's construction standards.*

Applicant Response: The proposed site utility and grading and drainage plans have been developed to conform with existing public services and facilities. The Civil engineer and County engineer shall work together with utility providers to develop any improvements which may be required. All work will conform with the requirements of the county's construction standards guidelines. All existing utilities will be maintained or relocated to the requirements of the county's construction standards.

Staff Response: Detailed drawings of water, sanitary sewer, electrical, gas, storm sewer will demonstrate conformance prior to submittal of building permits should the Planning & Zoning Commission approve the site plan. A comment by the Interdepartmental Review Committee (IDRC) has been met in order to meet these criteria:

- Comment #6 Per Department of Public Utilities: The utility plan does not show the electric service. This needs to be added to the utility plan. See attached comments from prior submittal regarding electric service connection.

(h) *Structures, site grading, and all other aspects of the development shall meet all applicable design standards or guidelines, as may be adopted and made a part of this code, and shall preserve, to the extent practical, outstanding topographical features and natural amenities on the site.*

Applicant Response: The proposed site plan preserves the outstanding topographical features and natural amenities of the site. The site slopes to the Northeast where retention ponds and landscaped outdoor areas are proposed and maintained. All existing desirable plantings will be maintained where possible. 45% of the site is landscaped with drought tolerant species, and various tones and sizes of crushed aggregate. Natural pathways across the site are reinforced and enhanced.

The structure conforms to the design standards found in Sec. 16-582. - Downtown district and mixed-use architectural standards. Los Alamos County Code of Ordinances. The design promotes visual quality, mutual compatibility, and identifiable imagery of downtown and mixed use building through the application of appropriate architectural design standards.

(e) Exterior building materials: Exterior walls of buildings shall consist of a mixture of two or more predominant exterior building materials from the list of allowable predominant building materials.

Bldg Complies: two tones of stucco are used. The first predominant material is a terracotta red and the second is a sandy tan. These two materials provide visual interest and make up 60% or more of the building's exterior wall area.

A variety of other exterior, non-predominant wall materials including window glass, metal panels, and decorative concrete block may be utilized constituting the remaining 40 percent or less of exterior walls.

Bldg Complies: Storefront makes up only 28% of total bldg perimeter,

(f) Exterior building wall colors consist of at least a three-color scheme.

Bldg Complies: Two predominant colors of stucco with galvanized metal trim, wood timber elements and glass characterize the exterior wall materials.

(g) Roof forms, materials, and colors: shall have a variety of shapes and roofs sloping towards public view shall be shingles, architectural metal panels or tiles. Roofs with parapets are allowed to have rubber or asphalt or tar and gravel roof systems. Highly reflective roof surfaces are discouraged.

Bldg Complies: Building has a variety of roof shapes both flat and sloped. Sloped roofs visible to public view shall be sheathed with architectural metal panels of non-reflective nature. Rubber roofing is used only in locations where it is completely shielded by parapet walls.

(h) Requirement for complex architectural massing

Bldg Complies: The building has a variety of parapet heights, varying building wall setbacks and balconies, a variety of roof forms, and an irregular building footprint.

(i) Requirement for four-sided design

Bldg Complies: All sides of the building employ architectural features such as windows, a variety of colors, patterns, and complex massing in order to achieve visual interest especially at the pedestrian level. No flat or blank walls exist.

(j) Screening of roof-top mechanical equipment

Bldg Complies: roof-top mechanical equipment is screened by parapet walls.

(k) Architectural styles. A variety of architectural styles and design themes are permitted, but to the maximum extent practicable, the design of new buildings in the downtown and mixed use districts should reflect or interpret design themes of existing key downtown Los Alamos buildings as illustrated in figure 16-582-1.

Figure 16-582-1 the Bradbury Science Museum and County Building which are significant buildings adjacent to the property. [Refer to Exhibit H]

Bldg Complies: The proposed design utilizes similar stucco colors, storefront, and a colonnade on the South façade to adjacent buildings.

Staff Response: All site grading is subject to approval by the County Building Safety Division. For the site, all ADA Accessible parking is subject to the State of New Mexico guidelines, as administered by the LAC Chief Building Official. The downtown district and mixed-use architectural standards set forth in Sec. 16-582 have been met as illustrated in the architectural elevation drawings, Exhibit C in the site plan application.

(i) *Provisions shall be made to serve the development with tot lots and/or neighborhood parks in accordance with the adopted comprehensive plan. A fee may be paid as approved by county council to accomplish the purpose of the comprehensive plan in lieu of the development of tot lots or neighborhood parks.*

Applicant Response: The outdoor spaces will be accessible to the public and attractively designed, but not formally named a park. This provides continuity with the site's previous use, while maintaining a level of private control over the use of the site.

Staff Response: The proposed landscape plan includes pedestrian public access to landscaped areas with landscaped stormwater retention ponds and native vegetation plantings. These elements satisfy the requirements for this criterion.

STAFF RECOMMENDATION

Staff has applied the applicable review criteria for a Site Plan and recommends approval for the construction of a credit union located at 1010 Central Avenue.

FINDINGS OF FACT

- The Site Plan application is a request for construction of a financial institution building totaling approximately 3,650 GSF, located at 1010 Central Avenue. The property is zoned Downtown district-Town center overlay zone (DT-TCO).

- The Site Plan review criteria, Section 16-152A, has been applied and was met.
- Notice of this public hearing, setting forth the nature of the request, the specific parcel of property affected, and the date, time and place of the public hearing, was announced and published in The Los Alamos Daily Post, the official newspaper of record; and property owners of real property located within 100 yards of the subject property were notified of this public hearing by U.S. mail, all in accordance with the requirements of §16-192 of the Los Alamos County Development Code.

EXHIBITS

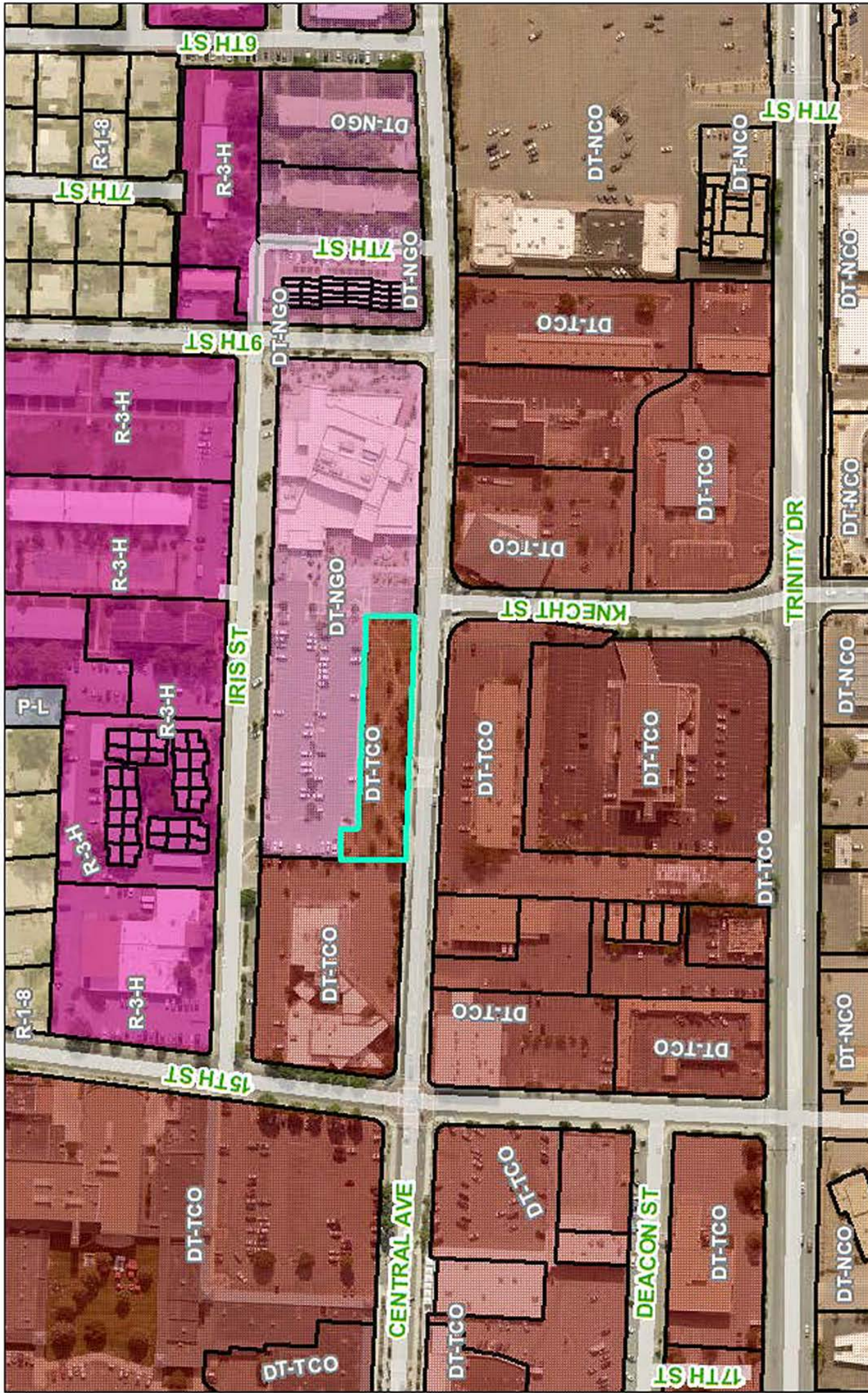
Exhibit 1: Vicinity Map

Exhibit 2: Application Submittal- Site Plans

Exhibit 3: Notification Map– 100 yards (300') from site location

Exhibit 4: IDRC Conditions and Comments

ZONING VICINITY MAP



1010 CENTRAL AVE | SIT-2020-0046

- SUBJECT SITE
- PARCELS



Mapping information is for reference only. Users are solely responsible to confirm data accuracy. Los Alamos County assumes no liability for errors associated with the data.

**Los Alamos County
Community Development Department**

SITE PLAN REVIEW APPLICATION

PROJECT NAME:	LOS ALAMOS SCHOOLS CREDIT UNION
APPLICANT'S NAME:	LOS ALAMOS SCHOOLS CREDIT UNION
PROPERTY LOCATION:	1010 CENTRAL AVE. LOS ALAMOS, NM 87544

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LOS ALAMOS
Community Development

SITE PLAN APPLICATION

Los Alamos County Community Development Department
1000 Central Ave, Suite 150, Los Alamos NM 87544
(505) 662-8120

Address and Use of Property to which the application applies:

1010 Central Avenue

Current Use: ☒ Vacant Other: _____

Zoning District: DT-TCO Acreage: .635 Lot Coverage: 0 Related Applications (if any): _____

APPLICANT (Unless otherwise specified, all communication regarding this application shall be to Applicant):

Name: Douglas Patterson Phone: 575-751-9481 Cell #: _____
Please Print

Company Name: Living Designs Group Architects

Address: 122a Dona Luz St. Taos, NM 87571 Email: dpatterson@ldg-arch.com


SIGNATURE

04/27/2020

DATE

PROPERTY OWNER

☐ Check here if same as above

Name: Los Alamos Schools Credit Union Phone: (505) 662-3421 Cell #: _____
Please Print

Address: 1900 Diamond Dr. Email: admin@lascu.org
Owner's Address

My signature below indicates that I authorize the Applicant to make this Amendment application on my behalf.


SIGNATURE

5/21/2020

DATE

Pre-Application Meeting Date(s):

IDRC Date:

4/17/2020

5/28/20

THIS SECTION TO BE COMPLETED BY THE COMMUNITY DEVELOPMENT DEPARTMENT

Date of Submittal: _____

Staff Initial: _____

CDD Application Number: _____

Fees Paid: _____

SITE PLAN REVIEW CRITERIA

The Los Alamos County Code of Ordinances, Chapter 16, Development Code, Sec. 16-152A establishes the following criteria for recommendation by IDRC, or for determination by the CDD Director or P&Z, of approval, conditional approval or denial of the application. Please review each of the criteria listed and provide short comments on how your application meets the criteria in the space provided. (Attach additional sheets if needed.)

- (a) *The site plan shall substantially conform to the comprehensive plan and shall not be materially detrimental to the health, safety and general welfare of the county.*

See attached additional sheets at end of site plan application

- (b) *Ingress, egress, traffic circulation and parking on the site shall be accomplished with safety for motorists, bicyclists and pedestrians. Provisions shall be made for the safe ingress, egress and circulation of vehicles, bicyclists and pedestrians.*

- (c) *The necessary provisions shall be made for controlling stormwater drainage on-site and off-site as required by the county engineer in accordance with the county's storm drainage construction standards or such other ordinances or storm water management plans as may exist.*

- (d) *The necessary easements shall be provided for both existing and proposed utilities, on-site and off-site. No existing easement shall be terminated without provision of alternate service, and all new services shall be provided.*

- (e) The site plan shall include a conceptual landscape plan that will enhance the site and immediate vicinity and provide adequate screening and buffering, if appropriate, between properties. The final landscape plan shall conform to the requirements set forth in sections [16-574](#) and [16-575](#).*
- (f) Parking lots, outside storage areas, outside mechanical equipment and outdoor lighting shall be designed to serve the intended use of the development while minimizing adverse impacts on adjacent properties or public rights-of-way.*
- (g) The capacity of those public services and facilities required to serve the proposed development (including but not limited to water, sanitary sewer, electricity, gas, storm sewer, streets, etc.) shall conform with, or if improvements are required, shall be made to conform with the requirements of the county's construction standards.*
- (h) Structures, site grading, and all other aspects of the development shall meet all applicable design standards or guidelines, as may be adopted and made a part of this code, and shall preserve, to the extent practical, outstanding topographical features and natural amenities on the site.*

- (i) *Provisions shall be made to serve the development with tot lots and/or neighborhood parks in accordance with the adopted comprehensive plan. A fee may be paid as approved by county council to accomplish the purpose of a comprehensive plan in lieu of the development of tot lots or neighborhood parks.*

SUBMITTALS:

Provide all information necessary for a complete review of the Site Plan request. Check each of the boxes to indicate which information you have provided. Provide two hard copies of all plans and also provide one complete copy of all materials on disk:

- ☐ Agent Authorization, if applicable. **SEE EXHIBIT A**
- ☐ Proof of property ownership (Warranty deed, recorded Plat, etc.). **SEE EXHIBIT B**
- ☐ Scaleable copies of Site Plan drawings including: **SEE EXHIBIT C**
 - ☐ Footprint and square footage of all buildings and structures on the site.
 - ☐ Building/structure elevations.
 - ☐ Existing and proposed lot coverage.
 - ☐ All existing and proposed easements.
 - ☐ All existing and proposed setbacks.
 - ☐ Existing and proposed trails.
- ☐ Preliminary Landscape Plan. **SEE EXHIBIT D**
- ☐ Preliminary Grading and Drainage Plan. **SEE EXHIBIT E**
- ☐ Preliminary Utilities Plan. **SEE EXHIBIT F**

Note: Final construction plan set will be required at Building Permit.

Additionally, per Sec. 16-571, at or before the first IDRC meeting, the County Engineer may require the following Impact Studies:

- ☐ Traffic impact analysis (TIA).
- ☐ Stormwater drainage report.
- ☐ Utility capacity analysis.
- ☐ Soils report.
- ☐ Other. Describe: _____

You are advised to meet with the County Engineer early in the planning process to determine which studies will be required.

Please provide any other information that you believe is relevant to or supports this application.

SITE PLAN REVIEW CRITERIA

The Los Alamos County Code of Ordinances, Chapter 16, Development Code, Sec. 16-152A establishes the following criteria for recommendation by IDRC, or for determination by the CDD Director or P&Z, of approval, conditional approval or denial of the application. Please review each of the criteria listed and provide short comments on how your application meets the criteria in the space provided. (Attach additional sheets if needed.)

(a) The site plan shall substantially conform to the comprehensive plan and shall not be materially detrimental to the health, safety and general welfare of the county.

The Los Alamos Schools Credit Union site plan is a proposal for new development in the DT-TCO (Downtown district: Town Center overlay zone). The proposed site plan simplifies the development review process through the use of an overlay zone. The proposed site plan is designed to be uniform in quality with the downtown district design quality and promote the vision of a downtown Los Alamos which is lively, economically vital, pedestrian friendly, and convenient mixed-use traditional town center with attractive buildings. The proposed site plan conforms to the goals of the DT-TCO overlay zone by providing a new variety of commercial enterprise on a challenging site in a high density area. The site plan protects property values, supports and furthers community values and goals for encouraging economic development and services for citizens of Los Alamos County. The design promotes visual quality, mutual compatibility, and identifiable imagery of downtown buildings through the application of appropriate architectural design standards. [EXHIBIT H utilizing similar stucco colors, storefront, and a colonnade on the South façade to the adjacent Bradbury Science Museum and County Building. Design standards compatibility discussed in more detail in **review criteria (H)**] The proposed site plan conforms to the comprehensive plan by providing more diversity of commercial options within the downtown district, while helping to eliminate downtown blight by encouraging infill development and promoting higher density commercial development. Through innovative site planning and design standards the LASCUC development enhances environmental quality and sustainability while preserving and enhancing environmentally sensitive areas. Compatibility of land uses is ensured through open communication with neighboring property owners, and enhanced connectivity of existing sidewalks and pathways adjacent to and across the site.

Through open communication with Los Alamos County departments, the Los Alamos Schools Credit Union site plan has been developed to be sensitive to a number of factors including the health, safety and general welfare of the county. The proposed site plan promotes:

- A. Maximum And Safe Walk-Ability:** The existing crosswalk at Central Ave. is maintained and reinforced by aligning it with the new entrance to the building. Existing pathways are maintained and enhanced by aligning them with parking circulation. Additional connectivity is achieved on West and East ends of site through the addition of new curvilinear pathways which connect existing sidewalks and pathways. These pathways also provide safe and clear circulation for accessible parking, along with aesthetic appeal.

- B. Safe and Effective Traffic Flow:** The Eastern entrance is characterized as a one-way ingress. It is reduced to 20' width in order to provide a safe crosswalk environment and clear one-way teller access along with staff parking access. Clear and visible signage and striping are provided. East entrance parking is designed to prevent vehicles from backing into crosswalk for pedestrian, bicycle and motorist safety. Existing pathways and sidewalks are utilized to provide clear accessible pathways from parking to building.

The Western two-way ingress/egress access point has ample and visible signage, striping and turning radii. This entrance provides access for customer parking along with clear accessible pathways from parking to building which reinforce and enhance existing/proposed pathways and crosswalks. The Western access also provides motorist egress for the entire site. A single point of egress creates a safer environment for pedestrians, bicyclist and motorists. Clear lines of site, fire department access and bus stop requirements are accommodated in this design.

- C. Public Transportation Accessibility and Continuity:** The bus stop has been relocated to the Western boundary of the site and is restored to its current size and configuration including all appurtenances, i.e. bench, trash bin, bike rack and signage.
- D. Maximum Accessibility for Fire Department and utility providers:** Entrance geometry and hydrant relocations address suggestions from the Fire department. All appropriate easements and services are maintained or relocated to provide ample access.

(b) Ingress, egress, traffic circulation and parking on the site shall be accomplished with safety for motorists, bicyclists and pedestrians. Provisions shall be made for the safe ingress, egress and circulation of vehicles, bicyclists and pedestrians.

The proposed site plan is developed to promote safety for motorists, bicyclists and pedestrians while working within the confines of a long and narrow site that has limited access. This is achieved by limiting width of entrances, creating clear and directional traffic flow, and providing clear paths from parking to building with ample signage and striping. The proposed site plan maximizes the functionality and aesthetic appeal of the site, while reinforcing and enhancing existing site circulation. Various site studies were generated before developing the proposed site plan, and access permissions were pursued and denied from neighboring properties. (EXHIBIT G). The proposed site plan reinforces existing crosswalks across Central Ave., and addresses the needs of public transportation through the relocation of an existing bus pad.

The development of the site is constrained by its long and narrow property boundaries. The proposed site plan accomplishes 5 items the other site plans did not address as successfully.

#1 The positioning of the proposed Credit Union's building footprint aligns the primary entrance with the existing Central Ave Southern access crosswalk.

#2 We determined it was not appropriate to enter or exit the site via the parking lot to the north as site access would need to be permitted and the risk of collisions would be greater with reversing parked vehicles.

#3 We determined that entering or exiting the site via 10th St was not desirable as it would require the partial demolition of an existing landscaped buffer and the demolition of an existing pedestrian walking path, along with added potential for collisions at the intersection with Central. Our proposed site plan solution places the vehicular ingress and egress driveways immediately adjacent to the building's footprint so that there isn't a long ingress lane cutting across the site from 10th St to get to the banks drive thru window and designated parking area.

#4 Central Ave is a major thoroughfare which makes it an intuitive point of vehicle ingress and egress. Motorists will have greater visibility and forewarning to site access from Central Ave than from 10th St.

#5 The proposed site plan is more efficient than the previously generated schemes in that there is less overall pavement on the site. As a result, there is more area for landscaping, which is better for storm water management and reducing urban heat island effect, as well as being more aesthetically pleasing to the inhabitants of the city.

Traffic study results performed by owner:

This study was created from annual transaction averages of monthly volume of walk-in visitors. The study was generated from core computer system, which provides a high level of accuracy per daily volume. Additionally the staff was surveyed for their observational numbers of visitors. Staff numbers were very consistent. These numbers are based on current volume. Growth of 10-20% to be expected. Maximum stacking is illustrated on proposed site plan.

Sample time period: 1 year

Credit Unions business hours: 9am-5pm

Daily average office traffic from the month of February before the pandemic affected business.

Average AM Traffic (8a-11a)-	10
Average Noon Traffic (11a-2p)-	15
Average PM Traffic (2p-5p)-	14
Total Daily Traffic-	39

(c) The necessary provisions shall be made for controlling storm water

drainage on-site and off-site as required by the county engineer in accordance with the county's storm drainage construction standards or such other ordinances or storm water management plans as may exist.

Storm water drainage shall be coordinated with county engineer and be in accordance with the County's Public Works Design & Construction Standards. On-site drainage will be directed to aesthetically pleasing on-site drainage ponds. Ponds are sized for the increase of runoff for the additional impervious area. Drainage structures will be design as required by the County's Public Works Design & Construction Standards. See Exhibit E Grading and drainage plan.

(d) The necessary easements shall be provided for both existing and proposed utilities, on-site and off-site. No existing easement shall be terminated without provision of alternate service, and all new services shall be provided.

Proposed utility easements are provided around the relocated fire hydrant and new water meter. Existing utility easements are maintained or relocated as required. Bus pad will be relocated and restored to its current size and configuration including all appurtenances, i.e. bench, trash bin, bike rack and signage.

[See **Exhibit B** recorded plat and Alta Survey for existing easements.]

[See **Exhibit F** for Preliminary Utilities Plan]

(e) The site plan shall include a conceptual landscape plan that will enhance the site and immediate vicinity and provide adequate screening and buffering, if appropriate, between properties. The final landscape plan shall conform to the requirements set forth in sections 16-574 and 16-575.

The proposed landscape plan is characterized by xeriscape design with a variety of native drought-resistant species. Xeriscape is the process of landscaping that reduces or eliminates the need for supplemental water from irrigation. Irrigation will be limited but sufficient to ensure the resiliency of the xeriscape design. The proposed landscape plan emphasizes native plants and water conservation practices while the variety of species addresses blight/disease concerns. Buffer areas for parking lot facilities take into account compatibility with adjacent properties, while existing desirable trees and shrubs are preserved wherever possible. Paved surface runoff is directed towards attractively landscaped retention ponds located throughout the site. Rooftop

runoff will be connected via hard-lined piping to existing storm water drain connection on the Western border of the property. Over 45% of the property is landscaped.

(f) Parking lots, outside storage areas, outside mechanical equipment and outdoor lighting shall be designed to serve the intended use of the development while minimizing adverse impacts on adjacent properties or public rights-of-way.

Proposed parking exceeds off-street parking requirements. Appropriate parking lot shielding (3' minimum height and 50% or more opacity) will be provided. Proposed outdoor lighting will be selected and designed with the goals of the New Mexico Dark Sky Protection Act: Lighting levels will be no higher than recommended by the Illuminating Engineering Society of North America (IESNA). Wall mounted outdoor fixtures will be installed at egress doors only as required by safety codes and will be fully shielded. Rooftop mechanical equipment will be screened via parapet walls. There is no proposed outdoor storage. All public rights-of-way and adjacent properties have been considered to minimize any adverse impacts.

(g) The capacity of those public services and facilities required to serve the proposed development (including but not limited to water, sanitary sewer, electricity, gas, storm sewer, streets, etc.) shall conform with, or if improvements are required, shall be made to conform with the requirements of the county's construction standards.

The proposed site utility and grading and drainage plans have been developed to conform with existing public services and facilities. The Civil engineer and County engineer shall work together with utility providers to develop any improvements which may be required. All work will conform with the requirements of the county's construction standards guidelines. All existing utilities will be maintained or relocated to the requirements of the county's construction standards.

(h) Structures, site grading, and all other aspects of the development shall meet all applicable design standards or guidelines, as may be adopted and made a part of this code, and shall preserve, to the extent practical, outstanding topographical features and natural amenities on the site.

The proposed site plan preserves the outstanding topographical features and natural amenities of the site. The site slopes to the Northeast where retention ponds and landscaped outdoor areas are proposed and maintained. All existing desirable plantings will be maintained where possible. 45% of the site is landscaped with drought tolerant species, and various tones and sizes of crushed aggregate. Natural pathways across the site are reinforced and enhanced.

The structure conforms to the design standards found in Sec. 16-582. - Downtown district and mixed-use architectural standards. Los Alamos County Code of Ordinances. The design promotes visual quality, mutual compatibility, and identifiable imagery of downtown and mixed-use building through the application of appropriate architectural design standards.

(e) Exterior building materials: Exterior walls of buildings shall consist of a mixture of two or more predominant exterior building materials from the list of allowable predominant building materials.

Bldg Complies: two tones of stucco are used. The first predominant material is a terracotta red and the second is a sandy tan. These two materials provide visual interest and make up 60% or more of the building's exterior wall area.

A variety of other exterior, non-predominant wall materials including window glass, metal panels, and decorative concrete block may be utilized constituting the remaining 40 percent or less of exterior walls.

Bldg Complies: Storefront makes up only 28% of total bldg perimeter,

(f) Exterior building wall colors consist of at least a three-color scheme.

Bldg Complies: Two predominant colors of stucco with galvanized metal trim, wood timber elements and glass characterize the exterior wall materials.

(g) Roof forms, materials, and colors: shall have a variety of shapes and roofs sloping towards public view shall be shingles, architectural metal panels or tiles. Roofs with parapets are allowed to have rubber or asphalt or tar and gravel roof systems. Highly reflective roof surfaces are discouraged.

Bldg Complies: Building has a variety of roof shapes both flat and sloped. Sloped roofs visible to public view shall be sheathed with architectural metal panels of non-reflective nature. Rubber roofing is used only in locations where it is completely shielded by parapet walls.

(h) Requirement for complex architectural massing

Bldg Complies: The building has a variety of parapet heights, varying building wall setbacks and balconies, a variety of roof forms, and an irregular building footprint.

(i) Requirement for four-sided design

Bldg Complies: All sides of the building employ architectural features such as windows, a variety of colors, patterns, and complex massing in order to achieve visual interest especially at the pedestrian level. No flat or blank walls exist.

(j) Screening of roof-top mechanical equipment

Bldg Complies: roof-top mechanical equipment is screened by parapet walls.

(k) Architectural styles. A variety of architectural styles and design themes are permitted, but to the maximum extent practicable, the design of new buildings in the downtown and mixed-use districts should reflect or interpret design themes of existing key downtown Los Alamos buildings as illustrated in figure 16-582-1.

Figure 16-582-1 the Bradbury Science Museum and County Building which are significant buildings adjacent to the property. [Refer to Exhibit H]

Bldg Complies: The proposed design utilizes similar stucco colors, storefront, and a colonnade on the South façade to adjacent buildings.

(i) Provisions shall be made to serve the development with tot lots and/or neighborhood parks in accordance with the adopted comprehensive plan. A fee may be paid as approved by county council to accomplish the purpose of a comprehensive plan in lieu of the development of tot lots or neighborhood parks.

The outdoor spaces will be accessible to the public and attractively designed, but not formally named a park. This provides continuity with the site's previous use, while maintaining a level of private control over the use of the site.

EXHIBIT “A”

AFFADAVIT OF REPRESENTATION

STATE OF NEW MEXICO

COUNTY OF LOS ALAMOS

RE: Site Plan Review,

I the undersigned, being duly sworn upon oath, depose and state that Architect, Douglas J Patterson, is allowed to pursue a Site Plan Review on my behalf.

Matt Schmidt

By: CEO/President Los Alamos Schools Credit Union Matt Schmidt

5/1/2020
Date

NOTARY PUBLIC: Bethany L Hayward

My Commission Expires: 4-25-2024

[SEAL]

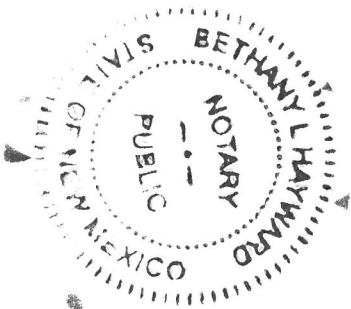


EXHIBIT “B”

QUITCLAIM DEED

Incorporated County of Los Alamos, an Incorporated County of the State of New Mexico, for consideration paid, grant to Los Alamos Schools Credit Union, a New Mexico corporation, whose address is P.O. Box 887, Los Alamos, NM 87544, the following described real estate in Los Alamos County, New Mexico:

Lot Two (2), as shown on ALTA/NSPS Land Title Survey for Los Alamos Schools Credit Union of Lot 2, Amended "Lot Line Adjustment between Lot 1 & Lot 2" of the Los Alamos County Municipal Building Site within Eastern Area No. 2 Los Alamos New Mexico May 2020, recorded on June 1, 2020, in Book 189, page 263, records of Los Alamos County, New Mexico.

WITNESS my hand and seal this 5th day of June, 2020.

Incorporated County of Los Alamos, an Incorporated County of the State of New Mexico

By:

Harry Burgess, County Manager

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF LOS ALAMOS

This instrument was acknowledged before me on June 5, 2020 by Harry Burgess, County Manager of Incorporated County of Los Alamos, an Incorporated County of the State of New Mexico, on behalf of said County.



OFFICIAL SEAL
Kristopher Alvarado
NOTARY PUBLIC - State of New Mexico
My Commission Expires 10/25/2021

[Signature]

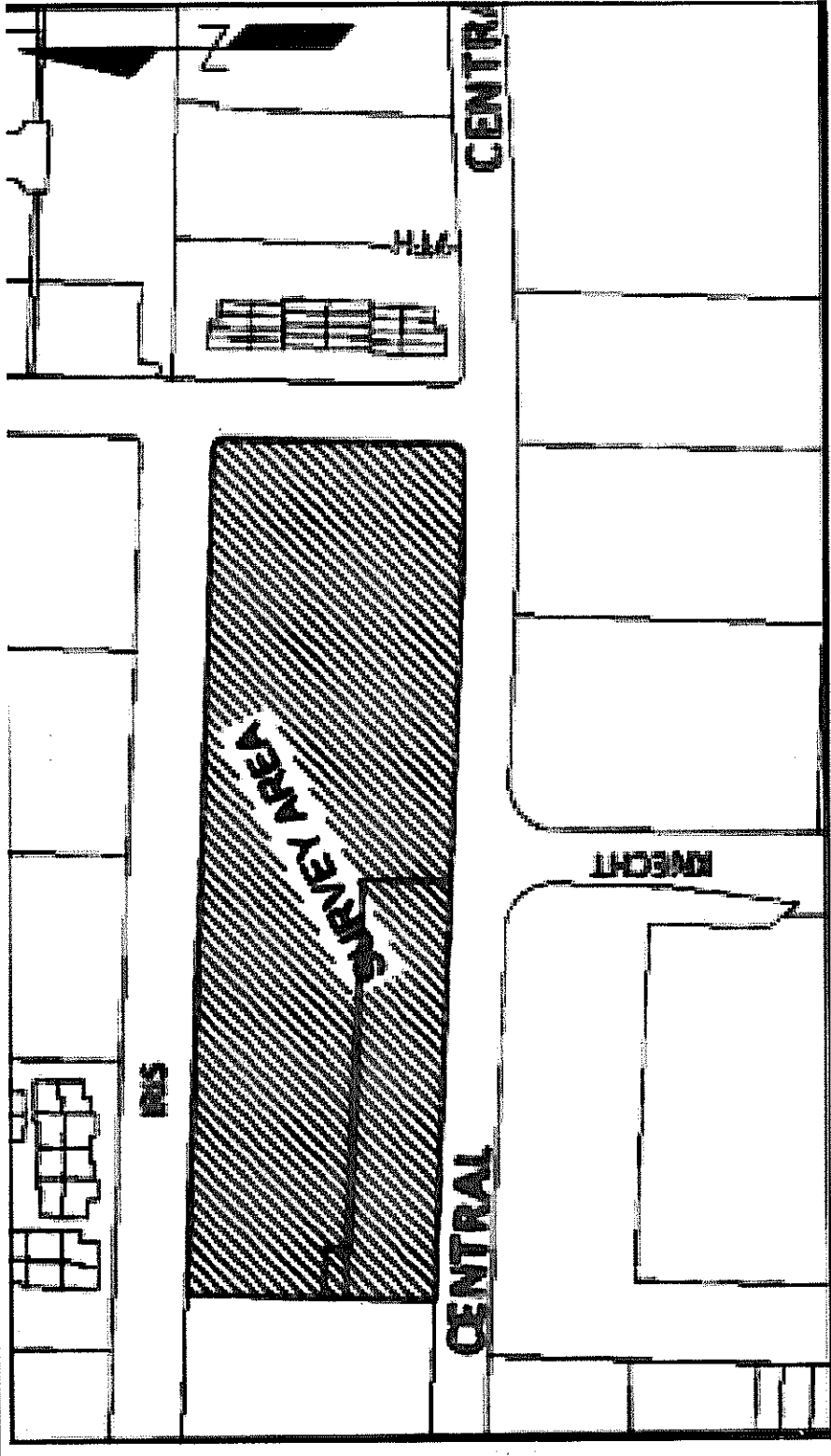
Notary Public

My Commission Expires: 10/25/2021



243482 06/08/2020 04:09 PM
Book: 189 Page: 367 Naomi D Maestas - County Clerk
Los Alamos County, NM Anna Sanchez - Deputy
DEED Page(s): 1





REFERENCE DOCUMENTS

- PLAT ENTITLED, "LOT 1 & 2" A SUBDIVISION OF THE LOS ALAMOS COUNTY MUNICIPAL BUILDING SITE, EASTERN AREA NO. 2, LOS ALAMOS, NEW MEXICO, OCTOBER, 2011, FILED FOR RECORD AS INSTRUMENT# 126324; BOOK 6, PAGE 371 ON OCTOBER 20, 2011 IN THE LOS ALAMOS COUNTY CLERK'S OFFICE.
- PLAT ENTITLED, "BOUNDARY SURVEY PLAT FOR THE INCORPORATED COUNTY OF LOS ALAMOS OF LOT 14201, CONSOLIDATION OF LOTS 142A & 142D, EASTERN AREA NO. 2, LOS ALAMOS, NEW MEXICO, DECEMBER 2008," FILED FOR RECORD AS INSTRUMENT# 199106; BOOK 144, PAGE 991 ON DECEMBER 12, 2008 IN THE LOS ALAMOS COUNTY CLERK'S OFFICE.
- PLAT ENTITLED, "BOUNDARY SURVEY PLAT FOR THE INCORPORATED COUNTY OF LOS ALAMOS OF LOT 143A, LOT LINE ADJUSTMENT OF LOTS 142C1 AND 143A, EASTERN AREA NO. 2, LOS ALAMOS, NEW MEXICO, DECEMBER 2008," FILED FOR RECORD AS INSTRUMENT# 199102; BOOK 144, PAGE 992 ON DECEMBER 12, 2008 IN THE LOS ALAMOS COUNTY CLERK'S OFFICE.
- PLAT ENTITLED, "LOT 14201, CONSOLIDATION OF LOTS 142A & 142D, EASTERN AREA NO. 2, WITHIN SECTION 15, TOWNSHIP 19 NORTH, RANGE 6 EAST, N.M.P.M. WITHIN THE LOS ALAMOS COUNTY CLERK'S OFFICE.
- PLAT ENTITLED, "A SURVEY OF LOT 142A, LOT 142B, AND LOT 142C, SUBDIVISION OF LOT 142, EASTERN AREA NO. 2, AND LOT 143, EASTERN AREA NO. 2, LOS ALAMOS, NEW MEXICO, JUNE 1997," FILED FOR RECORD AS INSTRUMENT# 126324; BOOK 6, PAGE 96 ON AUGUST 19, 1997 IN THE LOS ALAMOS COUNTY CLERK'S OFFICE.
- U.S. ATOMIC ENERGY COMMISSION PLAT ENTITLED, "EASTERN AREA NO. 2, COUNTY OF LOS ALAMOS, NEW MEXICO," PREPARED BY LIMBAUGH ENGINEERING & AERIAL SURVEYS, INC., FILED FOR RECORD IN BOOK 1, PAGE 57 ON AUGUST 6, 1965 IN THE LOS ALAMOS COUNTY CLERK'S OFFICE.
- PLAT ENTITLED, "REPEAT OF LOT ONE (SUBDIVISION OF TRACT 1-B) (SUBDIVISION OF TRACT ONE) & TRACT 1-A (SUBDIVISION OF TRACT ONE) & AMENDED TRACTS TWO & THREE ALL BEING A SUBDIVISION OF TRACT OA (KNECHT STREET DEDICATION)," FILED FOR RECORD AS INSTRUMENT# 201298; BOOK 147, PAGE 183 ON MAY 22, 2009 IN THE LOS ALAMOS COUNTY CLERK'S OFFICE.
- SPECIAL WARRANTY DEED, HOUSING AND URBAN DEVELOPMENT TO THE INCORPORATED COUNTY OF LOS ALAMOS, NEW MEXICO, FILED FOR RECORD AS INSTRUMENT# 198935; BOOK 144, PAGE 820 ON NOVEMBER 21, 2008 IN THE LOS ALAMOS COUNTY CLERK'S OFFICE.
- RIGHT OF WAY MAP, BY NEW MEXICO DEPARTMENT OF TRANSPORTATION, PROJECT NUMBER 7728(1), DATED AUGUST 15, 1995. NOT RECORDED LOS ALAMOS COUNTY CLERK'S OFFICE.

SURVEYOR'S NOTES

1. BASIS OF BEARING: N.M.D.O.T. GPS CONTROL SURVEY MAP, "LOS ALAMOS CONTROL," PREPARED BY WILLIAM A. BOWERS, N.M.P.S. 17165 ON OCTOBER 9, 2008 AND FILED FOR RECORD IN THE SURVEY & MAPPING SPECIALTY SECTION OF THE NEW MEXICO DEPARTMENT OF TRANSPORTATION GENERAL OFFICE BUILDING LOCATED AT 1120 CERRILLOS RD., SANTA FE, NEW MEXICO. PHONE# (505) 827-5100.
2. ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES. (U.S. SURVEY FOOT)
3. PROJECT AVERAGE COMBINED GRID FACTOR = 1.000446053.
4. PROPERTY BOUNDARIES AS DEPICTED ON THE PLAT HEREON, WERE ESTABLISHED USING FOUND MONUMENTS AND DOCUMENTS OF RECORD AVAILABLE TO THE SURVEYOR.
5. DATES OF FIELD WORK: AUGUST 2019.
6. EASEMENTS SHOWN HEREON WERE PREVIOUSLY GRANTED. THERE ARE NO PUBLIC EASEMENT GRANTS REQUIRED BY THIS PLAT. THIS PLAT IS SUBJECT TO ALL RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD.

AMENDED

"LOT LINE ADJUSTMENT BETWEEN LOT 1 & LOT 2"
OF THE LOS ALAMOS COUNTY MUNICIPAL BUILDING SITE
WITHIN EASTERN AREA NO. 2 LOS ALAMOS, NEW MEXICO
AMENDED MAY 2020

WITHIN SECTION 15, TOWNSHIP 19 NORTH, RANGE 6 EAST, N.M.P.M.
COUNTY OF LOS ALAMOS, NEW MEXICO

AMENDMENT CERTIFICATE

THIS PLAT IS BEING AMENDED TO CORRECT A TIE FROM THE LOS ALAMOS COUNTY CONTROL POINT TO THE EXTERIOR BOUNDARY CAUSING A GAP WITHIN INTERIOR LOTS. THIS AMENDED PLAT HEREBY AMENDS PLAT RECORDED IN PLAT BOOK 187 PAGE 479 ON 12/16/2019 LOS ALAMOS COUNTY CLERK'S OFFICE, LOS ALAMOS COUNTY, N.M.

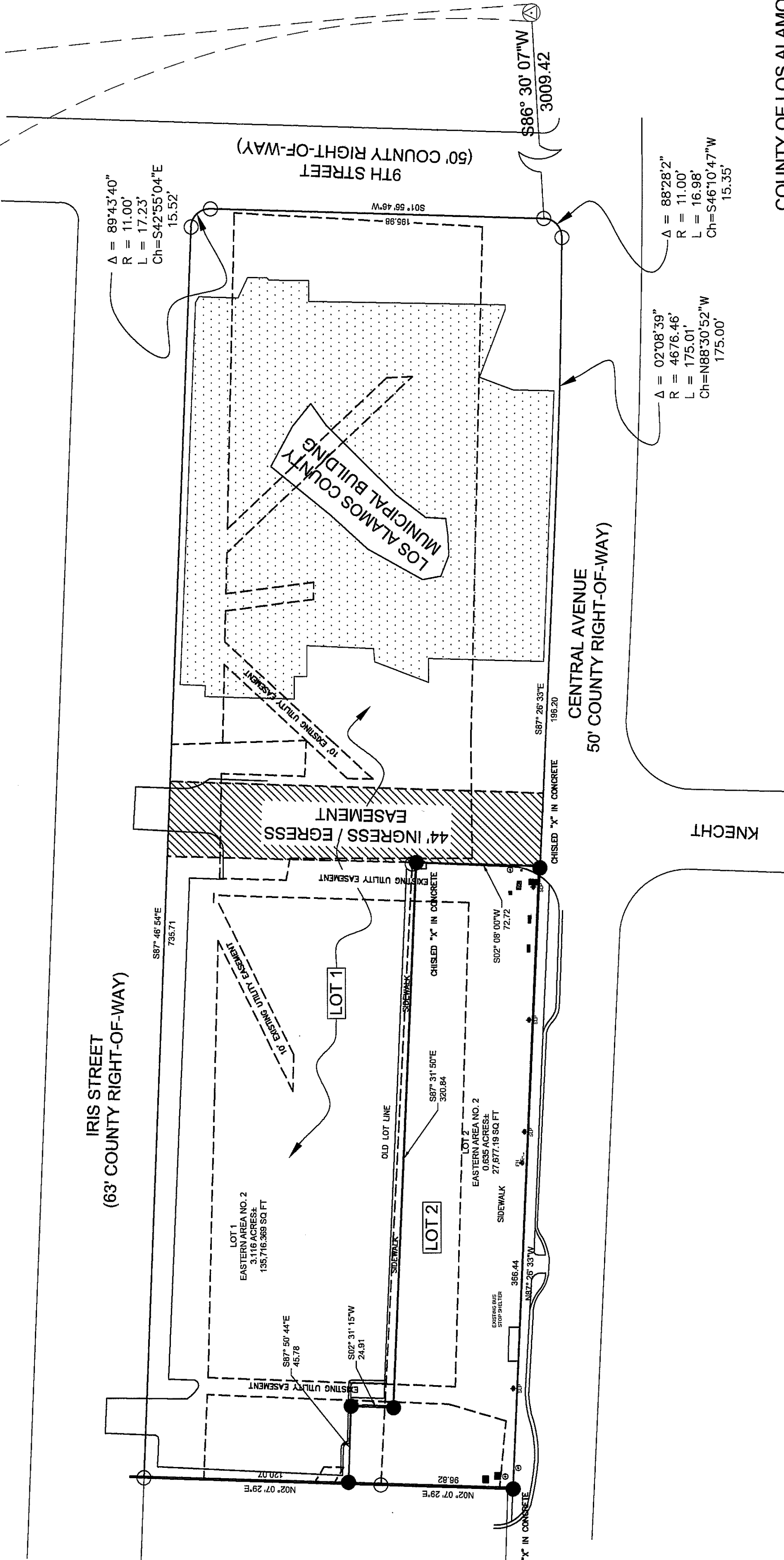
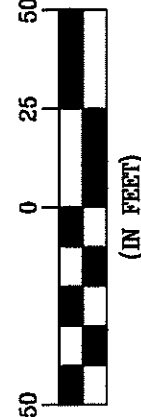
VICINITY MAP NOT TO SCALE

FOUND 3-1/2" ALUM. CAP
IN CONCRETE POST
"LANL A0002"
LOS ALAMOS NATIONAL LABORATORY
PERMANENT MONUMENT RECORD

LEGEND

- FOUND 1/2" REBAR W/ ALUM. CAP STAMPED "LS 13603.
- BATHEY T-BAR W/ ALUM. CAP FOUND.
- ⊗ PK NAIL W/SHINER FOUND.
- SET 1" PLASTIC CAP ON #4 REBAR STAMPED ROMERO NMPS 18375. (UNLESS LISTED ON PLAT)
- PK NAIL W/SHINER SET.
- ⊙ CONTROL POINT AS NOTED ON PLAT.
- ⊙ STREET LIGHT POLE.

LAND SURVEY
CONTROL MONUMENT
NO. A-0002
DATE MAY 5910



LEGAL DESCRIPTION LOT 2
A parcel of land within Eastern Area No. 2, Los Alamos, Los Alamos County, New Mexico, more particularly described as:

Beginning at the point for control monument No. LANL A0002 within the Los Alamos County Control Map,
Thence S86°30'07"W a distance of 3009.42 ft. to the point and place of beginning,
Thence along a curve to the right having a radius of 11,00ft., a length of 16.98 ft., and a chord distance of 15.35 ft., bearing S 46°10'47"W;
Thence along a curve to the left having a radius of 4676.46 ft., a length of 175.01 ft., and a chord distance of 175.00 ft., bearing N 88°30'52"W;
Thence bearing N 02°08'00" E a distance of 72.72 ft.
Thence bearing N 87°31'50" W a distance of 320.84 ft.,
thence bearing N 02°31'15" E a distance of 24.91 ft.,
thence bearing N 87°50'44" W a distance of 45.78 ft.,
thence bearing S 02°07'29" E a distance of 120.07 ft.,
thence bearing S 87°46'54" E a distance of 735.71 ft.,
Thence along a curve to the right having a radius of 11,00ft., a length of 17.23 ft., and a chord distance of 15.52 ft., bearing S 42°55'04"E;
thence bearing S 01°56'46" W a distance of 195.98 ft. to the point of beginning.
Parcel contains 0.635 acres OR 27,676.60 square feet +/-.

LEGAL DESCRIPTION LOT 1
A parcel of land within Eastern Area No. 2, Los Alamos, Los Alamos County, New Mexico, more particularly described as:

Beginning at the point for control monument No. LANL A0002 within the Los Alamos County Control Map,
Thence S86°30'07"W a distance of 3009.42 ft. to the point and place of beginning,
Thence along a curve to the right having a radius of 11,00ft., a length of 16.98 ft., and a chord distance of 15.35 ft., bearing S 46°10'47"W;
Thence along a curve to the left having a radius of 4676.46 ft., a length of 175.01 ft., and a chord distance of 175.00 ft., bearing N 88°30'52"W;
Thence bearing N 02°08'00" E a distance of 72.72 ft.
Thence bearing N 87°31'50" W a distance of 320.84 ft.,
thence bearing N 02°31'15" E a distance of 24.91 ft.,
thence bearing N 87°50'44" W a distance of 45.78 ft.,
thence bearing S 02°07'29" E a distance of 120.07 ft.,
thence bearing S 87°46'54" E a distance of 735.71 ft.,
Thence along a curve to the right having a radius of 11,00ft., a length of 17.23 ft., and a chord distance of 15.52 ft., bearing S 42°55'04"E;
thence bearing S 01°56'46" W a distance of 195.98 ft. to the point of beginning.
Parcel contains 3.116 acres OR 135,716.569 square feet +/-.

COUNTY OF LOS ALAMOS APPROVALS

THIS PLAT IS HEREBY APPROVED THIS 1st DAY OF MAY, 2019 BY THE LOS ALAMOS COUNTY COMMUNITY DEVELOPMENT DIRECTOR IN ACCORDANCE WITH THE SUMMARY PROCEDURE AUTHORIZED BY THE PLANNING AUTHORITY OF LOS ALAMOS COUNTY, NEW MEXICO.

LOS ALAMOS COUNTY COMMUNITY DEVELOPMENT DIRECTOR
5/9/20
DATE

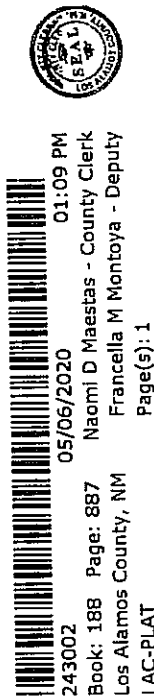
SURVEYORS CERTIFICATE

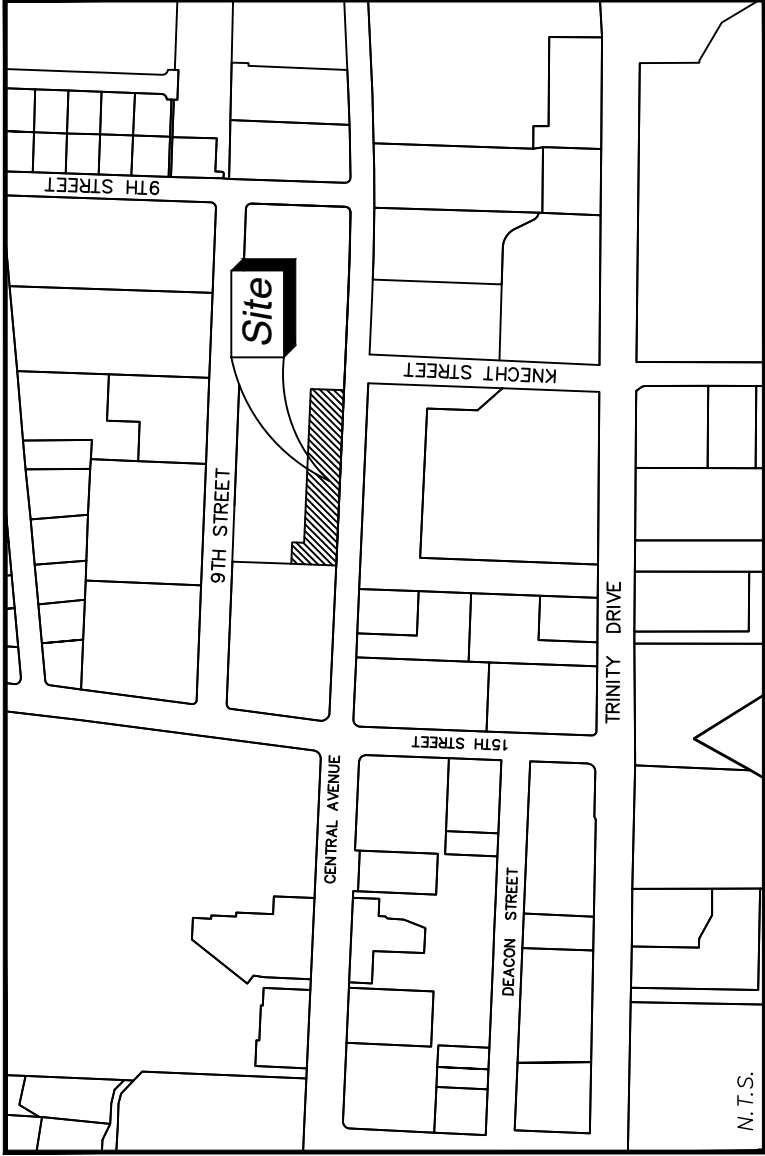
I, JASON A. ROMERO, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL SURVEYOR IN THE STATE OF NEW MEXICO. THE SURVEY HEREON WAS PREPARED BY ME OR UNDER MY SUPERVISION. THE SURVEY HEREON WAS PREPARED FROM DOCUMENTS LISTED UNDER THE HEADING "REFERENCE DOCUMENTS" AND FROM FIELD NOTES OF AN ACTUAL SURVEY MADE UNDER MY SUPERVISION IN JANUARY 2019, AND MEETS THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



5/16/20

JASON A. ROMERO, N.M.P.S. NO. 18375
County of Los Alamos-Public Works Dept., Engineering, Div.
1000 Central Ave., Suite 160
Los Alamos, New Mexico 87544
Ph. (505) 652-8150





LOT TWO (2) AS SHOWN ON THE AMENDED LOT LINE ADJUSTMENT PLAT BETWEEN LOT 1 & LOT 2, OF THE LOS ALAMOS COUNTY MUNICIPAL BUILDING SITE WITHIN EASTERN AREA NO. 2, WITHIN SECTION 15, TOWNSHIP 19 NORTH, RANGE 6 EAST, N.M.P.M., LOS ALAMOS COUNTY, NEW MEXICO, FILED FOR RECORD ON MAY 6, 2020 IN BOOK 188, PAGE 887, RECORDS OF LOS ALAMOS COUNTY, NEW MEXICO.

Legal Description

Notes Corresponding to Schedule B-II

- SEWER AND REFUSE ASSESSMENTS NOT YET DUE AND PAYABLE AND THEREAFTER. AFFECTS SUBJECT PROPERTY, NON-SURVEY MATTER.
- RESERVATIONS AND RESTRICTIONS CONTAINED IN THE SPECIAL WARRANTY DEED FROM THE UNITED STATES OF AMERICA, RECORDED IN MISC. BOOK 10, PAGE 342, RECORDS OF LOS ALAMOS COUNTY, NEW MEXICO. AFFECTS SUBJECT PROPERTY, NON-SURVEY MATTER.
- RESERVATIONS AND RESTRICTIONS CONTAINED IN THE SPECIAL WARRANTY DEED FROM THE UNITED STATES OF AMERICA, RECORDED IN MISC. BOOK 144, PAGE 820, RECORDS OF LOS ALAMOS COUNTY, NEW MEXICO. AFFECTS SUBJECT PROPERTY, NON-SURVEY MATTER.
- INTENTIONALLY OMITTED.
- INTENTIONALLY OMITTED.
- EXISTING EASEMENTS, DECLARATION, GRANT OF PRIVATE DRIVEWAY EASEMENT, AS REFERENCED ON PLAT RECORDED IN BOOK 156, PAGE 371, RECORDS OF LOS ALAMOS COUNTY, NEW MEXICO. AFFECTS SUBJECT PROPERTY, AS SHOWN.
- EXISTING EASEMENTS, AS REFERENCED ON PLAT RECORDED IN BOOK 157, PAGE 838, RECORDS OF LOS ALAMOS COUNTY, NEW MEXICO. DOES NOT DIRECTLY AFFECT SUBJECT PROPERTY, BUT THE NORTHWEST CORNER OF LOT 2 AS DEFINED BY THIS PLAT WAS USED TO LOCATE THE 44' INGRESS EGRESS EASEMENT GRANTED ON PLAT LISTED AS ITEM 14 ABOVE.
- UTILITY EASEMENTS AS REFERENCED ON PLAT RECORDED IN PLAT BOOK 189, PAGE 22, RECORDS OF LOS ALAMOS COUNTY, NEW MEXICO. AFFECTS SUBJECT PROPERTY, AS SHOWN.
- EXISTING UTILITY EASEMENTS, 44' INGRESS/EGRESS EASEMENT, AS REFERENCED ON PLAT RECORDED IN BOOK 188, PAGE 887, RECORDS OF LOS ALAMOS COUNTY. AFFECTS SUBJECT PROPERTY. PLAT DEFINES BOUNDARY OF THIS LOT. EASEMENTS REFERENCED ON THIS PLAT ARE SUPERCEDED BY THE PLAT LISTED AS ITEM 16 ABOVE.

Survey Notes

- FIELD SURVEY COMPLETED ON MAY 7, 2020.
- ALL BEARINGS ARE GRID BEARINGS: N.M. STATE PLANE COORDINATES, CENTRAL ZONE-NAD 1983.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 15, TOWNSHIP 19 NORTH, RANGE 6 EAST, NEW MEXICO PRINCIPAL MERIDIAN, LOS ALAMOS COUNTY, NEW MEXICO.
- ZONING: DT--TCO.
- SQUARE FOOTAGE DATA: 27,648 SQUARE FEET ± OR 0.6347 ACRES±
- TITLE COMMITMENT REFERENCE FILE LA20-0147 PREPARED BY TITLE GUARANTY, LLC ON MARCH 24, 2020 AND AMENDED MAY 21, 2020.
- NOTE: ONLY ABOVE GROUND AND SURFACE EVIDENCE OF UTILITIES WERE LOCATED. UNDERGROUND UTILITIES SHOWN ARE BASED ON INFORMATION PROVIDED BY THE COUNTY OF LOS ALAMOS AND UTILITY LOCATES DONE BY OTHERS AND MY NOT REFLECT WHAT SUB-SURFACE EXCAVATION WOULD REVEAL.
- FOR DOCUMENT AND PLAT REFERENCES SEE ITEMS LISTED UNDER THE HEADING "NOTES CORRESPONDING TO SCHEDULE B-II".
- ACCORDING TO SEC. 16-578 OF THE LOS ALAMOS COUNTY MUNICIPAL CODE THE DEVELOPMENT STANDARDS FOR "ZONING DT--TCO, BOWTOWN TOWN CENTER OVERLAY" ARE AS FOLLOWS: "FRONT SETBACK 0 FEET, 0 FEET REAR SETBACK 0 FEET ON ONE SIDE, 0 FEET ON THE OTHER SIDE, NO MINIMUM FRONTAGE AND NO MAXIMUM LOT COVERAGE."
- BASIS OF BEARINGS FOR THIS PLAT IS BASED ON A CALCULATED BEARING BETWEEN LANL CONTROL MONUMENTS A0002 AND A0006 OF N 88° 50' 52" E.
- BEARINGS AND DISTANCES IN PARENTHESIS REFER TO THE AMENDED PLAT FILED IN BOOK 188, PAGE 887, EXCEPT THOSE NOTED "ALARID, 2012" WHICH REFERS TO THE REPLAT OF LOTS 1 & 2 FILED IN PLAT BOOK 157, PAGE 838.
- DISTANCES IN PARENTHESIS ALONG EASEMENT LINES REFERS TO THE EASEMENT PLAT FILED IN BOOK 189, PAGE 22.

ALTANSPS LAND TITLE SURVEY for Los Alamos Schools Credit Union of Lot 2, Amended Lot Line Adjustment Between Lot 1 & Lot 2, of the Los Alamos Municipal Building Site Eastern Area No. 2, Los Alamos County, New Mexico May, 2020

LOS ALAMOS COUNTY INDEXING BLOCK

Surveyor's Certificate

I, LARRY W. MEDRANO, A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF NEW MEXICO, LICENSE NUMBER 11993, DO HEREBY CERTIFY TO THE LOS ALAMOS SCHOOLS CREDIT UNION AND TITLE GUARANTY, LLC AS FOLLOWS:

THAT THE ALTA/ACSM LAND TITLE SURVEY ON WHICH THIS CERTIFICATE APPEARS (THE SURVEY) IS BASED UPON A FIELD SURVEY CONDUCTED BY ME OR UNDER MY SUPERVISION COMPLETED ON MAY 7, 2020 AND THAT SUCH FIELD SURVEY AND THIS SURVEY WERE MADE IN ACCORDANCE WITH "THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ADOPTED BY ALTA AND ACSM IN 2016, AND INCLUDES ITEMS 1, 2, 3, 4, 7(G), 8, AND 13 OF TABLE A THEREOF. THE UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF NEW MEXICO, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

FOR PURPOSES OF IDENTIFYING EASEMENTS, RESERVATIONS AND PRIVATE RESTRICTIONS OF RECORD, I HAVE REVIEWED, AND RELIED ON TITLE GUARANTY LLC COMMITMENT NUMBER LA20-0147 DATED MARCH 24, 2020 AND AMENDED MAY 21, 2020. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARDS REQUIREMENTS FOR LAND SURVEYS AS ADOPTED BY THE NEW MEXICO BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS.

LARRY W. MEDRANO
N.M.P.S. No. 11993

PRECISION
SURVEYS, INC.

DATE

1362 Trinity Drive, Suite A-2
Los Alamos, NM 87544

505.661.4262 PHONE
505.661.4263 FAX

INDEXING INFORMATION FOR COUNTY CLERK
OWNER: LOS ALAMOS SCHOOLS CREDIT UNION
SECTIONS: 15, T. 19 NORTH, R. 06 EAST, NMPM
SUBDIVISION: EASTERN AREA NO. 2

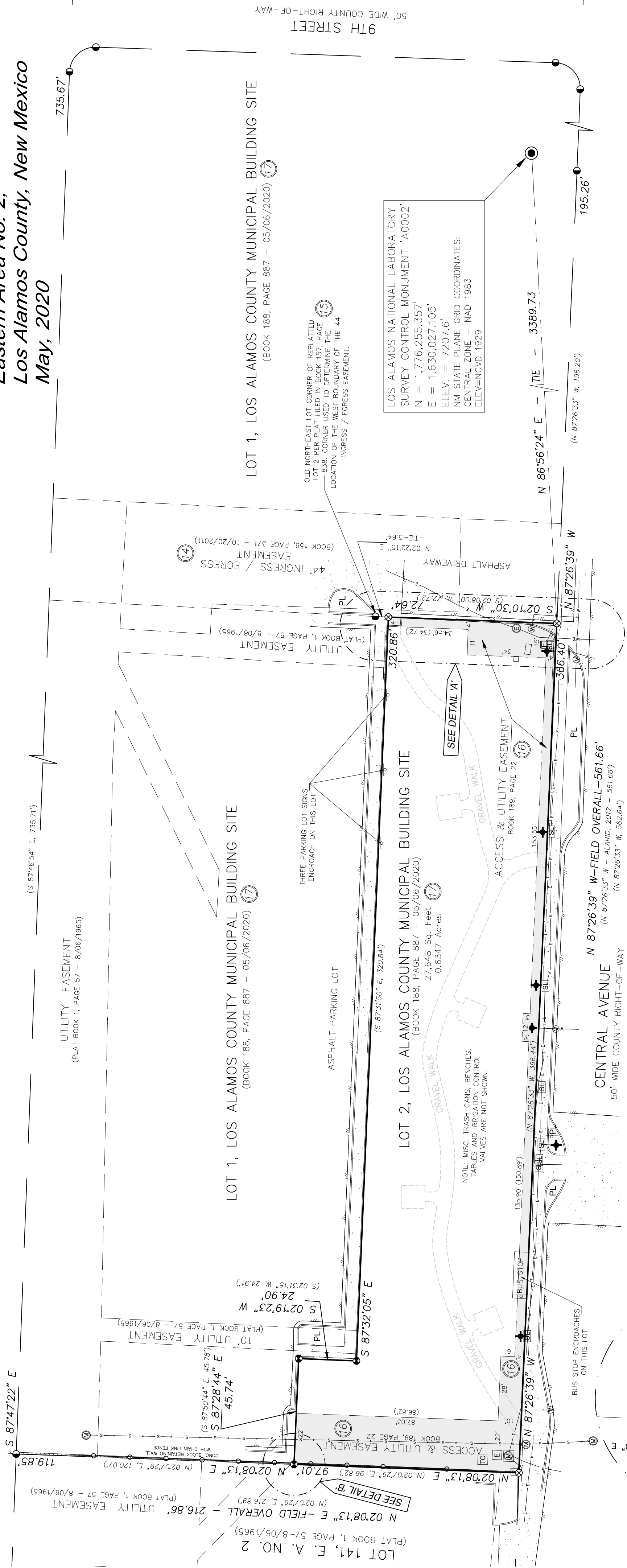
Notes on Boundary Reconciliation

- IT APPEARS THAT THE 2019 LOT LINE ADJUSTMENT PLAT FILED IN BOOK 187, PAGE 479 (HEREINAFTER REFERRED TO AS 2019 PLAT) SHOWS THE ALUMINUM CAP FOUND NEAR THE NORTHEAST CORNER OF LOT 2 TO BE THE CORNER SHOWN ON THE 2011 SUBDIVISION PLAT FILED IN BOOK 156, PAGE 371 (HEREINAFTER REFERRED TO AS 2011 PLAT). MEASUREMENTS TAKEN IN THE FIELD BY THIS SURVEY INDICATE THIS CORNER TO INSTEAD BE THE NORTHEAST CORNER OF THE REPLATTED LOT 2 AS SHOWN ON THE 2012 REPLAT FILED IN BOOK 157, PAGE 838 (HEREINAFTER REFERRED TO AS 2012 REPLAT). NOTE THAT THE 2012 REPLAT IS NOT REFERENCED ON ANY OF THE SURVEYS FROM 2019 OR 2020. THERE IS A DIFFERENCE OF 3.09 FEET BETWEEN THE ORIGINAL AND REPLATTED CORNER LOCATION OF THE NORTHEAST CORNER OF LOT 2 AS SHOWN ON THE 2011 PLAT AND THE 2012 REPLAT WHICH MAY HAVE CAUSED THE RIGHT-OF-WAY LINE TO BE OFF BY OVER 3 FEET ON THE 2019 SURVEY. CURRENT SURVEY MEASUREMENTS INDICATE THAT THE 2019 SURVEY ALSO MISSED THE WESTERN BOUNDARY BY ABOUT 0.9 FEET.
- THE 2020 AMENDED PLAT FILED IN BOOK 188, PAGE 887 (HEREINAFTER REFERRED TO AS 2020 AMENDED PLAT) CORRECTED THE WEST AND NORTH BOUNDARIES OF LOT 2 TO MATCH THE RIGHT-OF-WAY LINE OF CENTRAL AVENUE AND THE EAST BOUNDARY OF LOT 141, EASTERN AREA NO. 2. THIS SURVEY INTRODUCED AN APPARENT NEW ONE FOOT ERROR IN LOT 1. THE DISTANCE GIVEN OF 196.20 FEET ON THE 2020 AMENDED PLAT GOING FROM THE SOUTHEAST CORNER OF LOT 2 EASTWARD ALONG THE RIGHT-OF-WAY LINE OF CENTRAL AVENUE TO THE POINT OF CURVE ON LOT 1 IS NOT CORRECT. IT APPEARS THAT THE NUMBER SHOULD HAVE BEEN 195.20 FEET ON THIS PLAT. OUR FIELD MEASURED DISTANCE IS 195.26 FEET. THE OVERALL FIELD DISTANCE FROM THE SOUTHWEST CORNER OF LOT 2 TO SAID POINT OF CURVE MATCHES THE 2012 REPLAT MEASUREMENTS WITHIN REASON, WHILE THE 2019 PLAT AND THE 2020 AMENDED PLAT SEEM TO IMPLY THAT THE EASTERLY BOUNDARY FOLLOWED THE ORIGINAL BOUNDARY UP TO THE NEW NORTHEAST CORNER, APPARENTLY THAT IS NOT THE CASE. THE BOUNDARY APPEARS TO HAVE SHIFTED APPROXIMATELY ONE FOOT WESTWARD AT THE SOUTHEAST CORNER OF LOT 2. THE BOUNDARY THEN WENT NORTHWARD TOWARDS THE ORIGINAL 2012 NORTHEAST CORNER OF LOT 2 CAUSING AN ANGULAR CHANGE OF APPROXIMATELY 45 MINUTES TO THE BOUNDARY LINE. THIS LEADS TO A PORTION OF THE 44' WIDE INGRESS AND EGRESS EASEMENT ORIGINALLY COMPLETELY ON LOT 1 BEING PARTIALLY ON LOT 2 AS SHOWN ON THIS PLAT.
- THERE ARE NO OWNER ACKNOWLEDGEMENTS ON THE FACE OF THE 2019 PLAT. THE 2020 AMENDED PLAT OR THE 2020 EASEMENT PLAT FILED IN BOOK 189, PAGE 22 (HEREINAFTER REFERRED TO AS 2020 EASEMENT PLAT). IT APPEARS THAT THE 2019 PLAT WAS APPROVED BY ISSUANCE OF INCORPORATED COUNTY OF LOS ALAMOS ORDINANCE NO. 699 WHICH HAS AN UNSIGNED AND UNFILED COPY OF THE 2019 PLAT ATTACHED AS EXHIBIT "A". IT IS UNCLEAR TO ME IF THIS ORDINANCE CONSTITUTES EITHER ACKNOWLEDGEMENT OR CONSENT TO THE SUBSEQUENT 2020 AMENDED PLAT OR THE 2020 EASEMENT PLAT. THERE IS ALSO NO DEDICATORY LANGUAGE ON THE 2020 EASEMENT PLAT DEFINING WHO THE EASEMENTS ARE GRANTED TO OR WHAT IT'S USES ARE, AND WHO HAS MAINTENANCE RESPONSIBILITY.
- EASEMENTS SHOWN AND REFERENCED BELOW ARE BASED ON SAID 2020 EASEMENT PLAT. FROM THE NUMBERS GIVEN IT WAS APPARENT THAT THE EASEMENT WHICH PARALLELS CENTRAL AVENUE WAS SUPPOSED TO BE FOUR FEET IN WIDTH. I HELD TO THIS FOUR FOOT WIDTH AND ADJUSTED THE LENGTHS OF THE EASEMENTS WHERE THEY INTERSECTED THE NORTHERN BOUNDARY TO MATCH THE FIELD BOUNDARY. THIS ALLOWED ME TO HOLD TO ALL OTHER PLATTED DISTANCES ON THE EASEMENTS WITH ONE EXCEPTION. I HELD TO THE 2020 EASEMENT PLAT DISTANCE OF 153.55 FEET ALONG THE FOUR FOOT WIDE EASEMENT FROM THE ANGLE POINT AT THE SOUTHEASTERN CORNER TO WHERE THE EASEMENT WIDENED BY THREE FEET FOR A LENGTH OF TWELVE FEET BEFORE NARROWING AGAIN TO FOUR FEET IN WIDTH. DURING THIS CENTER OF THE EXISTING FIRE HYDRANT IN THIS WIDER PORTION OF THE EASEMENT. AS THE SOLE PURPOSE OF THIS WIDENED AREA WAS TO ENCOMPASS THE EXISTING FIRE HYDRANT AND USING THE 2020 EASEMENT PLAT MEASUREMENT OF 150.89 FEET GIVEN FROM THE WESTERN END OF THE FOUR FOOT EASEMENT THE EASEMENT WOULD MISS THE FIRE HYDRANT COMPLETELY. I ASSUMED THE 2020 EASEMENT PLAT MEASUREMENT OF 150.89 FEET (CALCULATED DISTANCE IS 135.90 FEET) WAS IN ERROR AND I IGNORED IT.

ALTA/NSPS LAND TITLE SURVEY
for Los Alamos Schools Credit Union
of Lot 2, Amended Lot Line Adjustment
Between Lot 1 & Lot 2, of the
Los Alamos Municipal Building Site
Eastern Area No. 2,
Los Alamos County, New Mexico
May, 2020

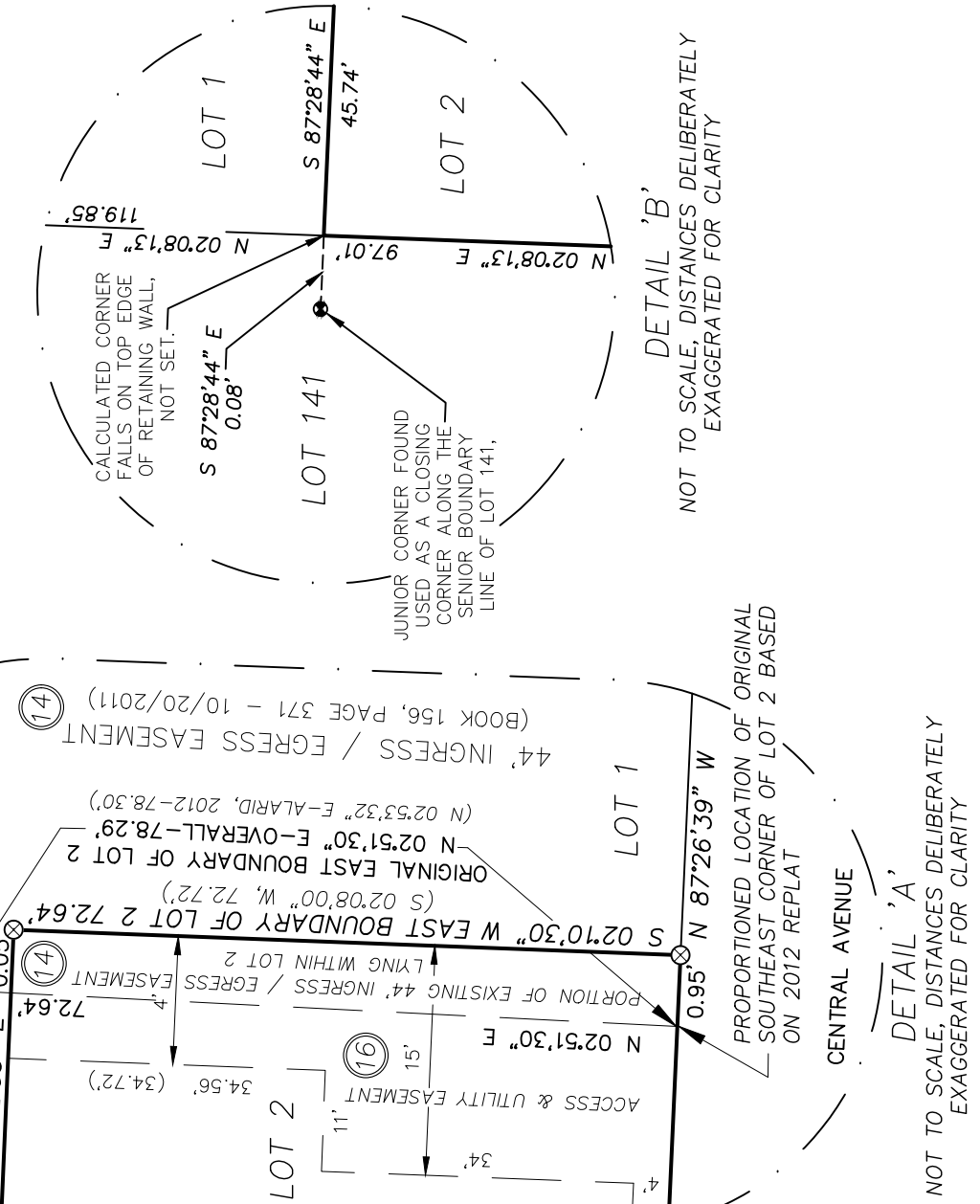
IRIS STREET
63' WIDE COUNTY RIGHT-OF-WAY

UTILITY EASEMENT
(PLAT BOOK 1, PAGE 57 - 8/06/1965)



Legend

—	DENOTES BOUNDARY OF LAND DEALT WITH BY THIS PLAT. INFORMATION OUTSIDE THIS BOUNDARY IS SHOWN FOR INFORMATION ONLY, NOT VERIFIED FOR ACCURACY AND IS NOT A PART OF THIS PLAT.
N 37°33'25" E	MEASURED BEARINGS AND DISTANCES.
(N 37°33'25" E)	PLATTED BEARINGS AND DISTANCES. SEE SURVEY NOTES ITEMS 13 & 14 ON PAGE ONE.
●	ALUMINUM CAP ON NO. 5 REBAR STAMPED "L.S. 13603", FOUND.
●	ALUMINUM CAP IN CONCRETE, STAMPED AS NOTED, FOUND AND USED.
⊗	NO. 4 REBAR WITH BLUE PLASTIC CAP STAMPED "P.S. 18375", FOUND.
⊗	SCRIBED 'X' IN CONCRETE, FOUND.
—○—	CHAIN LINK FENCE ON CONCRETE RETAINING WALL.
SL	STREET LIGHT PULL BOX.
+	STREET LIGHT.
E	ELECTRIC MANHOLE
E	ELECTRIC BOX.
TC	TRAFFIC CONTROL BOX.
T	TELCOM BOX.
T	TELCOM MANHOLE.
V	WATER OR GAS VALVE.
W	WATER METER.
S	SEWER MANHOLE.
PL	PLANTER.
□	CONCRETE.
↓	TRAFFIC OR PARKING SIGN.
(10)	TITLE COMMITMENT SCHEDULE B-II ITEM REFERENCE NUMBER.
— E —	UNDERGROUND ELECTRIC LINES.
— T —	UNDERGROUND TELCOM LINES.
— G —	UNDERGROUND GAS LINES.
— W —	UNDERGROUND WATER LINES.
— S —	UNDERGROUND SEWER LINES.



GRAPHIC SCALE - 1 inch = 30 feet
0 30 60 90

PRECISION
SURVEYS, INC.

1362 Trinity Drive, Suite A-2
Los Alamos, NM 87544

505.661.4262 PHONE
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INDEXING INFORMATION FOR COUNTY CLERK
OWNER: LOS ALAMOS SCHOOLS CREDIT UNION
SECTIONS: 15, T. 19 NORTH, R. 06 EAST, NMPM
SUBDIVISION: EASTERN AREA NO. 2

Sheet 2 of 2

PSI JOB NUMBER 20LA-4010

EXHIBIT “C”

GENERAL NOTES:

1.

ALL ADA RAMPS PER NMDOT STANDARDS
2.

ALL EXISTING STREET LIGHTS TO REMAIN IN PLACE EXCEPT WHERE NOTED ON SITE PLAN
3.

PRIOR TO COMMENCING CONSTRUCTION, OWNER OR OWNER'S REPRESENTATIVE SHALL APPLY FOR A DRIVEWAY, EXCAVATION AND TRAFFIC PERMIT WITH THE COUNTY TRAFFIC & STREETS DIVISION FOR WORK PROPOSED WITHIN THE STREET RIGHT-OF-WAY INCLUDING THE REMOVAL AND/OR REPLACEMENT OF SIDEWALK, ADA CURB RAMPS, CURB & GUTTER, DRIVE PADS AND ASPHALT DRIVING LANES—SUCH WORK SHALL COMPLY WITH COUNTY PUBLIC WORKS DESIGN & CONSTRUCTION STANDARDS; ALSO SEE NMDOT DRIVEWAY STANDARD DRAWINGS FOR CONSTRUCTION DETAILS AND ADA COMPLIANCE. ALL CONSTRUCTION MATERIAL AND EQUIPMENT MUST BE STORED OFF PUBLIC RIGHT-OF-WAY AND ON PRIVATE PROPERTY.

ZONING, SETBACKS, CODE REQ.

"B" BUSINESS BANK LEGAL: CENTRAL AVE SEE BOUNDARY SURVEY LOT SIZE APPROX. = 28,546 SQ. FT TCCO (TOWN CENTER)	SETBACKS FRONT YARD: NONE SIDE YARD: NONE REAR YARD: NONE MAX BLDG HEIGHT:
--	--

PARKING REQUIREMENTS:

OFF-STREET PARKING REQUIREMENTS
SPACES ARE 9 FT WIDE X 18 FT LONG

ADA ACCESSIBLE PARKING SPACES
PER IBC 2015: 3 ADA ACCESSIBLE SPACES PROVIDED

PROPOSED BLDG: 3750 GSF 1500
7.5 = 8 SPACES REQUIRED

16 TOTAL PARKING SPACES PROVIDED















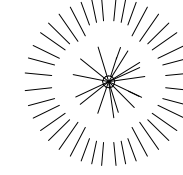
EASEMENTS

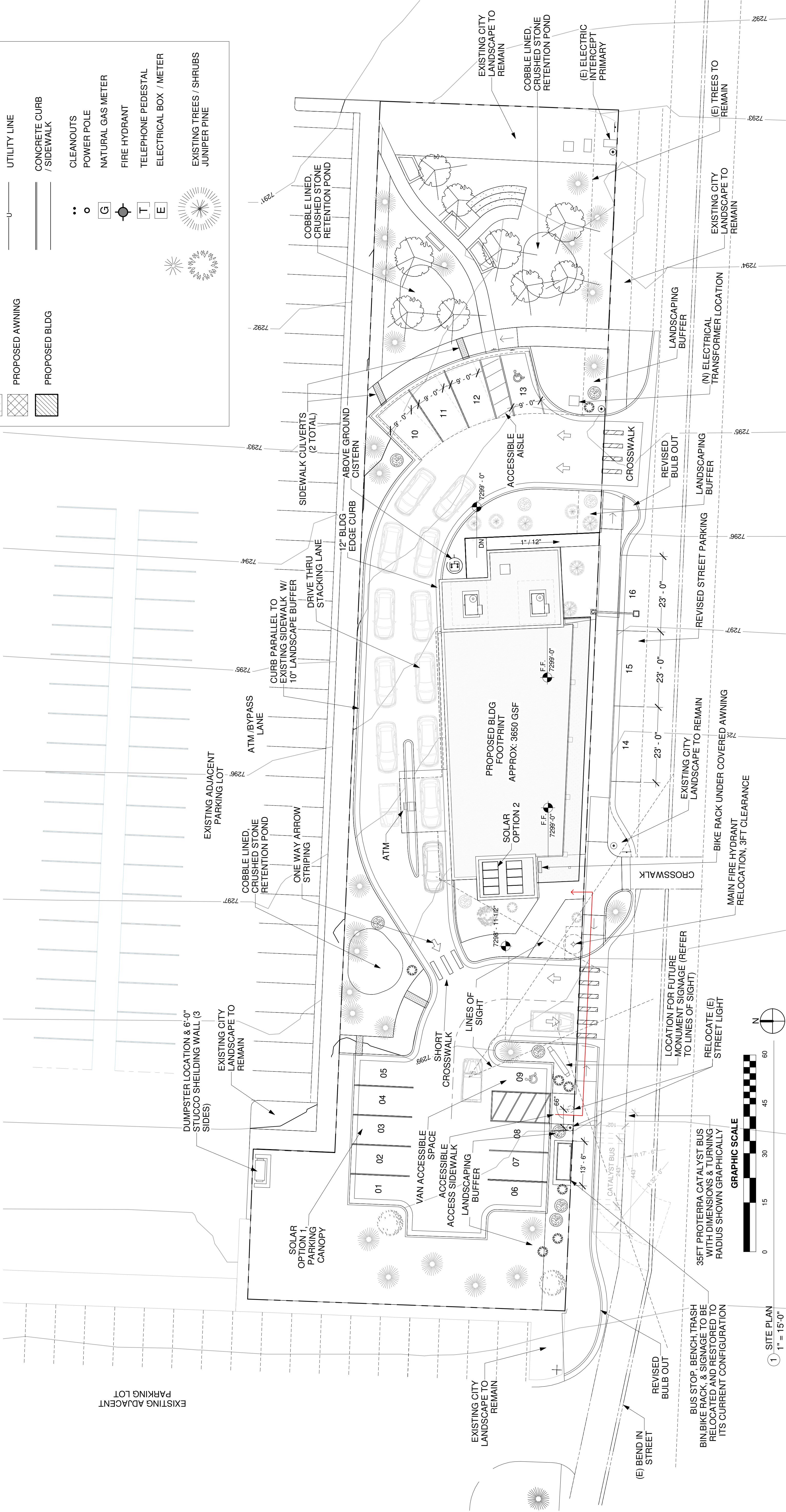
REFER TO BOUNDARY SURVEY

TOPOGRAPHY

THE PROPERTY DRAINS
PREDOMINANTLY TO THE SOUTH
TOWARD THE CANYON. SEE
DRAWN AT 1:20" INTERVALS. REFER TO
SHEET BOUNDARY SURVEY

SITE LEGEND

	NEW ASPHALT		PROPERTY LINE
	NEW CONCRETE		SETBACK
	PROPOSED AWNING		UTILITY LINE
	PROPOSED BLDG		CONCRETE CURB / SIDEWALK
			CLEANOUTS
			POWER POLE
			NATURAL GAS METER
			FIRE HYDRANT
			TELEPHONE PEDESTAL
			ELECTRICAL BOX / METER
			EXISTING TREES / SHRUBS JUNIPER PINE



EXISTING ADJACENT
PARKING LOT

DUMPSTER LOCATION & 6'-0"
STUCCO SHIELDING WALL (3
SIDES)

EXISTING ADJACENT
PARKING LOT

COBBLE LINED,
CRUSHED STONE
RETENTION POND

SOLAR
OPTION 1,
PARKING
CANOPY

VAN ACCESSIBLE
SPACE
ACCESS SIDEWALK
LANDSCAPING
BUFFER

SHORT
CROSSWALK

ATM

PROPOSED BLDG
FOOTPRINT
APPROX: 3650 GSF

SOLAR
OPTION 2

F.F. 7259'-0"

F.F. 7259'-0"

12" BLDG
EDGE CURB

ABOVE GROUND
CISTERN

COBBLE LINED,
CRUSHED STONE
RETENTION POND

EXISTING CITY
LANDSCAPE TO
REMAIN

EXISTING CITY
LANDSCAPE TO
REMAIN

EXISTING CITY
LANDSCAPE TO
REMAIN

EXISTING CITY
LANDSCAPE TO
REMAIN

EXISTING CITY
LANDSCAPE TO
REMAIN

LOCATION FOR FUTURE
MONUMENT SIGNAGE (REFER
TO LINES OF SIGHT)

RELOCATE (E)
STREET LIGHT

BIKE RACK UNDER COVERED AWNING

MAIN FIRE HYDRANT
RELOCATION, 3FT CLEARANCE

BUS STOP, BENCH, TRASH
BIN, BIKE RACK, & SIGNAGE TO BE
RELOCATED AND RESTORED TO
ITS CURRENT CONFIGURATION

35FT PROTERRA CATALYST BUS
WITH DIMENSIONS & TURNING
RADIUS SHOWN GRAPHICALLY

RELOCATED AND RESTORED TO
ITS CURRENT CONFIGURATION

RELOCATED AND RESTORED TO
ITS CURRENT CONFIGURATION

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ITS CURRENT CONFIGURATION

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ITS CURRENT CONFIGURATION

RELOCATED AND RESTORED TO
ITS CURRENT CONFIGURATION

PROJ. NO:	2019-955	
ISSUE DATE:	6.22.20	
ISSUED FOR:	LOS ALAMOS COUNTY REVIEW	
REVISIONS:		
NO	Date	Description
<hr/>		
DRAFTED BY:	JDC	
APPROVED BY:	DJP	
SCALE:	As indicated	
<hr/>		
PROPOSED ARCHITECTURAL SITE PLAN		
<hr/>		
AS101		

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.

2. REFER TO STRUCTURAL SHEETS FOR STEEL COLUMN & JOIST BEARING HEIGHTS.

3. PROVIDE CLARK DIETRICH, VINYL MINI CONTROL JOINTS, REFER TO CJ NOTATION ON BUILDING ELEVATIONS.

KEYED NOTES:

1. ENGINEER FILL PER GEOTECH AND STRUCTURAL SHEETS

2. CONCRETE TURN DOWN SLAB, REFER TO STRUCTURAL FOUNDATION DETAILS, EXPOSED EXTERIOR FINISH TO COMPLY WITH DEVELOPMENT STANDARDS, TBD

3. UNDERGROUND METAL CISTERN FOR LANDSCAPE IRRIGATION

4. CONCRETE CURB @ BUILDINGS EDGE, REFER TO CIVIL SHEETS

5. METAL RAILING

6. ANODIZED ALUMINUM STOREFRONT SYSTEM, REFER TO STOREFRONT TYPES AND SHEET XXX GLAZING TO BE NON-REFLECTIVE, LOW-E PER MANUFACTURERS SPECIFICATIONS.

7. 60" W X 30" H STOREFRONT WINDOW

8. DRIVE THRU TRANSACTION WINDOW

9. 3 COAT CEMENTITIOUS STUCCO, COLOR TYPE 1

10. 3 COAT CEMENTITIOUS STUCCO, COLOR TYPE 2

11. STRUCTURAL GLULAM WOOD COLUMN, REFER TO STRUCTURAL SHEETS FOR LAYOUT, ETC

12. ATM / NIGHT DROP

13. DROUGHT RESISTANT LANDSCAPING PER LOS ALAMOS LANDSCAPING & MORE LLC

14. WALL MOUNTED EXTERIOR SECURITY CAMERA, REFER TO SECURITY SYSTEMS PLAN

15. PRE-FINISHED STEEL CANOPY, REFER TO STRUCTURAL SHEETS AND MANUFACTURER DETAILS

16. EXTERIOR METAL SIGNAGE, TBD

17. STRUCTURAL BEAM, SEE STRUCTURAL SHEETS

18. BUILT UP WOOD FASCIA WITH BRAKE METAL FINISH

19. 6" HALF ROUND METAL GUTTER SYSTEM

20. ALUMINUM DOWNSPOUT, CONNECT TO UNDERGROUND STORM DRAIN, REFER TO GRADING AND DRAINAGE PLAN

21. WRAP PARAPET END WALL & SIDE WALL WITH 3 COAT CEMENTITIOUS STUCCO SYSTEM, REFER TO FRAMING DETAILS.

22. GALVANIZED METAL COPING @ PARAPETS, REFER TO SHEET A504

23. BRAKE METAL FINISH ABOVE STOREFRONT

24. METAL ROOF, PROFILE TBD

25. ANGLED METAL SNOW GUARDS

26. ACCESS LADDER, PAINT TO MATCH STUCCO FINISH

27. ADD ALTERNATE PHOTOVOLTAC SOLAR ARRAY OPTION 1

28. ADD ALTERNATE PHOTOVOLTAC SOLAR ARRAY OPTION 2

29. EXISTING CITY STREET LAMP TO REMAIN

122A Dona Luz

Taos, NM 87571

575.751.9481 | www.ldg-arch.com

LOS ALAMOS SCHOOLS CREDIT UNION

NEW CONSTRUCTION

1010 CENTRAL AVE LOT 2

LOS ALAMOS, NM

PROJ. NO:

2019-955

ISSUE DATE:

5.21.20

ISSUED FOR:

ZONING REVIEW

REVISIONS:

NO	Date	Description
----	------	-------------

DRAFTED BY:

JDC

APPROVED BY:

DJP

SCALE:

3/16" = 1'-0"

BLDG

ELEVATIONS

A402

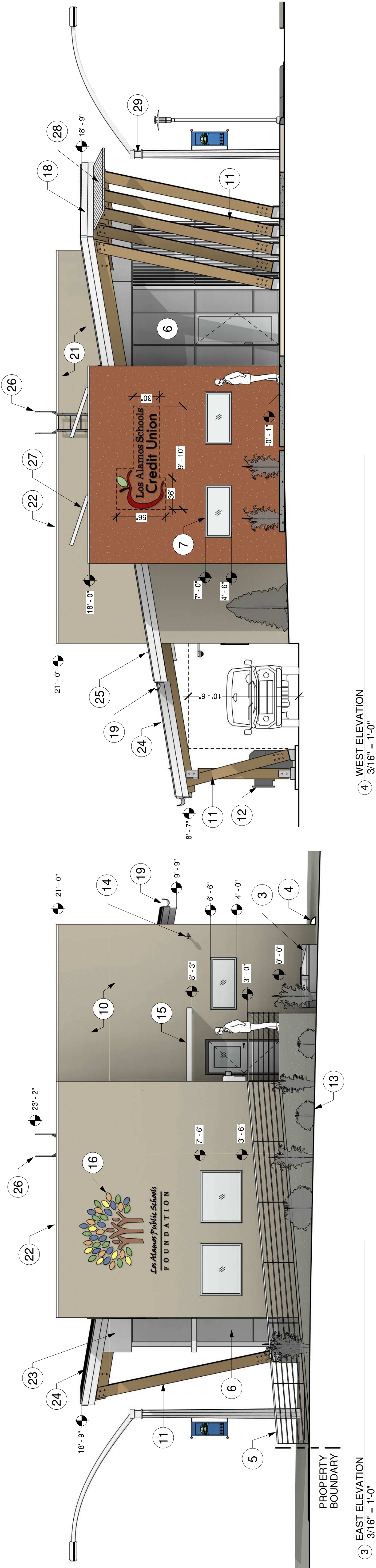
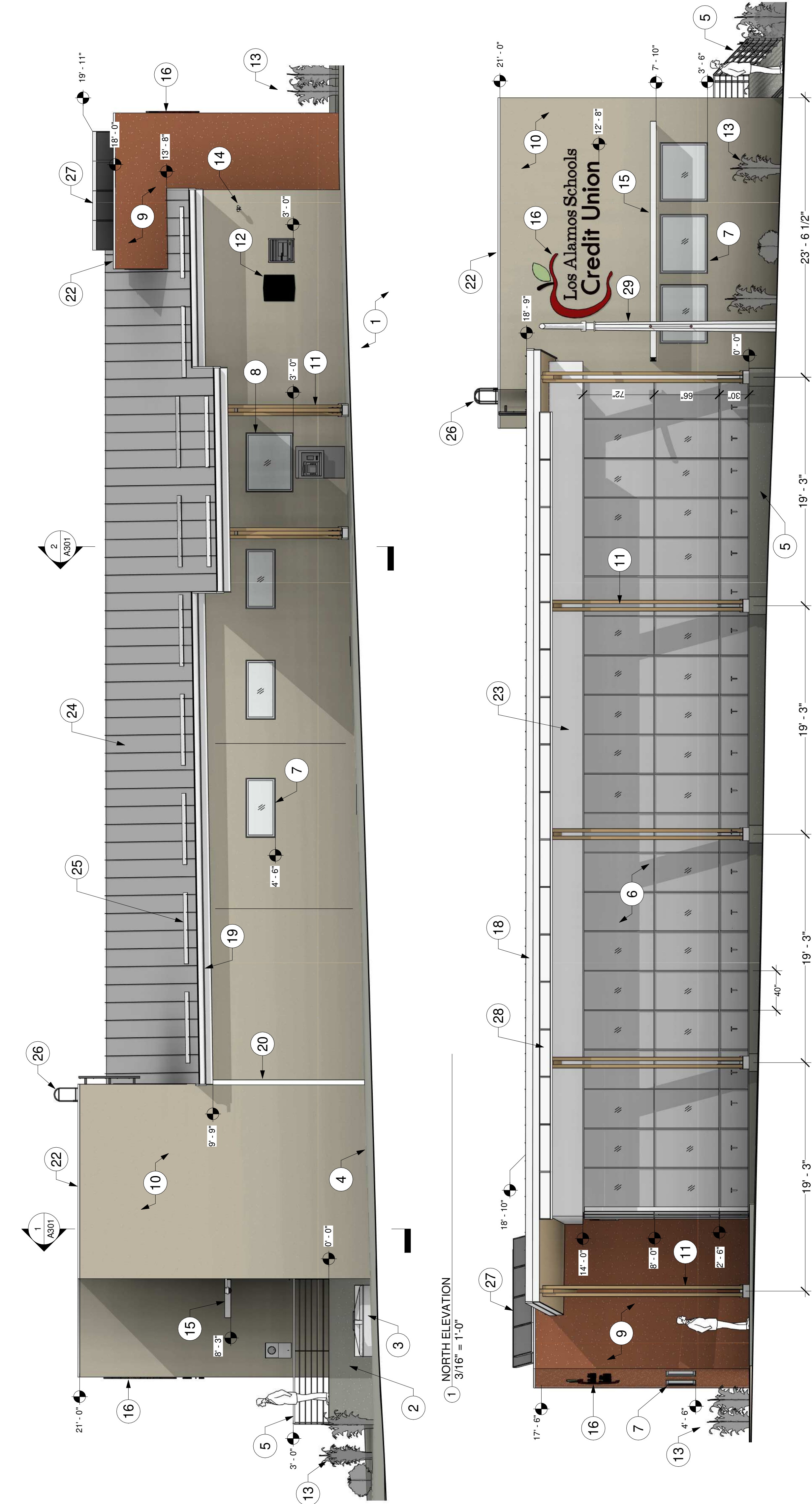


EXHIBIT “D”



LOS ALAMOS SCHOOLS CREDIT UNION

NEW CONSTRUCTION

1010 CENTRAL AVE LOT 2

LOS ALAMOS, NM

PROJ. NO:	2019-955	
ISSUE DATE:	6.22.20	
ISSUED FOR:	LOS ALAMOS COUNTY REVIEW	
REVISIONS:		
NO	Date	Description

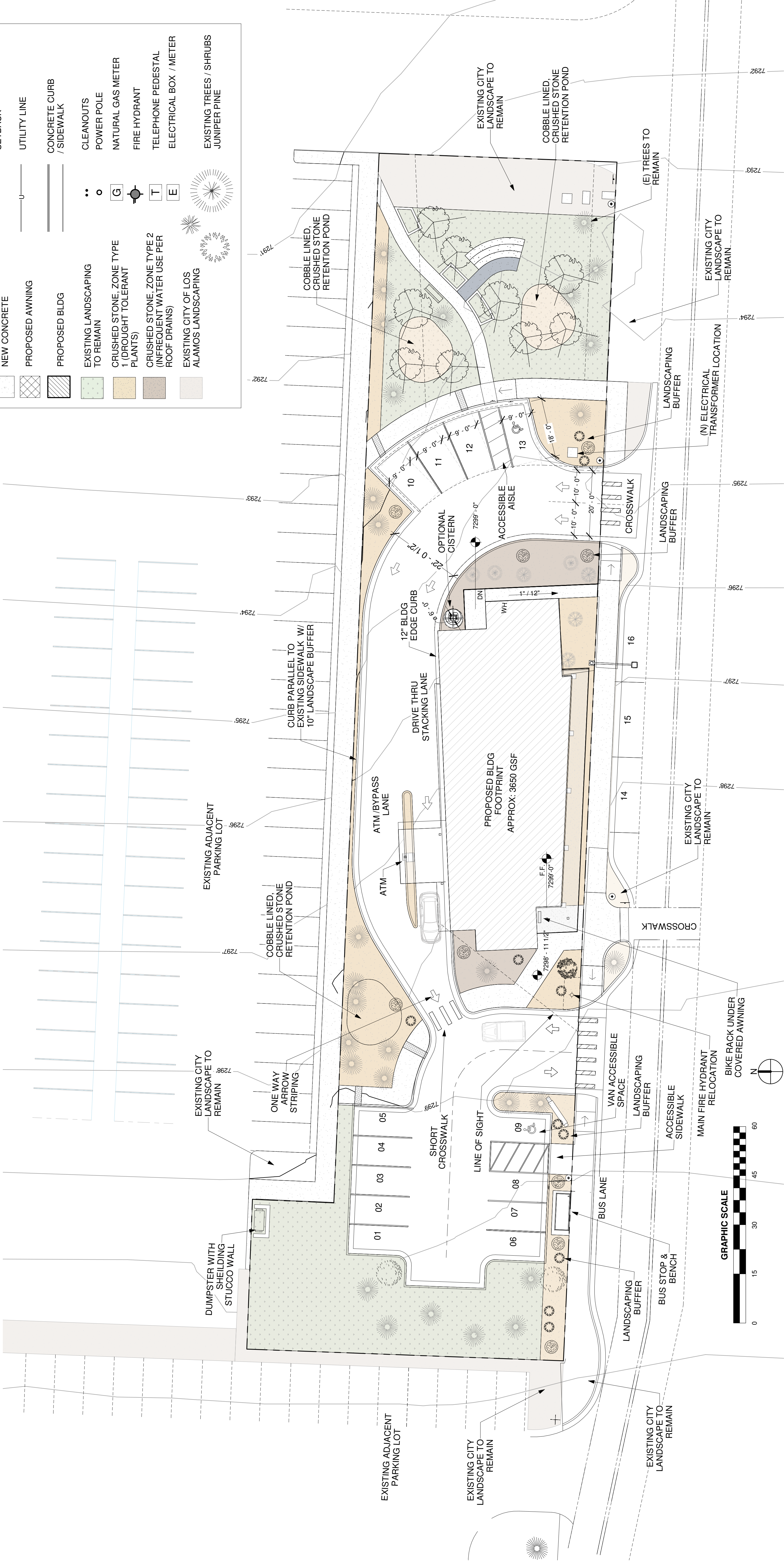
LANDSCAPE

PLAN

AS102

ZONING, SETBACKS, CODE REQ.	PARKING REQUIREMENTS:	EASEMENTS
"B" BUSINESS SETBACKS: FRONT YARD: NONE SIDE YARD: NONE REAR YARD: NONE LEGAL 1010 CENTRAL AVE SEE BOUNDARY SURVEY LOT SIZE APPROX = 28,546 SQ FT TOO (TOWN CENTER)	OFF- STREET PARKING REQUIREMENTS SPACES ARE 9 FT WIDE X 18 FT LONG ADA ACCESSIBLE PARKING SPACES, PER IBC 2015: 3 ADA ACCESSIBLE SPACES PROVIDED PROPOSED BLDG: 3750 GSF 1500 7.5 = 8 SPACES REQUIRED 16 TOTAL PARKING SPACES PROVIDED	REFER TO BOUNDARY SURVEY
TOPOGRAPHY THE PROPERTY DRAINS PREDOMINANTLY TO THE SOUTH WEST. APPROXIMATE CONTOURS DRAWN AT 1'-0" INTERVALS. REFER TO SHEET BOUNDARY SURVEY		

SITE LEGEND	
	NEW ASPHALT
	NEW CONCRETE
	PROPOSED AWNING
	PROPOSED BLDG
	EXISTING LANDSCAPING TO REMAIN
	CRUSHED STONE, ZONE TYPE 1 (DROUGHT TOLERANT PLANTS)
	CRUSHED STONE, ZONE TYPE 2 (INFREQUENT WATER USE PER ROOF DRAINS)
	EXISTING CITY OF LOS ALAMOS LANDSCAPING
	CLEANOUTS
	POWER POLE
	NATURAL GAS METER
	FIRE HYDRANT
	TELEPHONE PEDESTAL
	ELECTRICAL BOX / METER
	EXISTING TREES / SHRUBS JUNIPER PINE
	PROPERTY LINE
	SETBACK
	UTILITY LINE
	CONCRETE CURB / SIDEWALK



1 LANDSCAPE PLAN

1" = 15'-0"

EXHIBIT “E”

UTILITY NOTE

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THIS DRAWING, THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING ABOVE AND UNDERGROUND UTILITIES, OR EXISTING PIPELINES. THE ENGINEER MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM HIMSELF OF THE LOCATION OF ANY EXISTING ABOVE AND UNDERGROUND UTILITIES, AND SHALL PROTECT THEM DURING THE AREA OF THE WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES. THE LOCATION OF THESE LINES IN PLANNING AND CONDUCTING EXCAVATION WORK.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING ABOVE AND UNDERGROUND UTILITIES, OR EXISTING PIPELINES. THE ENGINEER MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM HIMSELF OF THE LOCATION OF ANY EXISTING ABOVE AND UNDERGROUND UTILITIES, AND SHALL PROTECT THEM DURING THE AREA OF THE WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES. THE LOCATION OF THESE LINES IN PLANNING AND CONDUCTING EXCAVATION WORK.

DRAINAGE NOTE

WALKER ENGINEERING CERTIFIES THE DRAINAGE DESIGN MEETS THE REQUIREMENTS OF THE LOS ALAMOS COUNTY PUBLIC WORKS DESIGN & CONSTRUCTION STANDARDS.

GENERAL NOTE

PRIOR TO COMMENCING CONSTRUCTION, OWNER OR OWNER'S REPRESENTATIVE SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOS ALAMOS COUNTY PUBLIC WORKS DIVISION FOR WORK PROPOSED WITHIN THE STREET RIGHT-OF-WAY INCLUDING THE REMOVAL AND/OR REPLACEMENT OF SIDEWALK, ADA CURB RAMPS, CURB & GUTTER, DRIVE PADS AND ASPHALT DRIVING LANES. SUCH WORK SHALL COMPLY WITH COUNTY PUBLIC WORKS DESIGN & CONSTRUCTION STANDARDS. ALSO SEE NMDOT DRIVEWAY DESIGN & CONSTRUCTION STANDARDS. ALL CONSTRUCTION MATERIAL AND EQUIPMENT MUST BE STORED OFF RIGHT-OF-WAY AND ON PRIVATE PROPERTY.

STAKING NOTE

INFORMATION SHOWN IS FOR GRADING AND DRAINAGE ONLY AND IS NOT TO BE USED FOR STAKING PURPOSES. SEE SITE PLAN FOR ACTUAL LOCATION OF IMPROVEMENTS.

TOPOGRAPHY NOTE

ALL EXISTING TOPOGRAPHIC SURVEY DATA SHOWN ON THESE PLANS HAS BEEN OBTAINED AND CERTIFIED BY OTHERS. WALKER ENGINEERING HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS TOPOGRAPHY INFORMATION. THE ENGINEER MAKES NO REPRESENTATION AS TO THE ACCURACY OR RESPONSIBILITY OF LIABILITY THEREOF. THE ENGINEERING ANALYSIS THAT UTILIZES THE TOPOGRAPHY SURVEY.

DISTURBANCE NOTE

THERE ARE NO SLOPES GREATER THAN 30% ON THE BUILDING SITE.

EARTHWORK

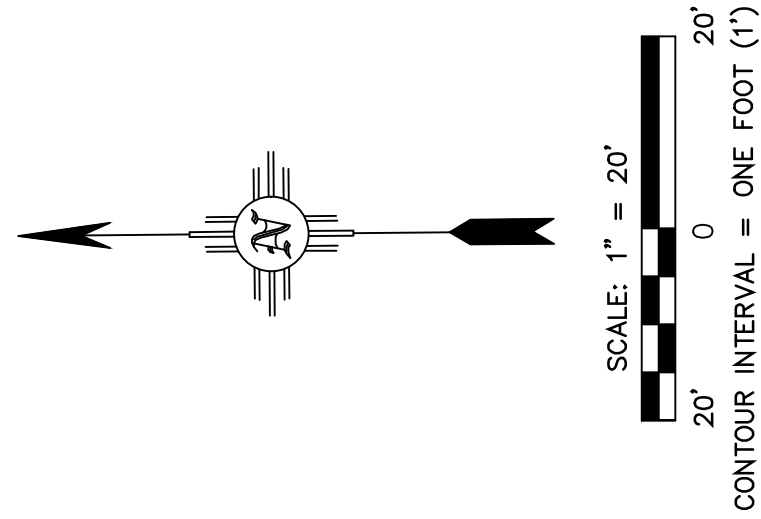
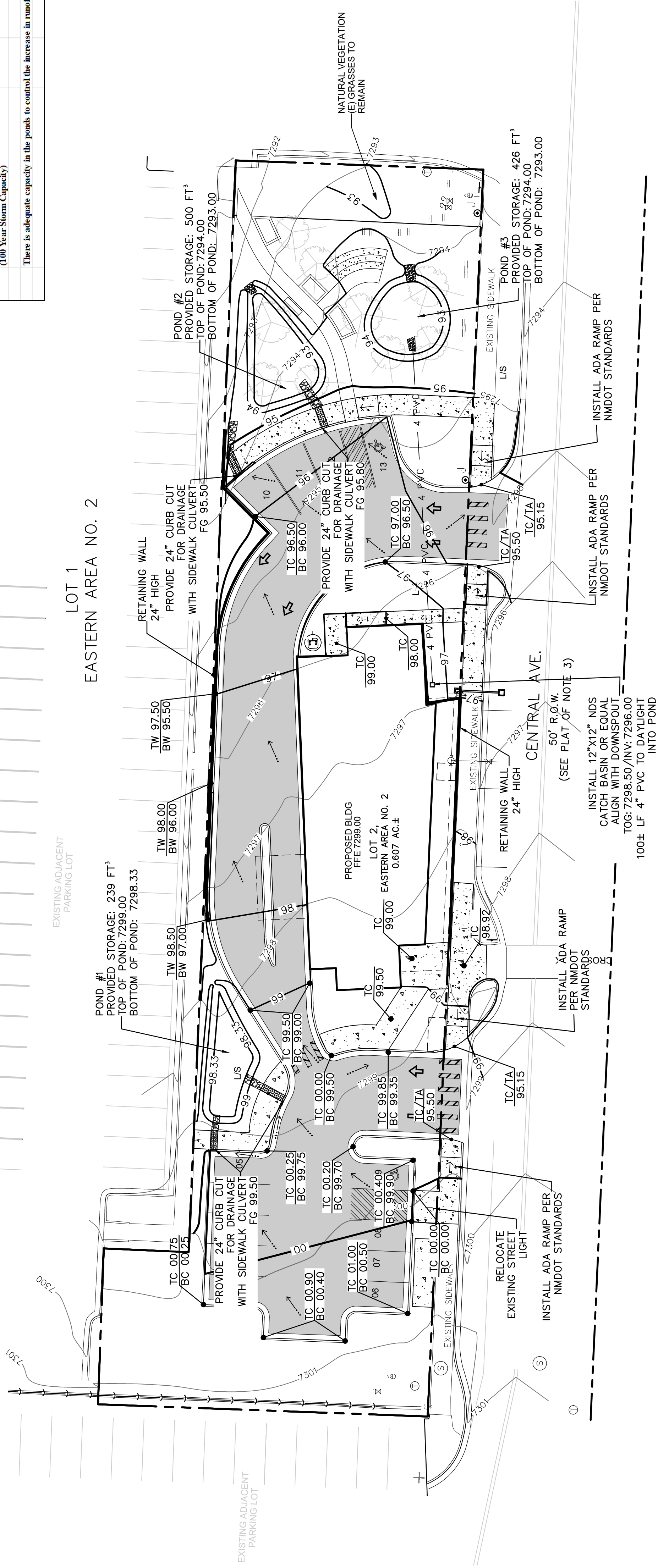
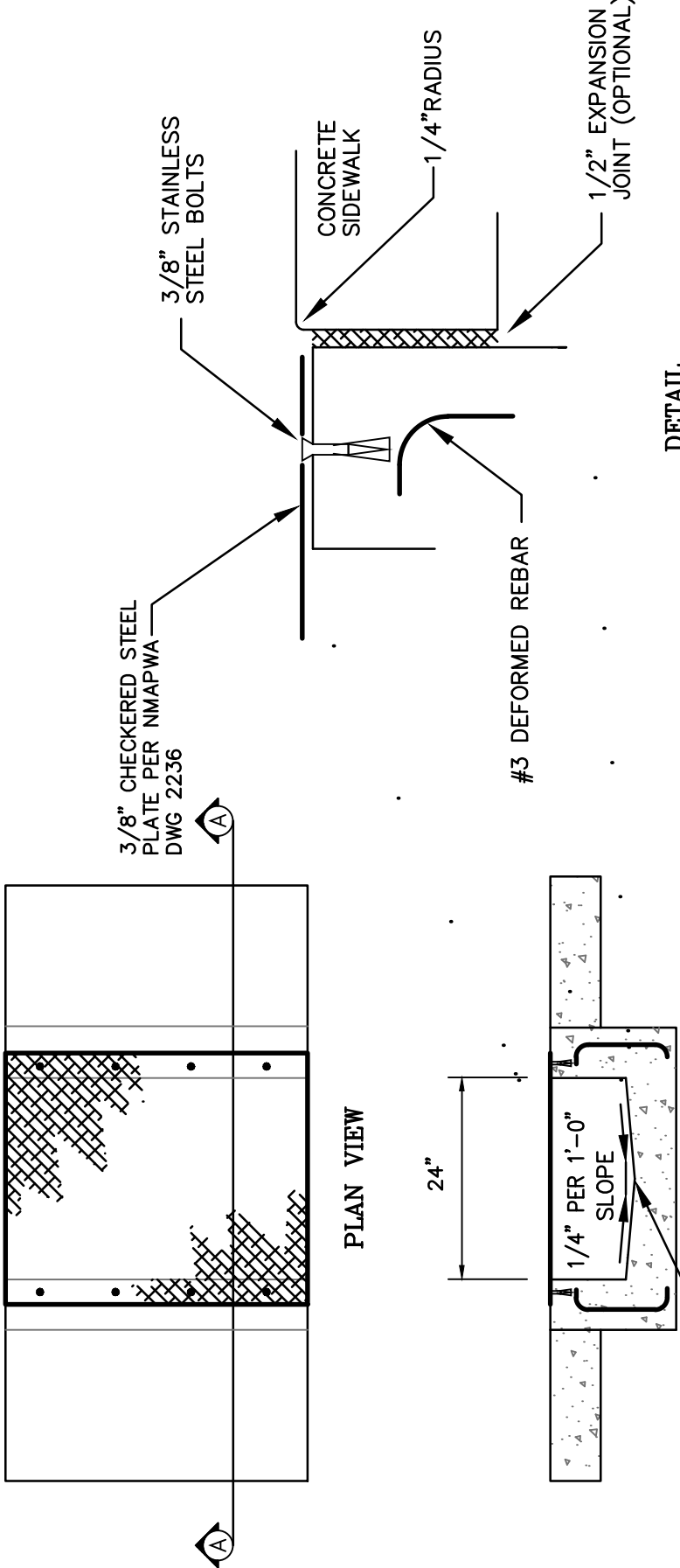
CUT: 185 CY
FILL: 385 CY
NET: 339 CY IMPORT
*COMPACTION FACTOR NOT INCLUDED

EXHIBIT 2

SIDEWALK CULVERT DETAIL

PER NMAPWA — DWG-2236

NTS



Walker Engineering									
905 Camino Sierra Vista Santa Fe, NM 87501									
Stormwater Drainage Calculations									
Project: Los Alamos St. Joel Credit Union									
Project No: 20-121									
Date: 6/9/2020									
Present Land Use									
Developable Area: 1.27 Acres									
55168.00 Sq Ft									
Present Land Use									
Description		Area (SF)	Area (Ac)	C	C ^a				
Undeveloped		55168.00	1.27	0.55	0.097				
Composite		55168.00	1.27	0.55	0.097				
Proposed Land Use									
Description		Area (SF)	Area (Ac)	C	C ^a				
Roof/Concrete		4300.00	0.10	0.95	0.69				
Asphalt		9332.00	0.21	0.90	0.19				
Undeveloped/Landscape		41536.00	0.95	0.55	0.52				
Composite		55168.00	1.27	0.64	0.81				
Discharge Calculations									
Description		C ^a	Rainfall (in/hr)	Discharge (cfs)					
Present Land Use		0.70	7.3	5.08					
Proposed Land Use		0.81	7.3	5.92					
Difference		0.11	0.00	0.84					
Pond Volume Required (100 yr Storm)									
		1003	ft ³						
Drainage Pond Design									
Top Elev. (ft)		Area (ft ²)	Bottom Elev. (ft)	Area (ft ²)					
Pond 1		7259.00	446	7298.33					
Pond 2		7259.00	592	7293.00					
Pond 3		7259.00	498	7293.00					
Increased Pond Volume Provided = (100 Year Storm Capacity)		1164	ft ³	353					
There is adequate capacity in the ponds to control the increase in runoff from this site.									

W. E Walker Engineering

Civil Engineering • Water Resources • Traffic Engineering

905 Camino Sierra Vista, Santa Fe, NM 87505
505-820-7990
505-820-3539
E-MAIL: civil@walkerengineering.net

PROJECT: 20-121

FILE: 121 GRADE

DATE: 6/22/20

SCALE: AS NOTED

DESIGNED BY: P.L.B.

DRAWN BY: P.L.B.

CHECKED BY: M.E.W.

AS NOTED

COUNTY REVIEW

DEPARTMENT

SIGN-OFF

DATE

COUNTY USE ONLY

S.F. WATER COMPANY

PUBLIC WORKS DIRECTOR

LAND USE PLANNER

SHEET NO.

C-1

PROJECT: LOS ALAMOS SCHOOL CREDIT UNION

GRADING AND DRAINAGE PLAN

PROJECT: 20-121

FILE: 121 GRADE

DATE: 6/22/20

SCALE: AS NOTED

DESIGNED BY: P.L.B.

DRAWN BY: P.L.B.

CHECKED BY: M.E.W.

AS NOTED

LEGEND

- EXISTING CONTOURS
- DESIGN CONTOURS
- SITE BOUNDARY
- SPOT ELEVATION
- FIELD GRADE
- TOP OF WALL
- WATER FLOW DIRECTION
- FINISHED PAD
- RETAINING WALL
- PROPOSED GRAVEL

RECORD DRAWINGS

THIS RECORD DOCUMENT HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION AS PROVIDED BY OTHERS. WALKER ENGINEERING MAKES NO REPRESENTATION AS TO THE REASONABLE DOCUMENTATION OF THE FINAL CONSTRUCTION.

MOREY E. WALKER, P.E. 12105

DATE

SHEET NO.

COUNTY REVIEW		
DEPARTMENT	SIGN-OFF	DATE
LAND USE PLANNER		
PUBLIC WORKS DIRECTOR		
S.F. WATER COMPANY		
COUNTY USE ONLY		

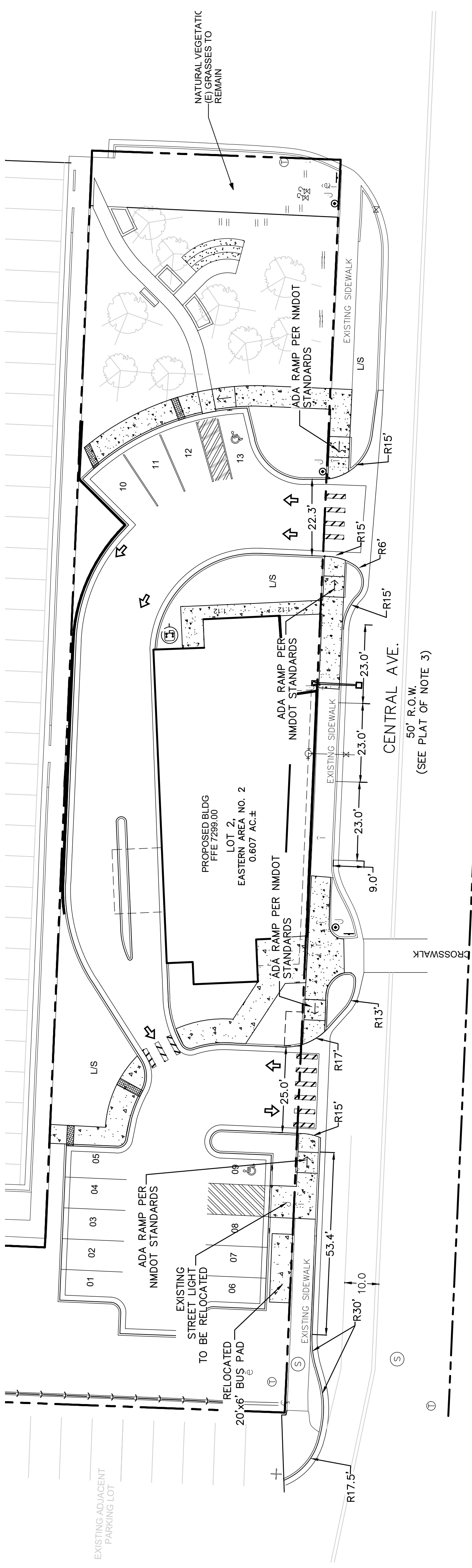
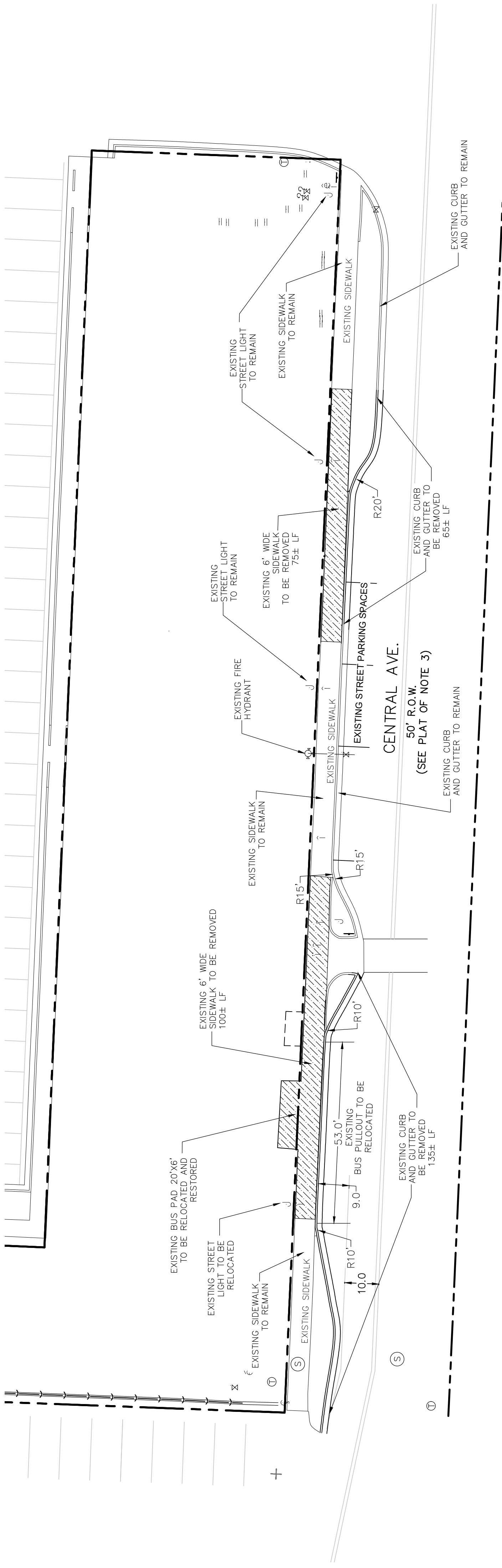
PROJECT: LOS ALAMOS SCHOOL CREDIT UNION	SHEET TITLE: OFFSITE IMPROVEMENT PLAN
--	--

[illegible]









SCALE:	AS NOTED		
DATE:	6/22/20		
FILE:	121 GR22		
PROJECT:	20-121		
	DESIGNED BY:	P.L.B.	
	DRAWN BY:	P.L.B.	
	CHECKED BY:	M.E.W.	
NO.	REVISION	BY	APP. DATE

[illegible]

W. F. Walker Engineering
 905 Camino Sierra Vista, • Santa Fe, NM 87505
 505-820-7990
 FAX 505-820-3539
 E-Mail: civil@walkerengineering.net



LEGEND

-  _____ SITE BOUNDARY
 _____
 _____ RETAINING WALL
 _____
 _____ PROPOSED CONCRETE
 _____ EXISTING STANDARD CURB AND GUTTER
 _____ PROPOSED STANDARD CURB AND GUTTER
 _____ PROPOSED ASPHALT

RECORD DRAWINGS

THIS RECORD DOCUMENT HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION AS PROVIDED BY OTHERS. WALKER ENGINEERING CERTIFIES THAT THE INFORMATION SHOWN IS A REASONABLE DOCUMENTATION OF THE FINAL CONSTRUCTION.

DATE	P.E.	DATE
12105	12105	12105

AS-BUILT

CONTRACTOR TO PROVIDE ENGINEER WITH DISTANCES BETWEEN FITTINGS
SIZE OF FITTINGS. DISTANCES TO BE OBTAINED ON OPEN TRENCH.
CONTRACTOR TO PROVIDE PNM WATER CO. WITH VALVE TIE
DISTANCES. EACH VALVE TO BE TIED TO THREE PERMANENT
OBVIOUS OBJECTS: I.E. FH, MH COVER, LIGHT & POWER POLES, ETC.

UTILITY NOTE

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THE DRAWING, THEY ARE SHOWN IN APPROXIMATE MANNER ONLY. UTILITY LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OR PIPELINE COMPANY, THE OWNER, OR BY OTHERS. THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING ABOVE AND UNDERGROUND UTILITIES, OR EXISTING PIPELINES. THE ENGINEER MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM HIMSELF OF THE LOCATION OF ANY EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES, IN AND NEAR THE AREA OF THE WORK, IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL EXISTING ABOVE AND UNDERGROUND UTILITIES AND EXISTING PIPELINES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES PERTAINING TO THE LOCATION OF THESE LINES IN PLANNING AND CONDUCTING EXCAVATION WORK.

GENERAL NOTE

BUS PAD SHALL BE RELOCATED AND RESTORED TO ITS CURRENT SIZE AND CONFIGURATION INCLUDING ALL APPURTENANCES, I.E. BENCH, TRASH BIN, BIKE RACK AND SIGNAGE

PRIOR TO COMMENCING CONSTRUCTION, OWNER OR OWNER'S REPRESENTATIVE SHALL APPLY FOR A DRIVEWAY, EXCAVATION, AND TRAFFIC PERMIT WITH THE COUNTY PUBLIC WORKS DIVISION FOR WORK PROPOSED WITHIN THE STREET RIGHT-OF-WAY INCLUDING THE REMOVAL AND/OR REPLACEMENT OF SIDEWALK, ADA CURB RAMP, CURB & GUTTER, DRIVE PADS AND ASPHALT DRIVEWAYS. SUCH WORK SHALL COMPLY WITH COUNTY PUBLIC WORKS DESIGN & CONSTRUCTION STANDARDS, ALSO SEE NMDOT DRIVEWAY STANDARDS DRAWINGS FOR CONSTRUCTION DETAILS AND ADA COMPLIANCE. ALL CONSTRUCTION MATERIAL AND EQUIPMENT MUST BE STORED OFF RIGHT-OF-WAY AND ON PRIVATE PROPERTY.

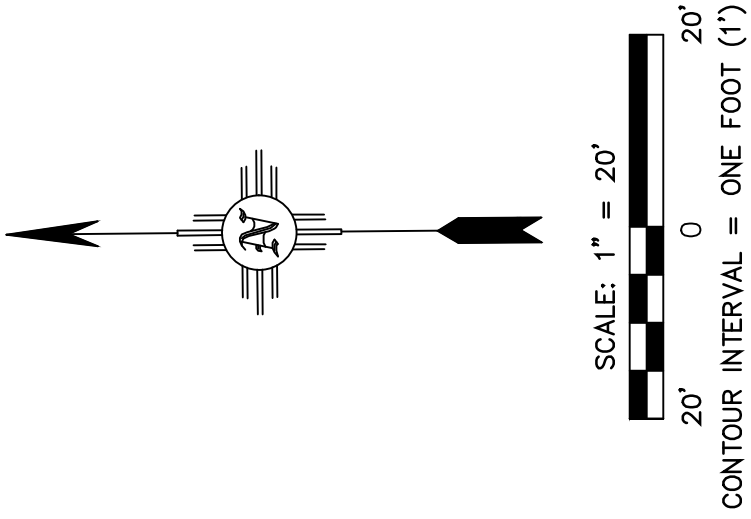
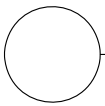


EXHIBIT “F”

EXHIBIT “G”



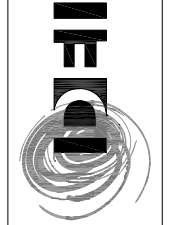
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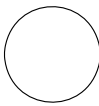
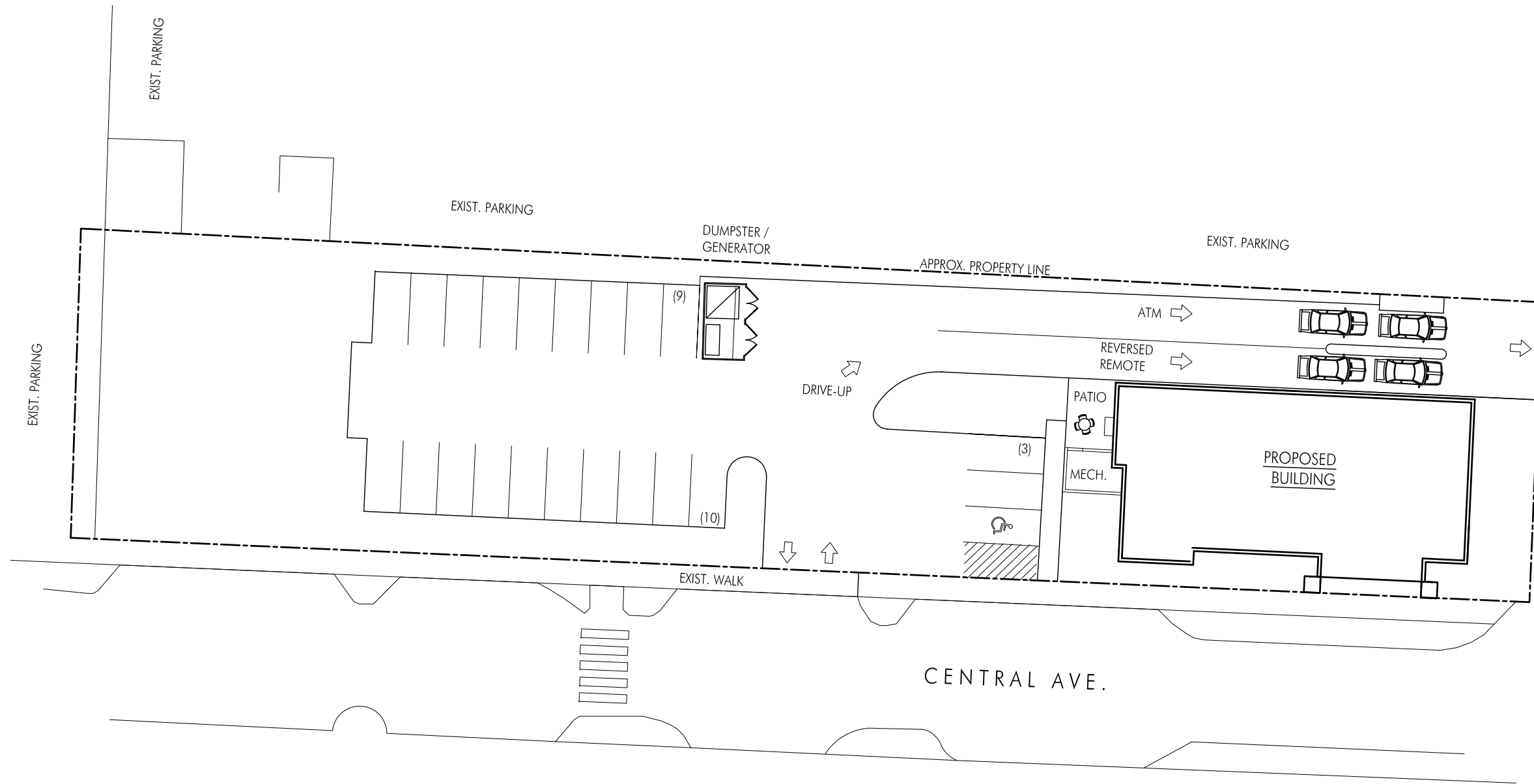
SIGNATURE: _____

DATE: _____

THIS DRAWING, ITS DESIGNS, PRINTS, AND ALL PARTS THEREOF ARE, AND SHALL REMAIN, THE PROPERTY OF DEI AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

1550 Kemper Meadow Drive □ Cincinnati, OH 45240
513.825.5800 [p] □ 513.825.1947 [f]
www.dci-corp.com





Preliminary Site Plan - B

Scale: NTS

REVISED: 6-24-19

SIGNATURE:

DATE:

LOS ALAMOS SCHOOS CU
LOS ALAMOS, NM

THIS DRAWING, ITS DE-
SIGNS, PRINTS, AND ALL
PARTS THEREOF ARE,
AND SHALL REMAIN, THE
PROPERTY OF DEI AND
MAY NOT BE REPRO-
DUCED WITHOUT WRIT-
TEN CONSENT.

REVISIONS

DATE DRAWN	11-1-18
BY	
JOB NO.	259
SHEET NO.	



1550 Kemper Meadow Drive □ Cincinnati, OH 45240
513.825.5800 |p| □ 513.825.1947 |f|
www.dei-corp.com

FW: 1010 Central curb cut

From: Matt Schmidt <matt@lascu.org>

Sent: Tue, Apr 21, 2020 at 10:35 am

To: Douglas Patterson, Robert Sanchez, Ben Curry

Hi guys,

I'm friends with the owner at the Bradbury Complex, Roger Waterman, and gave him a call yesterday. He provided a response to the County as requested.

Below is the email sent to Eric Martinez at the County. At this point I don't have any outstanding items from our call yesterday. Please let me know if there is anything else I can assist with before our follow up call on Friday.

Thanks!

Matt

From: Roger Waterman <RogerW@trkmgmt.com>

Sent: Tuesday, April 21, 2020 10:10 AM

To: LASCU Admin <admin@lascu.org>

Subject: FW: 1010 Central curb cut

From: Martinez, Eric [<mailto:eric.martinez@lacnm.us>]

Sent: Tuesday, April 21, 2020 9:19 AM

To: Roger Waterman <RogerW@trkmgmt.com>

Cc: Foster, Ryan <ryan.foster@lacnm.us>; Laurent, Anne <anne.laurent@lacnm.us>; Ulibarri, Eric <eric.ulibarri@lacnm.us>

Subject: RE: 1010 Central curb cut

Mr. Waterman,

Thank you for your comments and appreciate you reaching out to us on this topic.

Best regards,

Eric Martinez

From: Roger Waterman <RogerW@trkmgmt.com>

Sent: Tuesday, April 21, 2020 8:54 AM

To: Martinez, Eric <eric.martinez@lacnm.us>

Subject: RE: 1010 Central curb cut

Mr. Martinez,

TRK Management is the property manager for Museum Parke, located at 1350 and 1450 Central. There is no practical way that an existing curb cut on Museum Park's property could be shared with the development of 1010 Central. These two buildings are at full occupancy and require all the parking that they have, particularly when the Bradbury Museum is open and busy. I hope the county can find a satisfactory solution for the 1010 Central development.

Thanks for your attention.

Roger Waterman

EXHIBIT “H”

Figure 16-582-1 continued--Key Downtown Los Alamos Buildings

Bradbury Science Museum

Exterior building materials:

Predominant materials are stucco and stone.

Exterior building colors:

Two predominant colors are a medium gray picking up the tone of distant mountains, and an earth-red with accents of natural stone.

Roof form and color:

Unusual sloping parapets echo the profile of mountain ridges.

Complex massing:

Angled walls and multiple corners created the required complex massing.

Four-sided design:

The building is interesting from all sides.

Screening:

Mechanical equipment is hidden from major views.

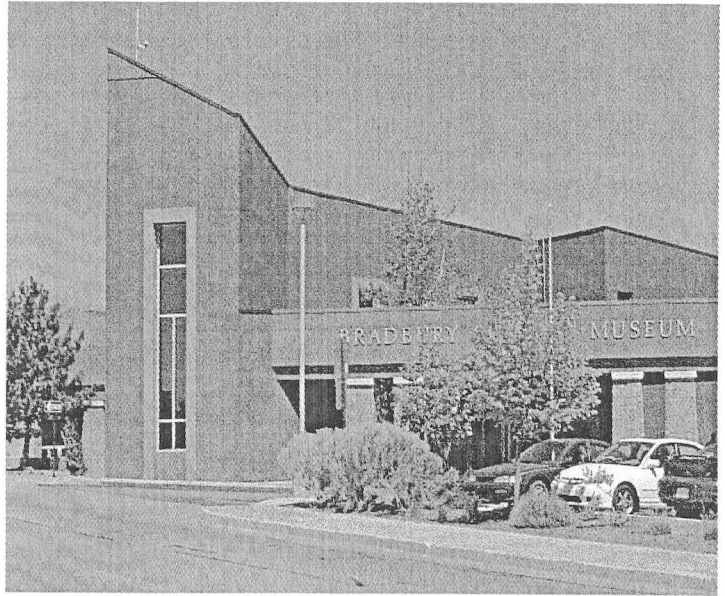


Illustration 3: Bradbury Science Museum built in 1993

Existing Conforming Building

While not a “key” downtown building, this existing bank structure also illustrates a downtown architectural design that meets all of the design requirements of the ordinance.

Note the use of the two predominant materials—brick and stucco, the interesting roof treatment and muted color of the metal roof, and the placement of two major parts of the building at angles to each other. The building also exhibits the same level of design detail on all four sides. See Figure 16-582-6 for a photograph of how the roof-top mechanical equipment is screened.



Illustration 4: Zia Credit Union



EXHIBIT 2

SUBJECT SITE
PARCELS
100 YD BUFFER



IDRC CONDITIONS & COMMENTS: 1010 Central Avenue, May 28, 2020

CONDITIONS FOR SITE PLAN APPROVAL BEFORE JUNE 10, 2020 HEARING DATE

- | | |
|---|--|
| 1 | <p><u>Per Planning Division:</u></p> <p>The application signature will be considered correct and complete if the closing of the property occurs before June 15, 2020. If it is estimated that the property closing will not occur by then, please contact Ryan Foster the Principal Planner by Monday, June 8, 2020 to discuss.</p> |
| 2 | <p><u>Per County Engineer, Public Works:</u></p> <p>Update the Grading & Drainage Plan in coordination with the Public Works Department to include:</p> <ul style="list-style-type: none">o Additional detail for storm water to reach proposed outfall/ponding areas, i.e. additional flow patterns, curb cuts, sidewalk culverts, drain inlets, etc. and clarify elevations shown.o Provide a statement on the plan to indicate that the drainage design meets the requirements of the County's Public Works Design & Construction Standards. |
| 3 | <p><u>Per County Engineer, Public Works:</u></p> <p>Update and provide additional geometric design details of the bus pullout lane and both driveways in coordination with the Public Works Department to include:</p> <ul style="list-style-type: none">o Exiting taper/reverse curve design of the bus pullout laneo Removal of the western bulb-outs at each driveway.o Provide a note that the bus pad will be relocated and restored to its current size and configuration including all appurtenances, i.e. bench, trash bin, bike rack and signage. |

ADDITIONAL TECHNICAL COMMENTS

1	<p><u>Per County Engineer, Public Works:</u> Monument sign proposed shall not obstruct sight distance and visibility for exiting vehicles.</p>
2	<p><u>Per County Engineer, Public Works:</u> Driveway construction details shall be addressed in the construction drawings submitted for building permit. Also note:</p> <ul style="list-style-type: none">o Prior to commencing construction, the applicant shall apply for a driveway, excavation and traffic permit with the County Traffic & Streets Division for work proposed within the street right-of-way including the removal and/or replacement of sidewalk, ADA curb ramps, curb & gutter, drive pads and asphalt driving lanes—such work shall comply with County Public Works Design & Construction Standards; also reference NMDOT driveway standard drawings for construction details and ADA compliance. All construction material and equipment must be stored off the right-of-way and on private property.
3	<p><u>Per Public Works, Streets Division:</u> A comment regarding the placement of the last parking space (#14 on the site plan) being too close to the eastern entrance. Perhaps this could be moved next to parking space 5, if needed.</p>
4	<p><u>Per Public Works, Streets Division:</u> Provide a sidewalk connection from the eastern parking area through the landscape buffer, to the building. Especially if the only ADA space is located in the eastern parking area.</p>
5	<p><u>Per Public Works, Streets Division:</u> Perhaps the 3ft. space next to the ADA space can be swapped to get it farther from the driveway entrance.</p>
6	<p><u>Per Department of Public Utilities:</u> The utility plan does not show the electric service. This needs to be added to the utility plan. See attached comments from prior submittal regarding electric service connection.</p>
7	<p><u>Per Public Works, Environmental Services:</u> Refuse Collection – Previously recommended to utilize roll carts in lieu of dumpster w/enclosure due to expected low waste generation. Discussed possibility to share cardboard recycle bin with Municipal Bldg. Recommend obtaining input from Angelica Gurule, Environmental Services Director. Does the current dumpster layout require access through County property? Yes, the dumpster will be accessed through the main municipal building parking lot.</p>



County of Los Alamos

Staff Report

July 22, 2020

Los Alamos, NM 87544
www.losalamosnm.us

Agenda No.: A.

Index (Council Goals):

Presenters:

Legislative File: 13185-20

Title

Minutes from the Planning And Zoning Commission Meeting on June 24, 2020.

Recommended Action

I move that the Commission approve the Minutes for June 24, 2020.

Attachments

A - Draft Minutes for June 24, 2020



County of Los Alamos

Minutes

Planning and Zoning Commission

1000 Central Avenue
Los Alamos, NM 87544

*Terry Priestley, Chair; Beverly Neal-Clinton, Vice-Chair; Jean Dewart; Michelle Griffin;
Stephanie Nakhleh; Craig Martin; Neal Martin; April Wade, and Sean Williams,
Commissioners*

Wednesday, June 24, 2020

5:30 PM

1000 Central Avenue
Council Chambers

**"Due to COVID-19 concerns, meeting will be conducted remotely.
Public can view proceedings at <http://losalamos.legistar.com/Calendar.aspx>
or locally on cable channel 8**

1. CALL TO ORDER/ROLL CALL

Present 8 - Commissioner Griffin, Commissioner Williams, Commissioner Priestley, Commissioner Neal-Clinton, Commissioner Wade, Commissioner Dewart, Commissioner Martin and Commissioner Nakhleh

Absent 1 - Commissioner Martin

2. PUBLIC COMMENT

3. APPROVAL OF AGENDA

4. PUBLIC HEARING(S)

A. SIT-2020-0046 Site Plan 10101 Central Ave.

5. PLANNING AND ZONING COMMISSION BUSINESS

A. Planning and Zoning Commission Minutes

Minutes from the Planning And Zoning Commission Meeting on June 10, 2020.

B. Board of Adjustment nominations

The Commission nominated Jean Dewart to be the new member of the Board of Adjustment. The current members are Beverly Neal-Clinton and Craig Martin. The vote was unanimous

C Election of Chair and Vice Chair

Sean Williams motioned to approve Terry Priestley as Chair of the Planning and Zoning Commission. Michelle Griffin Seconded. Motion carried.
Beverly Neal- Clinton was nominated as Vice Chair by Sean Williams seconded by Michelle Griffin. The vote was unanimously in favor. Motion carried.

6. COMMISSION/DIRECTOR COMMUNICATIONS

- A. Department Report**
- B. Chair's Report**
- C. Council Liaison's Report**
- D. Commissioners' Comments**

7. PUBLIC COMMENT**8. ADJOURNMENT**

PLEASE NOTE: Any action by the Planning and Zoning Commission in granting approval, conditional approval or disapproval of an application may be appealed by the applicant or by persons who have a personal or pecuniary interest adversely affected by the decision as defined by Section 16-454 of the County Code. Such appeals must be filed with the Community Development Department within 15 days of the action in accordance with Section 16-492.

If you are an individual with a disability who is in need of a reader, amplifier, qualified sign language interpreter, or any other form of auxiliary aid or service to attend or participate in the hearing or meeting, please contact the County Human Resources Division at 505-662-8040 at least one week prior to the meeting or as soon as possible.

Public documents, including the agenda and minutes can be provided in various accessible formats. Please contact the personnel in the Community Development Department Office at 505-662-8006 if a summary or other type of accessible format is needed.