



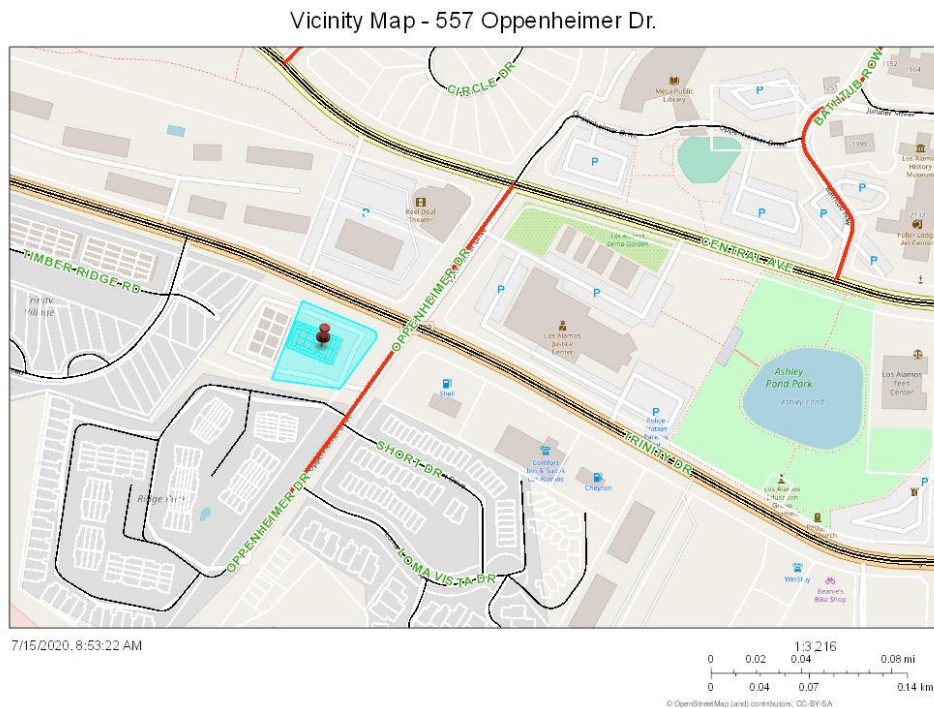
Los Alamos County
Community Development Department
PLANNING & ZONING COMMISSION STAFF REPORT

Public Hearing Date: July 22, 2020
Subject: Case No. SIT-2020-0048
Owners/Applicants: Rick Brenner, Property Owner/Paul Mifsud, Applicant
Case Manager: Ryan Foster, AICP, Principal Planner

Case No. SIT-2020-0048:

A request for Site Plan approval for changed use of an existing building, located at 557 Oppenheimer Drive, Subdivision Timber Ridge 2, tract A, lot 2. The proposed re-development will consist of remodeling 3,000 square feet from office to residential in an existing building, zoned Mixed-Use (MU).

Exhibit A



Case No. SIT-2020-0048, Motion Option 1:

I move to **approve** Case No. SIT-2020-0048 — request for Site Plan approval for remodeling 3,000 square feet from office to residential in an existing building, located at 557 Oppenheimer Drive. Approval is based on the reasons stated within the staff report and per testimony entered at the public hearing, subject to the following condition(s):

1. Sprinkler system needs to be operational and approved on the first floor by the FMO before construction begins.

I further move to authorize the Chair to sign Findings of Fact for this case and, based on this decision, to be prepared by County staff.

Case No. SIT-2020-0048, Motion Option 2:

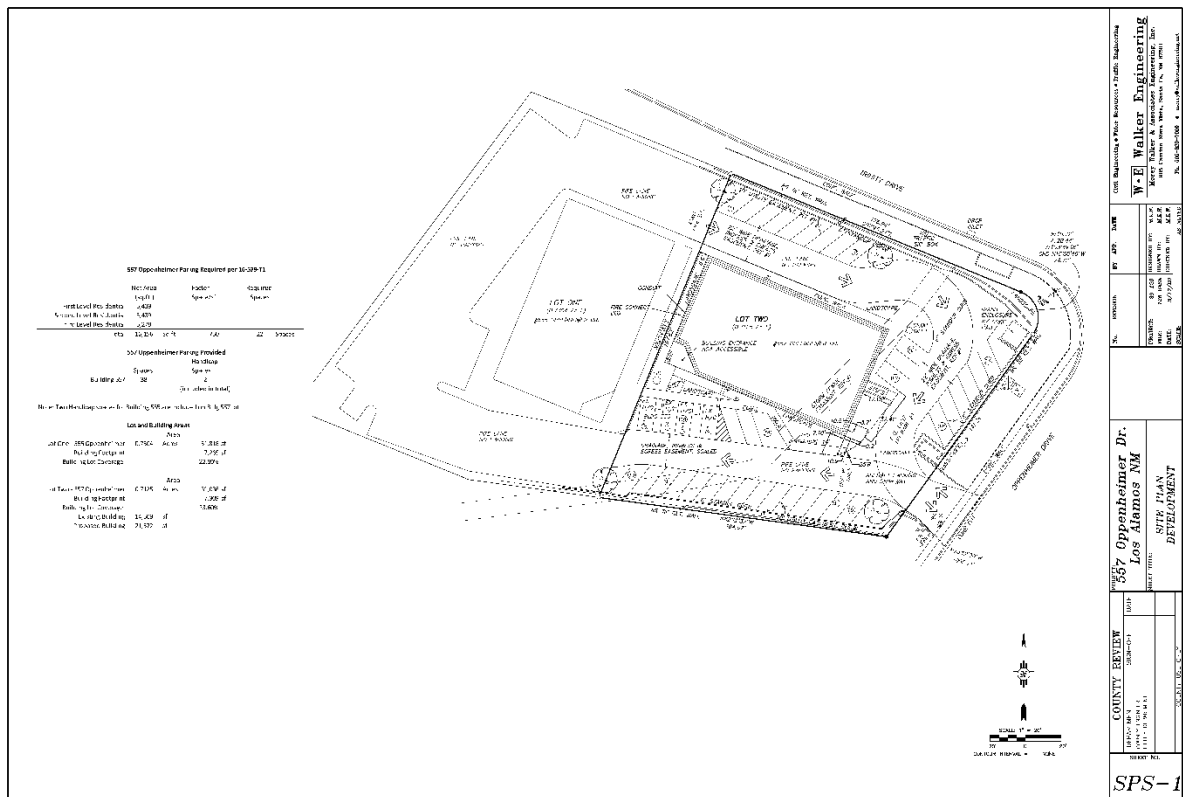
I move to **deny** Case No. SIT-2020-0048 — request for Site Plan approval remodeling 3,000 square feet from office to residential in an existing building, located at 557 Oppenheimer Drive. Denial is due to the proposal failing to meet the Los Alamos County Code of Ordinances, Chapter 16 — Development Code review criteria within §16-152A, for the following reasons:

1. ...

SUMMARY AND HISTORY

In 2018 a rezoning and subsequent site plan was approved from professional office (P-O) to mixed-use (MU). On May 12, 2020 a certificate of approval was issued for SIT-2020-0044, a request to amend the parking and landscaping approved on the 2018 Site Plan for 557 Oppenheimer Drive. The Exhibit B (below) illustrates the site plan showing the footprint of the existing building at 557 Oppenheimer Drive.

Exhibit B



Interdepartmental Review Committee (IDRC) REVIEW

On June 25, 2020, the IDRC reviewed the application and approved to move the Site Plan application forward to the Planning and Zoning Commission with two conditions that must be met before the July 22, 2020 hearing date.

IDRC Conditions

The following comments are regarding the interdepartmental review of the site plan application:

1. Per Public Works and Fire Department:
Indicate on the site plan whether the traffic circulation is one-way and provide evidence of an access agreement around 557 and 555 Oppenheimer. If two-way circulation is proposed, circulation and parking lot design standards must be met.
2. Per Fire Department:
Sprinkler system needs to be operational and approved on the first floor by the FMO before construction begins.

Additional IDRC Comments

1. Per Planning Division: Provide parking calculations for the proposed ground floor residential use (the site plan currently has the parking calculations for commercial on the ground floor) on the site plan sheet.
2. Per Planning Division: Provide a current signed parking and access agreement since 555 and 557 Oppenheimer are sharing parking and access.
3. Per Building Division: Request all floor plans with the residential units identified.
4. Per Department of Public Utilities: As part of the building permit review the applicant must provide a revised electric load and gas load that reflects the final configuration of the building after the modifications. We will need this to evaluate if the existing gas and electric metering and service are adequate or will need modification.

VOTING MEMBERS IN ATTENDANCE

Planning Division, Community Development	Ryan Foster, Principal Planner	✓
Building Division, Community Development	Michael Arellano, Chief Building Official	✗
Planning Division, Community Development	Margaret Ambrosino, Senior Planner	✗
Traffic & Streets Division, Public Works	Juan Rael, Traffic and Streets Mgr.	✓
Department of Public Utilities	James Alarid, Deputy Utility Manager	✓
Fire Department	Wendy Servey, Fire Marshal	✓
Environmental Services, Public Works	Angelica Gurule, Environmental Services Manager	✓

PUBLIC NOTICE

Notice of this public hearing has been given per the requirements of the Los Alamos County Code of Ordinances, Chapter 16, Development Code, Sec. 16-192 (a), and included: U.S. mail to owners of real property within 100 yards (300') of the subject property as shown in Exhibit 3; publication in the Los

Alamos Daily Post (published 7/2/20), the County's official newspaper of record; and posting at the Los Alamos County Municipal Building.

SITE PLAN REVIEW CRITERIA

Section 16-152A of the Los Alamos County Development Code states that during the course of the review of any Site Plan, the Planning and Zoning Commission shall utilize the following criteria in making its determination of approval, conditional approval or denial:

- (a) *The site plan shall substantially conform to the comprehensive plan and shall not be materially detrimental to the health, safety and general welfare of the county.***

Applicant Response: The building site has existed for many years. The plan was recently updated and approved by Los Alamos County. There will be no changes or additions to the exterior of the building.

Staff Response: The proposed site plan substantially conforms to the Comprehensive Plan in the following ways:

- Housing Goals (p.62):
 - Provide a variety of housing types, sizes, and densities.
 - Promote development of housing stock that would accommodate downsizing households.
- Housing Policy Economic Vitality (p.62):
 - Promote expanding the housing supply to meet the demand from employment growth and support economic diversification.
- Housing Policy Land Use (p.63):
 - Encourage new housing developments in proximity to workplaces.

- (b) *Ingress, egress, traffic circulation and parking on the site shall be accomplished with safety for motorists, bicyclists and pedestrians. Provisions shall be made for the safe ingress, egress and circulation of vehicles, bicyclists and pedestrians.***

Applicant Response: The building parking, ingress, egress, traffic circulation has existed for many years including the access to Oppenheimer Drive. There will not be any changes to the items of concern noted above. However, the change to residential will result in a reduced traffic count and reduced parking needs. This is especially true during the normal working hours when, in fact, there will be fewer cars in the 557 Oppenheimer parking lot.

Staff Response: Off-street parking has been provided in accordance with Section 16-579. According to those specifications, the total amount of parking spaces required is 22, of

Location	Net Usable Area	ADA Required	Total Spaces Required
557 Oppenheimer Dr	16,156 SF approximately	1	22
Total Required Parking Spaces:		1	22
Total Provided Parking Spaces:		4	38

which one (1) is required to be an ADA space. The site plan exceeds the parking requirements by providing a total of 38 parking spaces; 34 standard spaces and 4 ADA spaces.

Ingress and egress to the property remains unchanged, with one-way traffic circulation around 557 and 555 Oppenheimer Dr as indicated on the site plan.

There are three conditions and comments by the Interdepartmental Review Committee (IDRC) related to these criteria:

- Condition #1 Per Public Works and Fire Department: Indicate on the site plan whether the traffic circulation is one-way and provide evidence of an access agreement around 557 and 555 Oppenheimer. If two-way circulation is proposed, circulation and parking lot design standards must be met.
- Comment #1 Per Planning Division: Provide parking calculations for the proposed ground floor residential use (the site plan currently has the parking calculations for commercial on the ground floor) on the site plan sheet.
- Comment #2 Per Planning Division: Provide a current signed parking and access agreement since 555 and 557 Oppenheimer are sharing parking and access.

A current signed parking agreement is no longer required, the applicant indicated that parking spaces will not be shared.

- (c) ***The necessary provisions shall be made for controlling stormwater drainage on-site and off-site as required by the county engineer in accordance with the county's storm drainage construction standards or such other ordinances or storm water management plans as may exist.***

Applicant Response: The building including stormwater drainage has existed for many years. No additional impervious surface shall be installed as a part of this proposed work, which is changing the first floor to a residential use. No additional utilities will be required as a result of the residential use on the first floor.

Staff Response: There are no proposed changes for these criteria.

- (d) ***The necessary easements shall be provided for both existing and proposed utilities, on-site and off-site. No existing easement shall be terminated without provision of alternate service, and all new services shall be provided.***

Applicant Response: All utilities exist and are within easements as depicted in the plat for the property.

Staff Response: There are no proposed easement changes.

- (e) ***The site plan shall include a conceptual landscape plan that will enhance the site and immediate vicinity and provide adequate screening and buffering, if appropriate, between properties. The final landscape plan shall conform to the requirements set forth in sections 16-574 and 16-575.***

Applicant Response: The existing landscape has recently been upgraded and approved by Los Alamos County. The landscaping is connected to an irrigation system and is being well maintained.

Staff Response: The applicant has an approved landscape plan and no changes are associated with this site plan application.

(f) *Parking lots, outside storage areas, outside mechanical equipment and outdoor lighting shall be designed to serve the intended use of the development while minimizing adverse impacts adjacent properties or public right-of-way.*

Applicant Response: All of the noted issues have been addressed and comply with applicable ordinances. No changes will be required. New condensing units will be placed at grade and screened.

Staff Response: No changes for outdoor lighting are proposed in this site plan application. Parking lot lighting standards and additional outdoor lighting shall be in accordance with Sec. 16-276.

(g) *The capacity of those public services and facilities required to serve the proposed development (including but not limited to water, sanitary sewer, electricity, gas, storm sewer, streets, etc.) shall conform with, or if improvements are required, shall be made to conform with the requirements of the county's construction standards.*

Applicant Response: All services and facilities conform requirements of the Los Alamos County standards and were upgraded recently to accommodate the remodel of the building, and this work was reviewed and approved. No changes are planned.

Staff Response: There are no proposed changes to a utilities plan in this site plan application. There is a comment by the Interdepartmental Review Committee (IDRC) in order to meet these criteria:

- Comment #3 Per Department of Public Utilities: As part of the building permit review the applicant must provide a revised electric load and gas load that reflects the final configuration of the building after the modifications. We will need this to evaluate if the existing gas and electric metering and service are adequate or will need modification.

(h) *Structures, site grading, and all other aspects of the development shall meet all applicable design standards or guidelines, as may be adopted and made a part of this code, and shall preserve, to the extent practical, outstanding topographical features and natural amenities on the site.*

Applicant Response: The structures, site grading, and all other related aspects of the development exist.

Staff Response: There are no proposed changes for these criteria.

(i) *Provisions shall be made to serve the development with tot lots and/or neighborhood parks in accordance with the adopted comprehensive plan. A fee may be paid as approved by county council to accomplish the purpose of the comprehensive plan in lieu of the development of tot lots or neighborhood parks.*

Applicant Response: These concerns were address recently as a part of the recent remodel of the building.

Staff Response: The applicant has an approved landscape plan and no changes are associated with this site plan application.

STAFF RECOMMENDATION

Staff has applied the applicable review criteria for a Site Plan and recommends approval for the change from office to residential in an existing building, located at 557 Oppenheimer Drive.

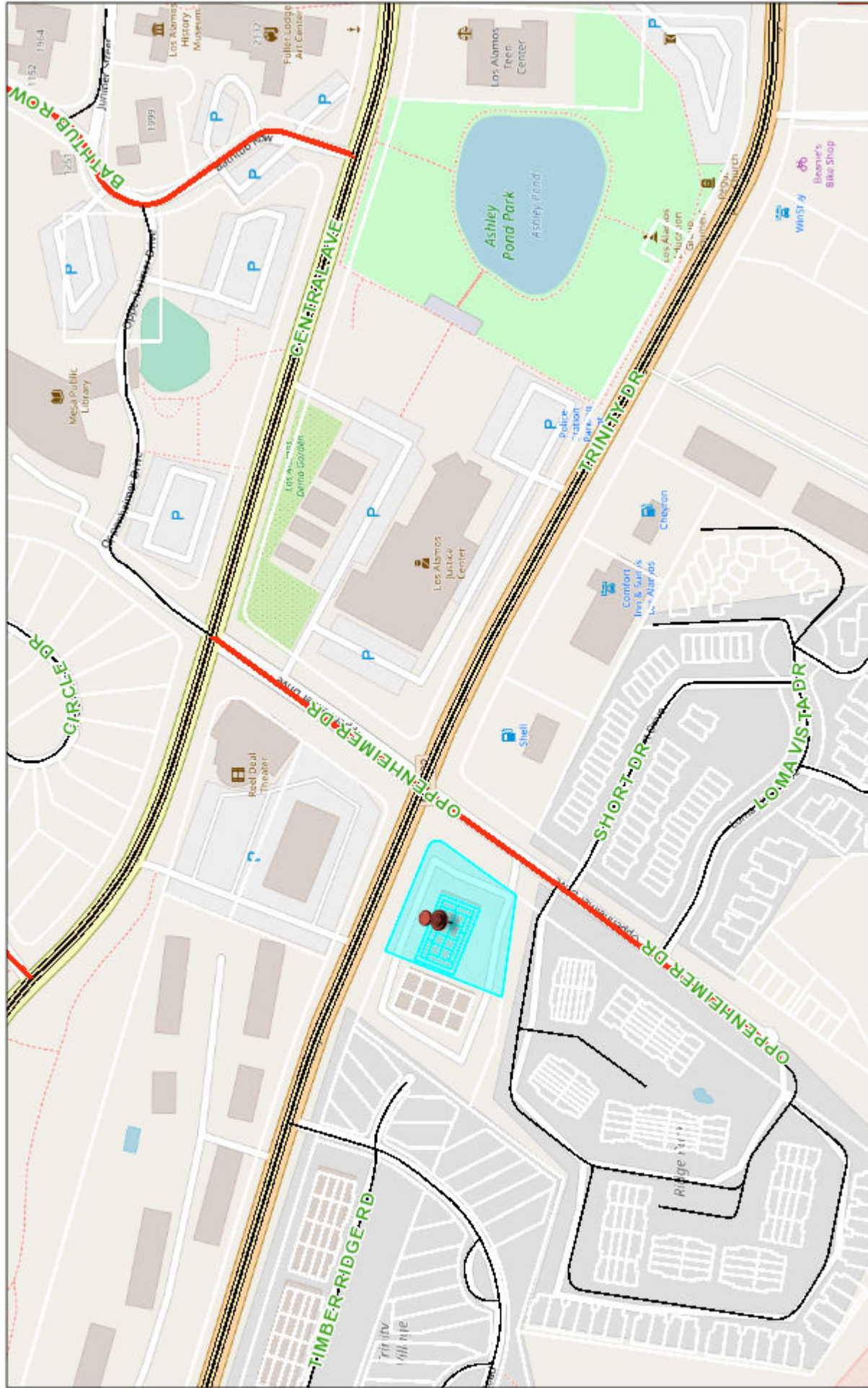
FINDINGS OF FACT

- The Site Plan application is a request for remodeling the ground floor from office to residential in an existing building located at 557 Oppenheimer Drive, zoned Mixed-Use (MU).
- The Site Plan review criteria, Section 16-152A, has been applied and was met.
- Notice of this public hearing, setting forth the nature of the request, the specific parcel of property affected, and the date, time and place of the public hearing, was announced and published in The Los Alamos Daily Post, the official newspaper of record; and property owners of real property located within 100 yards of the subject property were notified of this public hearing by U.S. mail, all in accordance with the requirements of §16-192 of the Los Alamos County Development Code.

EXHIBITS

- Exhibit 1: Vicinity Map
- Exhibit 2: Application Submittal- Site Plans
- Exhibit 3: Notification Map– 100 yards (300') from site location
- Exhibit 4: IDRC Conditions and Comments

Vicinity Map - 557 Oppenheimer Dr.



7/15/2020, 8:53:22 AM

SITE PLAN APPLICATION

Los Alamos County Community Development Department
1000 Central Ave, Suite 150, Los Alamos NM 87544
(505) 662-8120

Address and Use of Property to which the application applies:

557 Oppenheimer Drive, Los Alamos

Current Use: ☐ Vacant Other: Existing Mixed Use Building

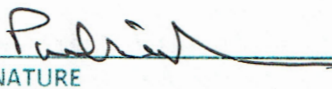
Zoning District: MU Acreage: .7125 Lot Coverage: 23.6% Related Applications (if any):

APPLICANT (Unless otherwise specified, all communication regarding this application shall be to Applicant):

Name: Paul Mifsud, Architect Phone: 505 982 8363 Cell #:
Please Print

Company Name: Mifsud Associates Architects

Address: 1700 A Paseo de Peralta, SANTA FE, NM Email: sfarchitect@comcast.net


SIGNATURE

6-18-20
DATE

PROPERTY OWNER

☐ Check here if same as above

Name: Los Alamos Prof. Investment Partnership, LLC Phone: 505 216 1618 Cell #:
Please Print

Address: PO Box 9146, Santa Fe, NM 87504 Email: info@lenastreetlofts.com
Owner's Address

My signature below indicates that I authorize the Applicant to make this Amendment application on my behalf.


SIGNATURE

6/17/20
DATE

Pre-Application Meeting Date(s):

IDRC Date:

THIS SECTION TO BE COMPLETED BY THE COMMUNITY DEVELOPMENT DEPARTMENT

Date of Submittal: _____

Staff Initial: _____

CDD Application Number: _____

Fees Paid: _____

SITE PLAN REVIEW CRITERIA

The Los Alamos County Code of Ordinances, Chapter 16, Development Code, Sec. 16-152A establishes the following criteria for recommendation by IDRC, or for determination by the CDD Director or P&Z, of approval, conditional approval or denial of the application. Please review each of the criteria listed and provide short comments on how your application meets the criteria in the space provided. (Attach additional sheets if needed.)

- (a) *The site plan shall substantially conform to the comprehensive plan and shall not be materially detrimental to the health, safety and general welfare of the county.*

The building site plan has existed for many years. The plan was recently updated and approved by Los County. There will be no changes or additions to the exterior of the building.

- (b) *Ingress, egress, traffic circulation and parking on the site shall be accomplished with safety for motorists, bicyclists and pedestrians. Provisions shall be made for the safe ingress, egress and circulation of vehicles, bicyclists and pedestrians.*

The building, parking, ingress, egress, traffic circulation has existed for many years including the access to Oppenheimer Drive.

There will not be any changes to the items of concern noted above. However, the change to residential will result in a reduced traffic count and reduced parking needs. This is especially true during the normal working hours when, in fact, there will be fewer cars in the 557 Oppenheimer parking lot.

- (c) *The necessary provisions shall be made for controlling stormwater drainage on-site and off-site as required by the county engineer in accordance with the county's storm drainage construction standards or such other ordinances or storm water management plans as may exist.*

The building including stormwater drainage has existed for many years. No additional impervious surface shall be installed as a part of this proposed work, which is changing the first floor to a residential use.

No additional utilities will be required as a result of the residential use on the first floor.

- (d) *The necessary easements shall be provided for both existing and proposed utilities, on-site and off-site. No existing easement shall be terminated without provision of alternate service, and all new services shall be provided.*

All utilities exist and are within easements as depicted in the plat for the property.

- (e) *The site plan shall include a conceptual landscape plan that will enhance the site and immediate vicinity and provide adequate screening and buffering, if appropriate, between properties. The final landscape plan shall conform to the requirements set forth in sections 16-574 and 16-575.*

The existing landscape has recently been upgraded and approved by Los Alamos County.

The landscaping is connected to an irrigation system and is being well maintained.

- (f) *Parking lots, outside storage areas, outside mechanical equipment and outdoor lighting shall be designed to serve the intended use of the development while minimizing adverse impacts on adjacent properties or public rights-of-way.*

All of the noted issues have been addressed and comply with applicable ordinances.

No changes will be required. New condensing units will be placed at grade and screened.

- (g) *The capacity of those public services and facilities required to serve the proposed development (including but not limited to water, sanitary sewer, electricity, gas, storm sewer, streets, etc.) shall conform with, or if improvements are required, shall be made to conform with the requirements of the county's construction standards.*

All services and facilities conform requirements of the Los Alamos County standards and were upgraded recently to accommodate the remodel of the building, and this work was reviewed and approved.

No changes are planned.

- (h) *Structures, site grading, and all other aspects of the development shall meet all applicable design standards or guidelines, as may be adopted and made a part of this code, and shall preserve, to the extent practical, outstanding topographical features and natural amenities on the site.*

The structures, site grading, and all other related aspects of the development exist.

- (i) Provisions shall be made to serve the development with tot lots and/or neighborhood parks in accordance with the adopted comprehensive plan. A fee may be paid as approved by county council to accomplish the purpose of a comprehensive plan in lieu of the development of tot lots or neighborhood parks.

These concerns were address recently as a part of the recent remodel of the building.

SUBMITTALS:

Provide all information necessary for a complete review of the Site Plan request. Check each of the boxes to indicate which information you have provided. Provide two hard copies of all plans and also provide one complete copy of all materials on disk:

- ☐ Agent Authorization, if applicable.
- ☐ Proof of property ownership (Warranty deed, recorded Plat, etc.).
- ☐ Scaleable copies of Site Plan drawings including:
 - ☐ Footprint and square footage of all buildings and structures on the site.
 - ☐ Building/structure elevations.
 - ☐ Existing and proposed lot coverage.
 - ☐ All existing and proposed easements.
 - ☐ All existing and proposed setbacks.
 - ☐ Existing and proposed trails.
- ☐ Preliminary Landscape Plan.
- ☐ Preliminary Grading and Drainage Plan.
- ☐ Preliminary Utilities Plan.

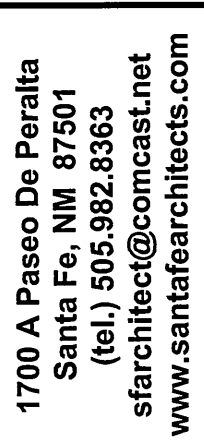
Note: Final construction plan set will be required at Building Permit.

Additionally, per Sec. 16-571, at or before the first IDRC meeting, the County Engineer may require the following Impact Studies:

- ☐ Traffic impact analysis (TIA).
- ☐ Stormwater drainage report.
- ☐ Utility capacity analysis.
- ☐ Soils report.
- ☐ Other. Describe: _____

You are advised to meet with the County Engineer early in the planning process to determine which studies will be required.

Please provide any other information that you believe is relevant to or supports this application.



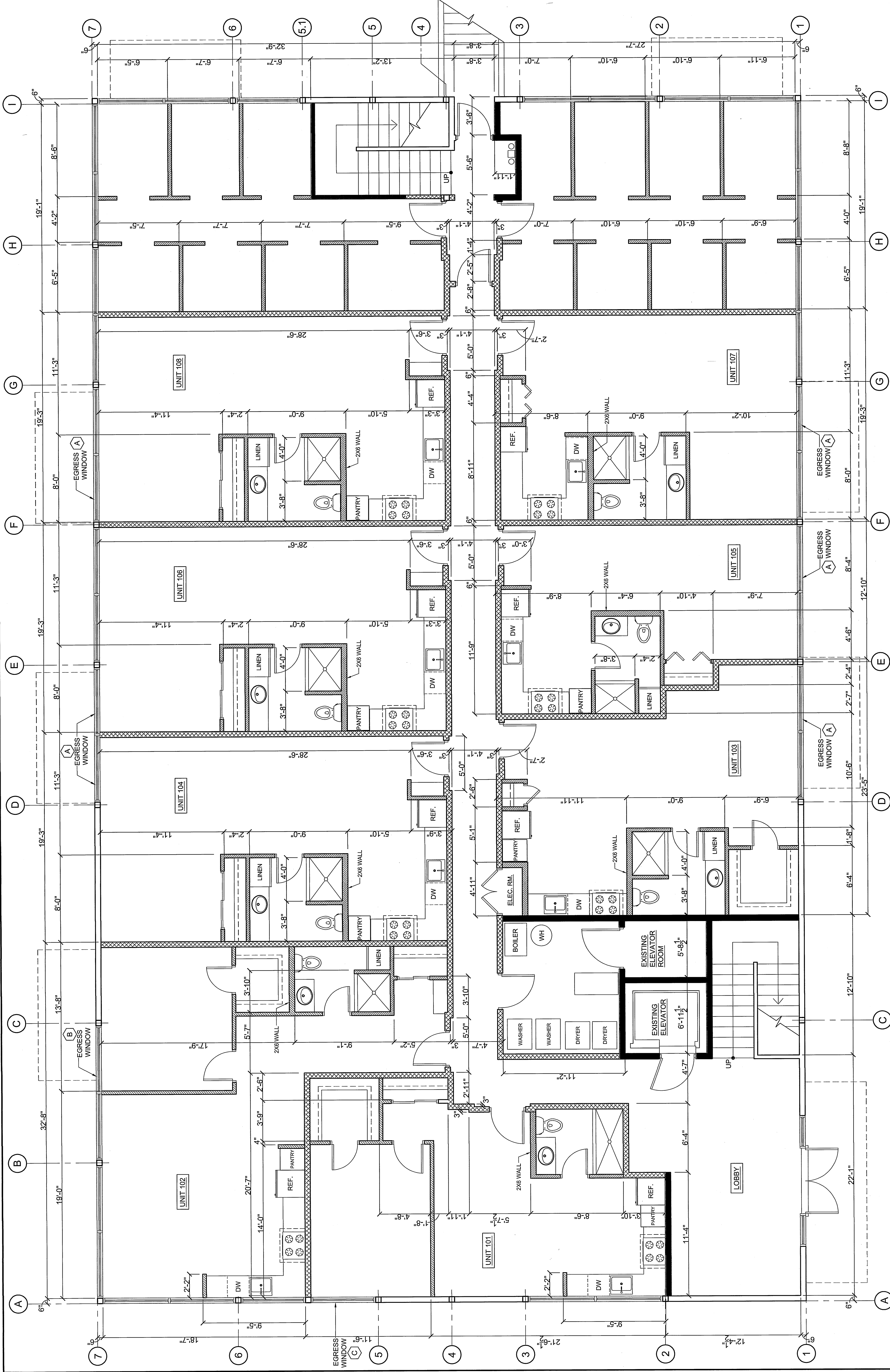
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557 Oppenheimer
557 Oppenheimer Dr.
Los Alamos, New Mexico

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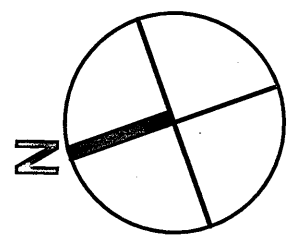
SHEET

A-2



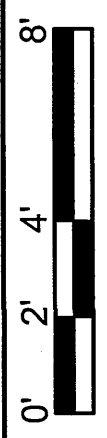
	NEW 1-HR. RATED SEPARATION WALL
	EXISTING 1-HR. RATED SEPARATION WALL
	NEW 2X4 WALL U.N.O.
	EXISTING WALL TO REMAIN

NOTE: ALL DIMENSIONS ARE APPROXIMATE. FIELD VERIFY.



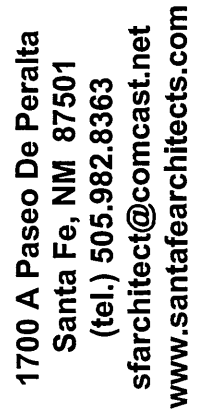
FLOOR PLAN

SCALE: 1/4"= 1'-0"

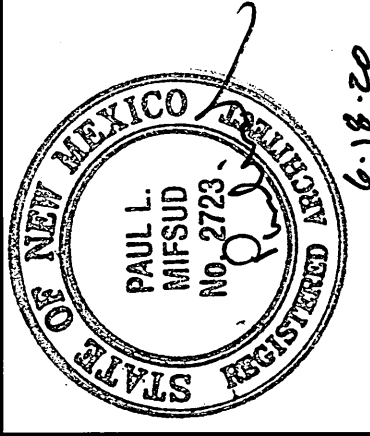


SCALE: 1/4"= 1'-0"

EXHIBIT 2



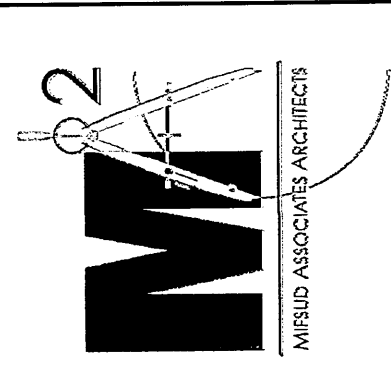
557 Oppenheimer
557 Oppenheimer Dr.
Los Alamos, New Mexico

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SHEET

A-3





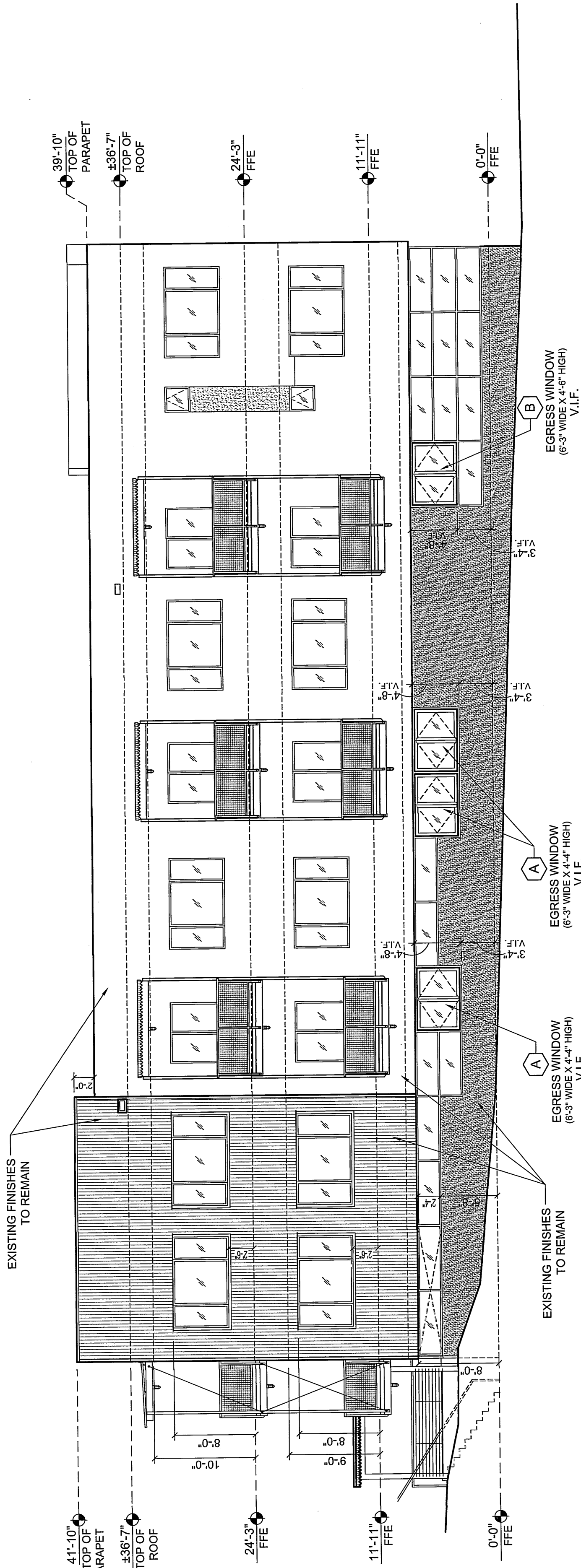
1700 A Paseo De Peralta
Santa Fe, NM 87501
(tel.) 505.982.8363
sfarchitect@comcast.net
www.santafearchitects.com

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557 Oppenheimer
557 Oppenheimer Dr.
Los Alamos, New Mexico

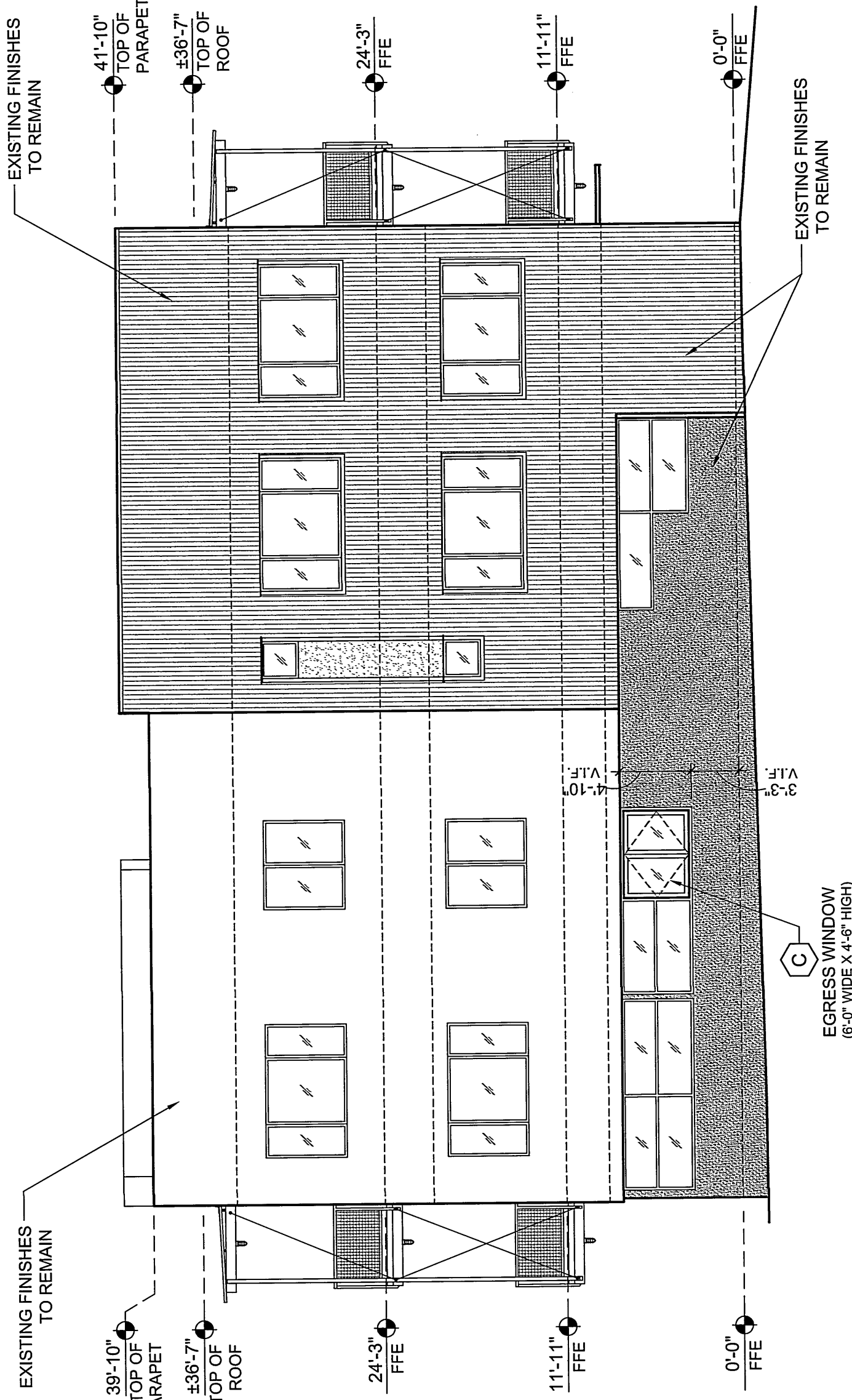
REVISIONS:

NO. DATE



NORTH ELEVATION

SCALE: 1/8"= 1'-0"

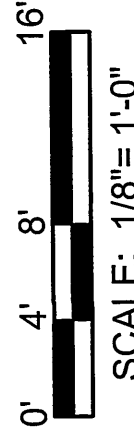


WEST ELEVATION

SCALE: 1/8"= 1'-0"

SHEET

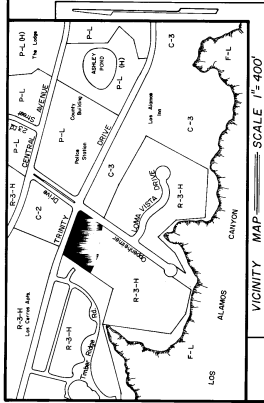
A-4



557 OPPENHEIMER BUILDING FLOOR PLAN

Second and Third Floor Plans Are Identical





FINAL PLAT **TRINITY / OPPENHEIMER SUBDIVISION** BEING A SUBDIVISION OF TRACT "A", REPLAT OF TIMBER RIDGE SUBDIVISION, UNIT 2 LOS ALAMOS, NEW MEXICO

JUNE, 1988

GENERAL NOTES

Total No. of Lots - 2
 Total Area - 14.825 acres or 62,863.72 square feet
 Maximum Lot Area - Lot 1 - 0.7304 acres or 31,818.23 square feet
 Minimum Lot Area - Lot 2 - 0.7125 acres or 31,035.50 square feet
 The plat is subject to all existing easements, rights, and interests of record.
 Structures, setbacks, separation between structures, height of structures, and lot coverage to be determined by the Zoning Commission at the time they approve the Improvement Plan.

DRAINAGE EASEMENTS

The areas designated herein as drainage easements are granted to the Incorporated County of Los Alamos, its successors and assigns and are reserved for that purpose. Said easements are for the drainage of surface waters from the lots and for the installation, perfection, and erosion resulting therefrom. The owner of any lot or tract burdened by these easements shall not, without the written consent of the County of Los Alamos, place any structure, building, or other material which might reasonably change the direction or flow of surface waters within the easement way.

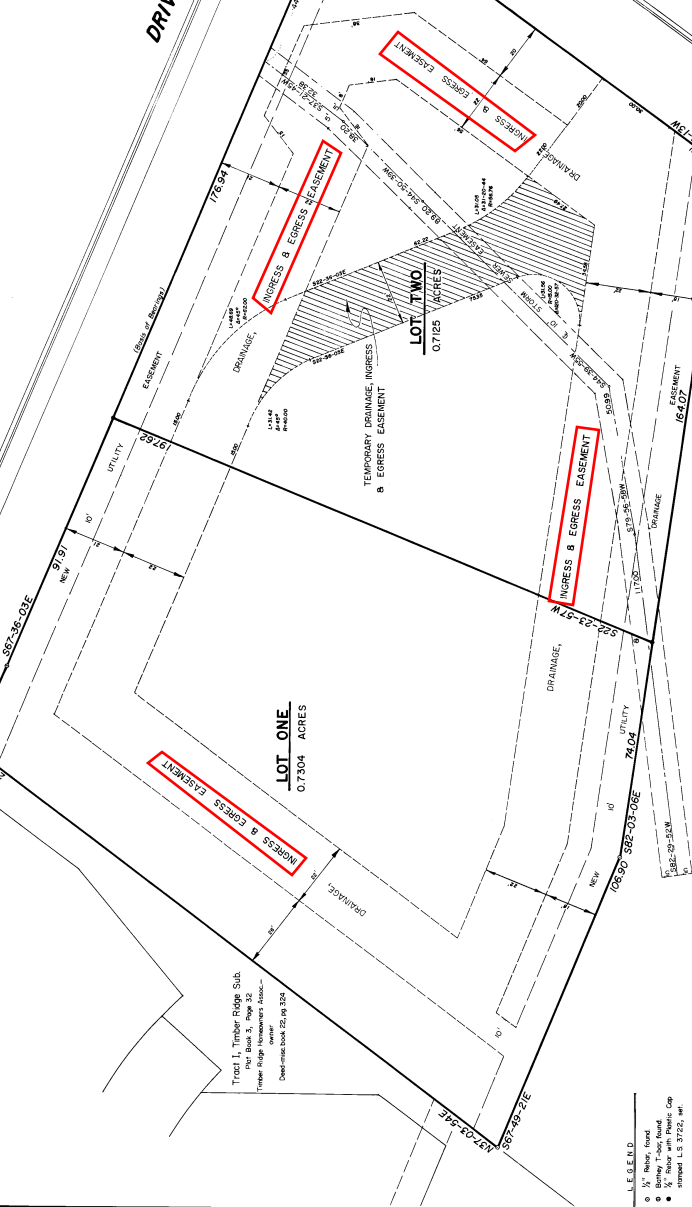
TEMPORARY DRAINAGE, INGRESS & EGRESS EASEMENT

The easements of Lot 1 and Lot 2 to the owners of Lot One of Temporary Drainage, Ingress and Egress Easement, shall be subject to the approval of the Planning Commission for the development of Lot Two.

NOTE ON ACCESS:
 There shall be no direct vehicular access from Lot One and/or Lot Two on to Trinity Drive. All vehicular access shall be from Oppenheimer Drive.

TRINITY

LOT ONE
 0.7304 ACRES
 LOT TWO
 0.7125 ACRES



Tract B, Replat of Timber Ridge Sub, Unit 2
 Plat Book 3, Page 99
 Declaration of Condominium Book 30, pg 26



SCALE 1" = 20'

DECLARATION OF SUBDIVISION

Know All Men By These Presents, that the Los Alamos Office Partnership has made a Subdivision of the said Timber Ridge Subdivision, Unit 2, Los Alamos County, New Mexico, and has caused the same to be recorded in the Public Records of the County of Los Alamos, New Mexico, in Plat Book 3, Page 99, on the 31st day of June, 1988, as Document No. 5386, that the Subdivision is made with the free consent and in accordance with the desire of the interested owners and proprietors.

EASEMENTS: Easements shown herein are those granted and dedicated on the Plat of Timber Ridge Subdivision, Unit 2, Los Alamos County, New Mexico, in Plat Book 3, Page 99, on the 30th day of June, 1979, excepting herefrom 4.42 road right easements, and the easements remain unchanged by this plat excepting those easements noted as new and granted and dedicated on this plat.

NEW UTILITY EASEMENTS: Utility Easements shown herein designated "NEW UTILITY EASEMENT" are hereby granted to the County of Los Alamos, its successors and assigns. The easements are not limited to the right to install, operate, maintain, repair, relocate, and remove public utility lines and structures, and the right to remove any structures, vegetation, rocks or obstructions as may be necessary for the purpose of the easement.

INGRESS AND EGRESS EASEMENTS: Lot 1 and Lot 2 hereby grant each to the other, their successors and assigns, the right of ingress and egress (vehicular and pedestrian) within the New Ingress and Egress Easement as delineated on this plat, the sole purpose of this easement is for access and no parking rights are granted or implied.

LOS ALAMOS PROFESSIONAL INVESTMENT SURVEYORS
 RICHARD BRENNER - GENERAL PARTNER
 LYNE STEELE - GENERAL PARTNER
 COUNTY OF LOS ALAMOS

The foregoing instrument was acknowledged before me this 10th day of June, 1988, by the undersigned, General Partners of the Los Alamos Professional Investment Partnership, a general partnership. My commission expires 7-30-89.

APPROVAL

This plat is hereby approved this 27th day of July, 1988, in accordance with a resolution of the Planning Commission, County of Los Alamos, New Mexico.

Chairman
 Secretary

STATE OF NEW MEXICO
 COUNTY OF LOS ALAMOS

I, County Clerk, hereby certify that the instrument was filed for record as Document No. 533,09 on the 27th day of July, 1988, at 2:27 o'clock PM and duly recorded in Plat Book 3, Page 36, of the records of said County.



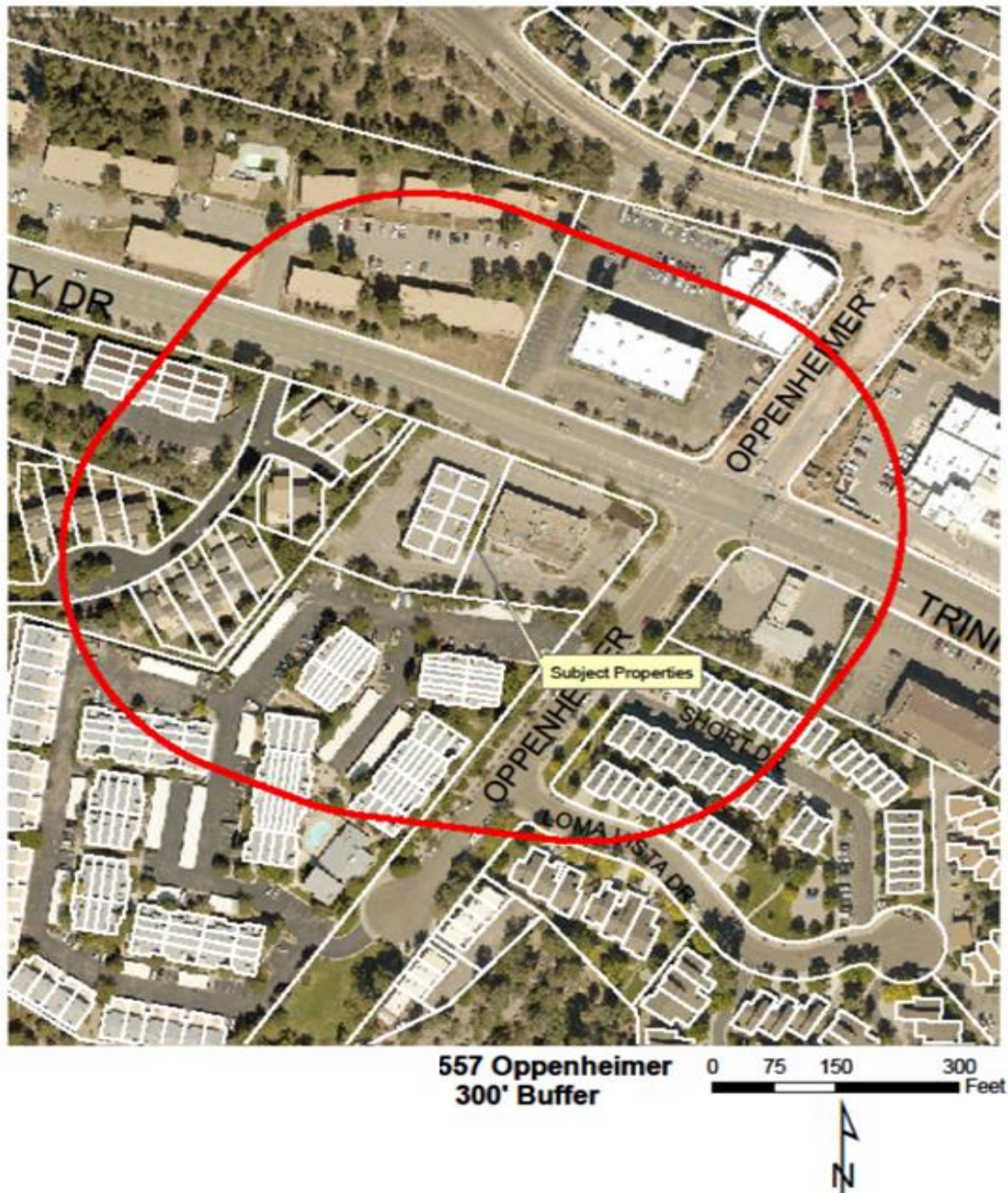
COUNTY CLERK
 Deputy

CERTIFICATION

I, John R. Mendez, hereby certify that I am a registered Professional Surveyor under the laws of the State of New Mexico and that this plat and the notes hereon were prepared from the official Record of the Survey of the Timber Ridge Subdivision, Unit 2, Los Alamos County, State of New Mexico, and from field notes of an actual survey made under my supervision on the 23rd day of June, 1988, and meets the minimum requirements of the Standards of Land Surveys in New Mexico as adopted by the State Board of Registration for Professional Engineers and Professional Surveyors and is true and correct to the best of my knowledge and belief.

John R. Mendez
 State of New Mexico
 Los Alamos, N.M.
 87004

300 Foot Notification Map for 557 Oppenheimer





IDRC CONDITIONS & COMMENTS: 557 Oppenheimer, June 25, 2020

CONDITIONS AND COMMENTS FOR SITE PLAN APPROVAL DUE BY JULY 13, 2020 FOR JULY 22, 2020 HEARING DATE

- | | |
|---|--|
| 1 | <p><u>Per Public Works and Fire Department:</u>
Indicate on the site plan whether the traffic circulation is one-way and provide evidence of an access agreement around 557 and 555 Oppenheimer. If two-way circulation is proposed, circulation and parking lot design standards must be met.</p> |
| 2 | <p><u>Fire Department:</u>
Sprinkler system needs to be operational and approved on the first floor by the FMO before construction begins.</p> |

ADDITIONAL COMMENTS

- | | |
|---|--|
| 1 | <p><u>Per Planning Division:</u>
Provide parking calculations for the proposed ground floor residential use (the site plan currently has the parking calculations for commercial on the ground floor) on the site plan sheet.</p> |
| 2 | <p><u>Per Planning Division:</u>
Provide a current signed parking and access agreement since 555 and 557 Oppenheimer are sharing parking and access.</p> |
| 3 | <p><u>Per Building Division:</u>
Request all floor plans with the residential units identified.</p> |
| 4 | <p><u>Per Utilities Department:</u>
As part of the building permit review the applicant must provide a revised electric load and gas load that reflects the final configuration of the building after the modifications. We will need this to evaluate if the existing gas and electric metering and service are adequate or will need modification.</p> |